

(571) 369-2671

Record Detail \* (This section is required.)

<b>Permit Type</b> Building/Residential/Misc/Porch	<b>Permit Number</b> B25005230	<b>Opened Date</b> 11/21/2025
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**Description of Work**  
SFD/ CONSTRUCT 16' X 19' SCREENED PORCH ON EXISTING DECK W/ STEPS. RESURFACE OPEN DECK W/ STEPS.

Online BP.  
gJ 11/24/25

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

<b>Street #</b> 6817	<b>Street Name</b> KOANDAH GARDENS	<b>Street Type</b> --Select--
<b>Unit Type</b> --Select--	<b>Unit #</b>	<b>X Coordinate</b> -76.95984
		<b>Y Coordinate</b> 39.18306
<b>City</b> HIGHLAND	<b>State</b> MD	<b>Zip Code</b> 20777
		<b>Primary</b> Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
851657	78	1	276200	1201100	924900	RURAL

**Legal Description**  
IMPSLOT 20 1.0000 A[ ]6817 KOANDAH GARDENS[ ]KOANDAH GARDENS ESTATES

[check spelling](#)

<b>Block</b> 9999	<b>Lot</b> 20	<b>Census Tract</b> 605101	<b>Council Dist</b> 5	<b>Inspection Dist</b>	<b>Supervisor Dist</b>	<b>Map #</b>	<b>DAP Zone</b>
<b>Plan Area</b>	<b>State Tax Id</b> 1405436753	<b>Subdivision Name</b> KOANDAH GARDENS ESTAT					
<b>Section</b>	<b>Area</b>	<b>Tax Map</b> 40					
<b>Grid</b> 40-4	<b>Zoning District</b> RR-DEO	<b>ADC Map</b> 5051-G1					
<b>SDP No.</b>	<b>Final Plan No.</b> F-02-004	<b>WP File No.</b>					
<b>Record Plat No.</b> 15632	<b>WS Contract No.</b>	<b>FDP No.</b>	<b>Primary</b> Yes				
<b>Owner Occupied</b> <input type="radio"/> Yes <input type="radio"/> No	<b>Year Built</b> 2004	<b>Historic District</b> <input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Historic District Registry No.</b>	<b>Stat Area</b> 5-04A	<b>Flood Plain</b> <input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Building No</b>							

Approved Septic System Plan  
Howard County Health Department  
Dana Beard 12-8-25  
Signature Date

Owner \* (This section is required.)

Search Reset Clear

**Name \***  
LESHII

**Address Line 1**  
6817 KOANDAH GARDENS  
**Address Line 2**

**Address Line 3**

**Mail City**  
HIGHLAND

**Mail State**  
MD

**Mail Zip Code**  
20777

**Phone**  
571-832-0692

**Primary**  
Yes

**E-mail**

**Cell Number**

**Fax Number**

**Professionals** (This section is not required.)

<b>License # *</b> 161290	<b>Business Name</b> FA OUTDOOR SPACES LLC			
<b>License Type *</b> MHIC Co	<b>First Name</b> ROB	<b>Middle Name</b>	<b>Last Name</b> MENELEE	
<b>Primary</b> Yes	<b>Address Line 1</b> 9979 MAIN STREET			
	<b>Address Line 2</b>			
	<b>City</b> FAIRFAX	<b>State</b> VA	<b>ZIP Code</b> 22031	
	<b>Phone 1</b> 571-369-2671	<b>Phone 2</b>	<b>Fax</b>	
	<b>E-mail</b> PERMITS@FAOUTDOORSPACES.COM			

**Applicant** (This section is not required.)

**Search**   **As Owner**   **As Lic. Prof**   **As Contact**


<b>Type *</b> Applicant	<b>First Name</b> ROB	<b>MI</b>	<b>Last Name</b> MENELEE	
<b>Relationship</b> Applicant	<b>Full Name</b>			
<b>Primary</b> Yes	<b>Organization Name</b> FA OUTDOOR SPACES LLC			
	<b>Street Address</b> 9979 MAIN STREET			
	<b>Address Line 2</b>			
	<b>City</b> FAIRFAX	<b>State</b> VA	<b>Zip Code</b> 22031	
	<b>Phone</b> 571-369-2671	<b>Cell</b>	<b>Fax</b>	
	<b>E-mail *</b> PERMITS@FAOUTDOORSPACES.COM			

**Addtl Info**

<b>Est Construction Cost *</b> 50000	<b>Housing Units *</b> 0	<b>Number of Buildings *</b> 0	<b>Public Owned</b> No	
<b>Construction Type</b> 434 - Additions, Alterations and Conversions - Residential				

**PORCH INFORMATION**

**PORCH INFORMATION**

<b>Capital Project-No Fee *</b> <input type="radio"/> Yes <input checked="" type="radio"/> No	<b>Capital Project Number</b> <input type="text"/> (Text)	<b>Fee Exempt *</b> <input type="radio"/> Yes <input checked="" type="radio"/> No	<b>Roadside Tree Project Permit *</b> <input type="radio"/> Yes <input checked="" type="radio"/> No	<b>Roadside Tree Project Permit #</b> <input type="text"/> (Text)
<b>Existing Use *</b> SFD	<b>Type of Porch *</b> ▼ Screened Porch	<b>Type of Porch Foundation *</b> ▼ Existing Deck	<b>Total Square Footage *</b> ▼ 509	SQFT (Number)
<b>Water Supply</b> Private	<b>Sewage Disposal</b> ▼ Private	<b>Expiration Date</b> <input type="text" value="5/20/2026"/> 		

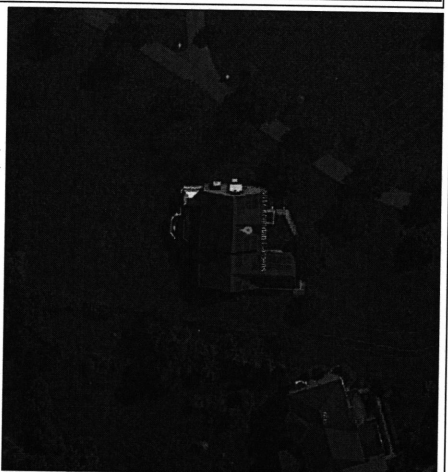
**Submit**      **Cancel**



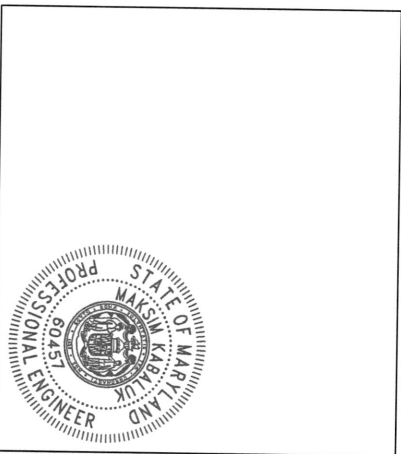
- Scope of Work:
- Install New Flat Roof w/ TPO or EPDM membrane
  - Install soffit vinyl ceiling
  - Install SCREEN EZE screen system
  - Install White aluminum screen Framing with White PVC trim
  - Install Puffer Fiberglass screens (Charcoal)
  - Install Anderson 200 series storm door
  - Install customer provided ceiling fans with lights
  - Install GFI outlet
  - Install (4) LED recessed lights
  - Remove existing deck boards
  - Power Wash existing Vinyl Railings
  - Install TimberTech Terrain Silver Maple deck boards
  - Install Waf White PVC Fascia trim
  - Install Cortex Fascia plugs
  - Posts and beams unpainted and unwrapped unless otherwise noted



Isometric View



Vicinity Map

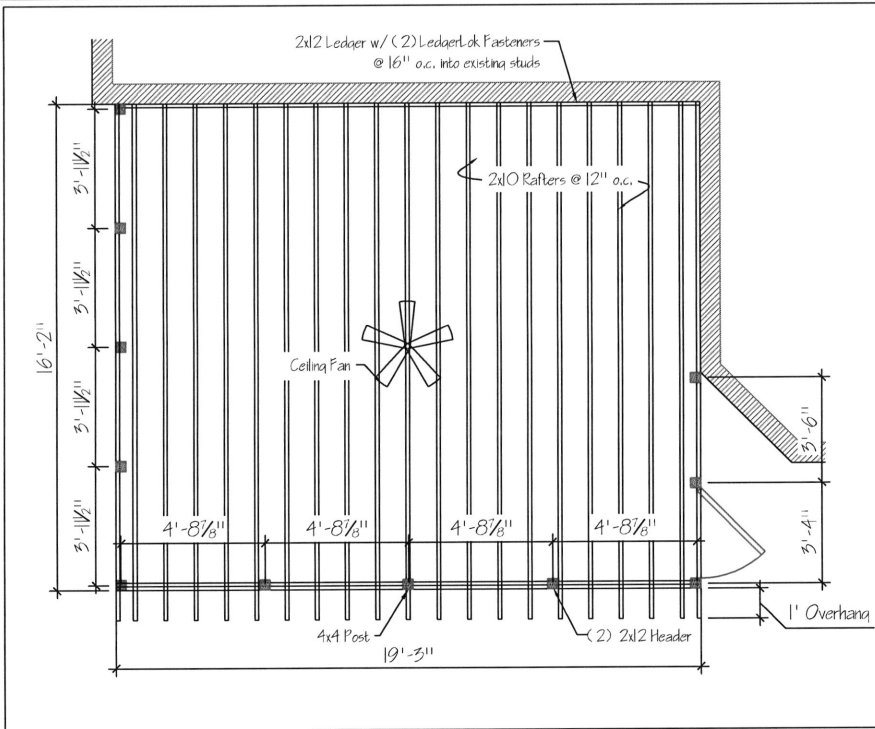


Note: Plans Per IRC 2021 Sheet 1 of 2

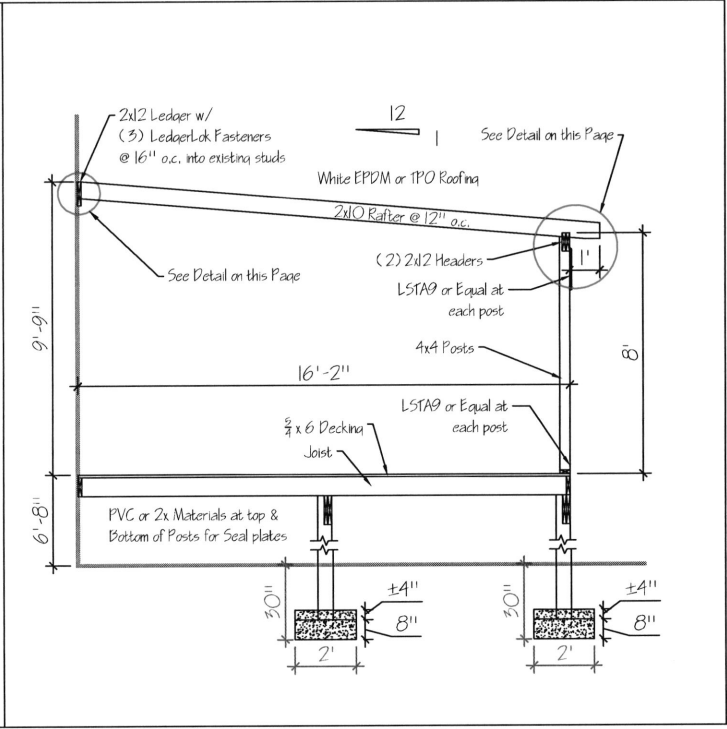
Customer Name: Martin Leshin  
 Customer Address: 6817 Kranden Gardens, Highland MD 20777  
 Contractor's Address: FA Outdoor Spaces, 9979 Main St., Fairfax, VA 22031

Printed Page: Nov. 20, 2025  
 Drawn by: Sammi Ash

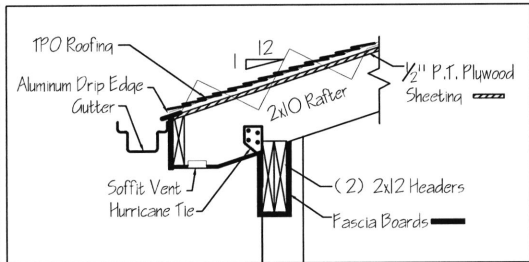
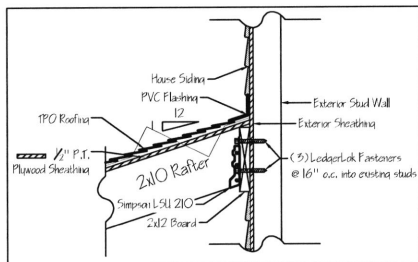




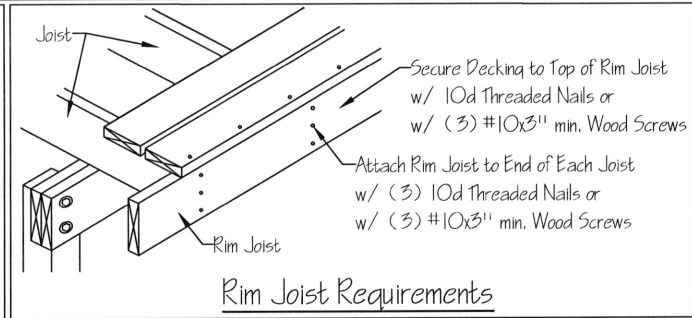
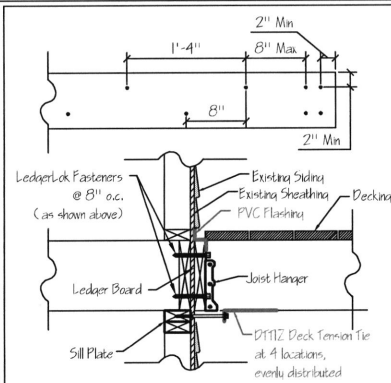
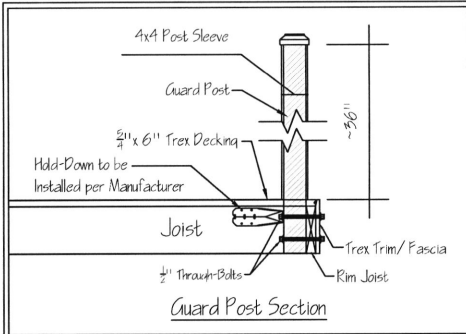
**Roof Framing Plan**  
Scale: 1/4" = 1'-0"



**Cut-Through Section**  
Scale: 1/4" = 1'-0"



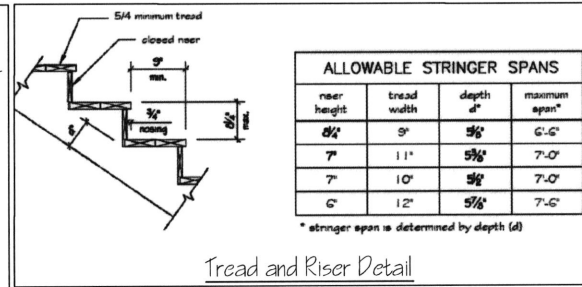
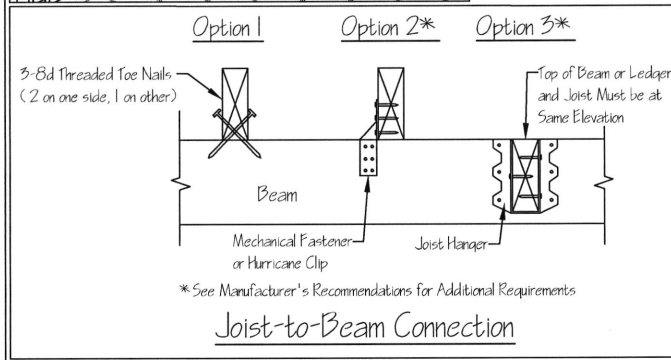
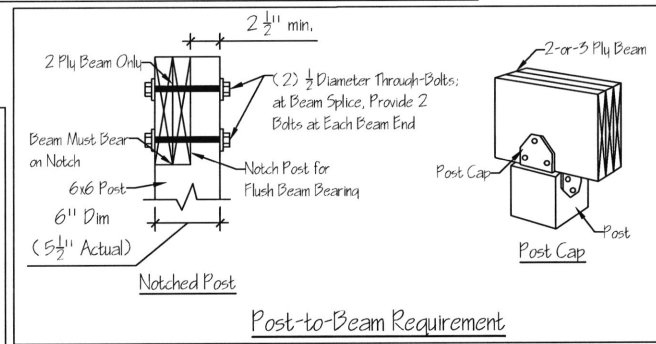
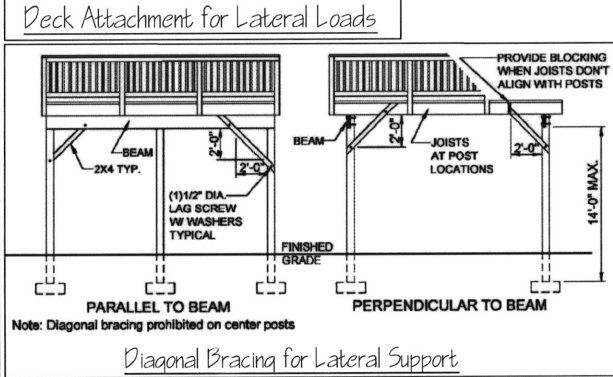
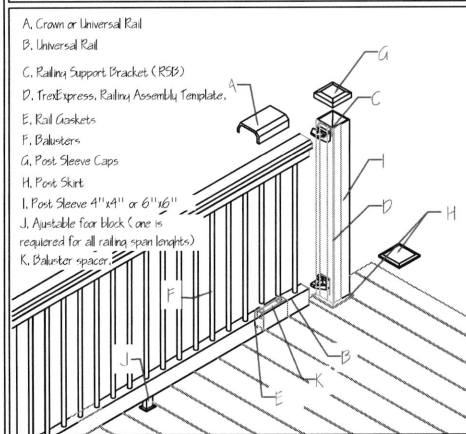
Customer Name Martin Leshin	Original Date Nov. 20, 2025
Customer Address 6817 Koandah Gardens Highland, MD 20777	Drawn by Sammi Ash
Contractor FA Outdoor Spaces	Contractor's Address 9979 Main St. Fairfax, VA 22031



**Joist Size Min. Capacity**

2x6	400 lbs
2x8	500 lbs
2x10	600 lbs
2x12	700 lbs

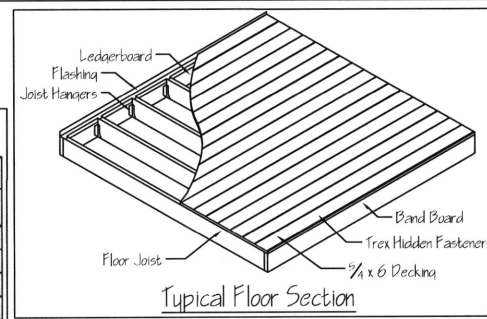
**Joist Hanger Vertical Capacity**



**ALLOWABLE STRINGER SPANS**

rise height	tread width	depth at	maximum span*
6"	9"	3/8"	6'-6"
7"	11"	5/8"	7'-0"
7"	10"	3/8"	7'-0"
6"	12"	5/8"	7'-6"

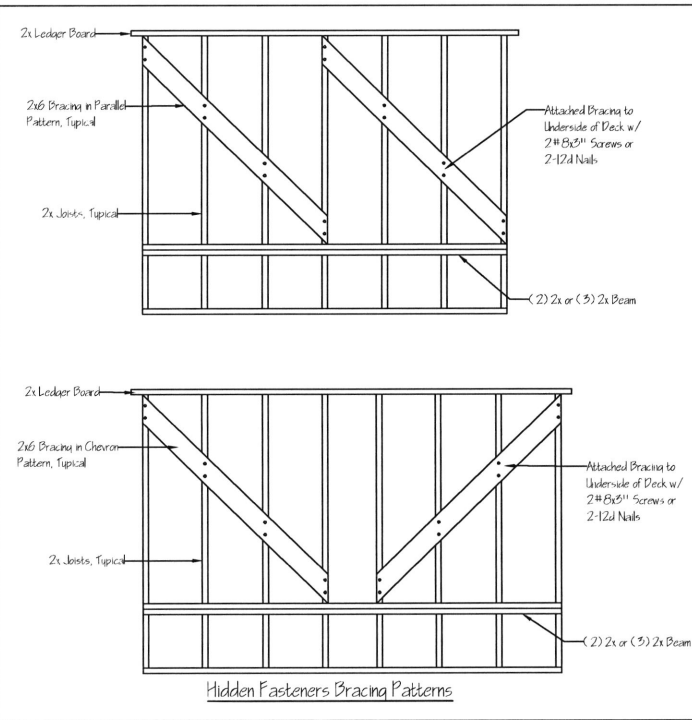
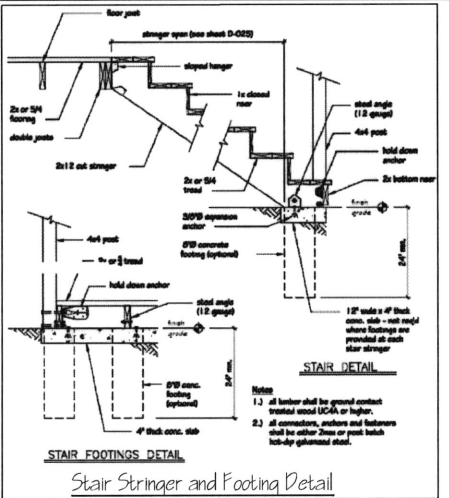
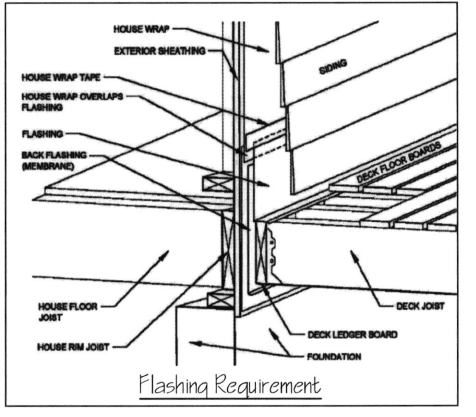
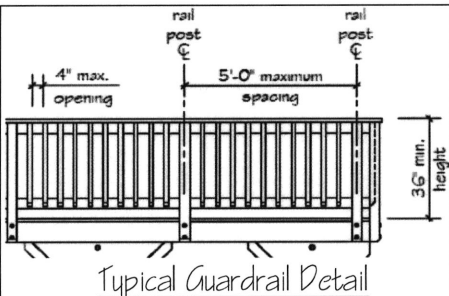
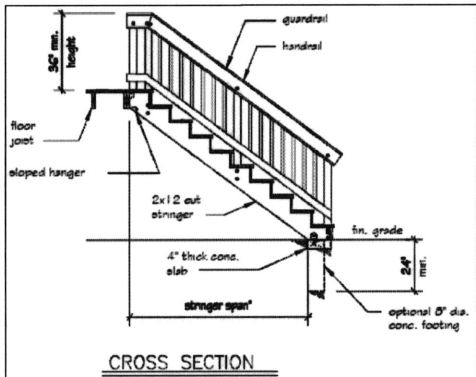
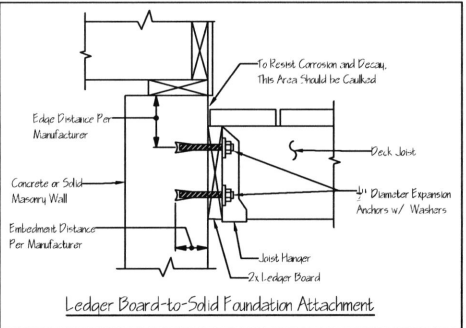
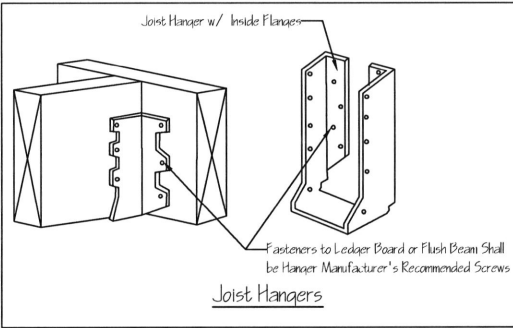
\* stringer span is determined by depth (d)



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**Material Specifications:**

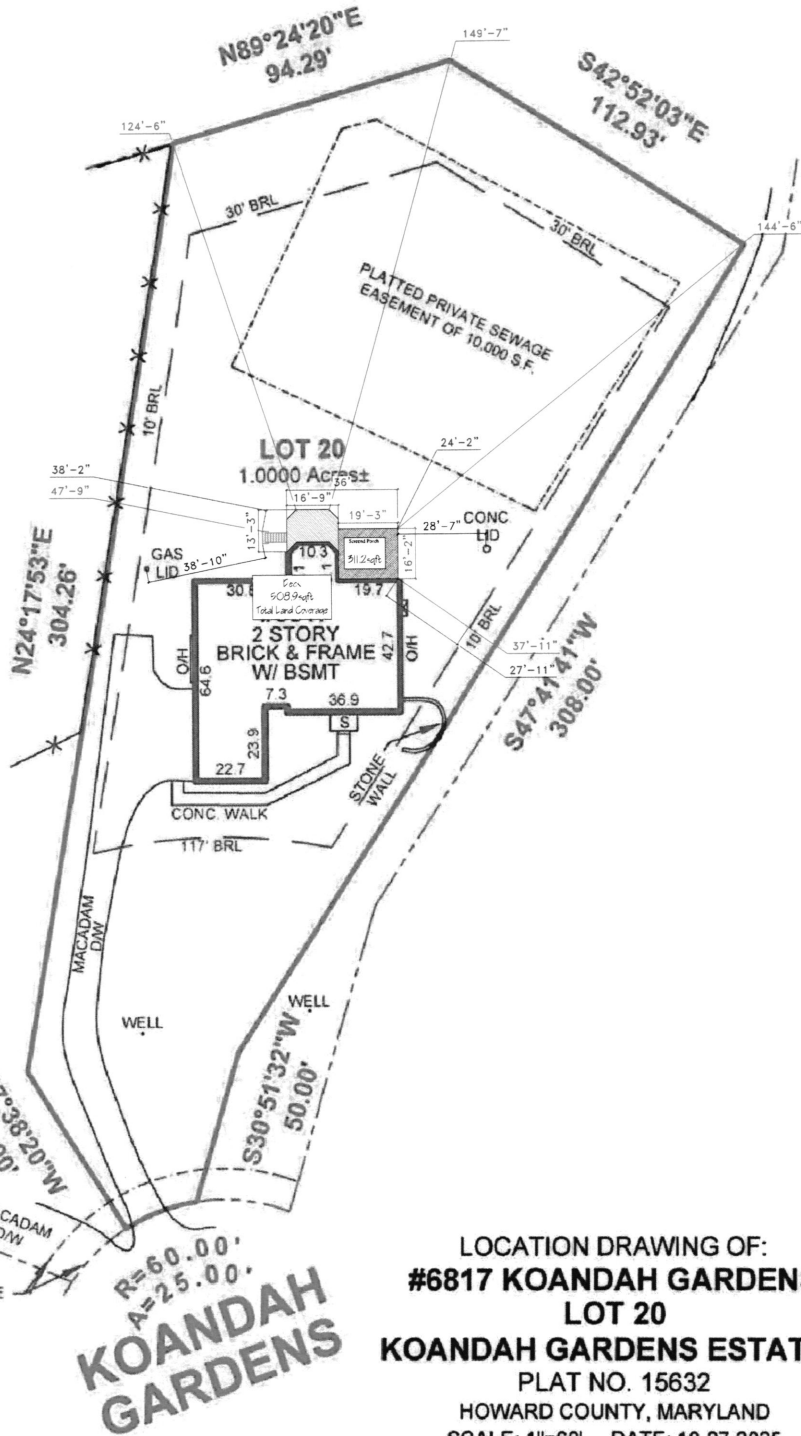
- Lumber shall be preservative-treated, southern pine, grade #2 or better. Lumber not native to North America, such as lpe, may be used as decking only; its use in guards is prohibited.
- Lumber in contact with the ground shall be rated as "ground-contact." Lumber that is underground or in direct contact with the earth shall be rated UC4A. Not all treated lumber is rated for ground contact.
- Concrete in footings shall have a minimum compressive strength of 3,000 PSI.
- Nails shall be threaded, ring-shanked or annular grooved. A 1/8-inch pilot hole shall be used at toe-nailing locations.
- Carriage-bolts may be substituted where through-bolts are specified provided torque washers are installed at the bolt head.
- Fasteners shall be hot-dipped galvanized, stainless steel or approved for use with preservative-treated lumber.
- Hardware and mechanical connectors, e.g., joist hangers or post anchors, shall be stainless steel or galvanized with 1.85 ounces of zinc per square foot (G-185 coating). Look for product lines such as "Zmax," "Triple Zinc" or "Gold Coat."
- Flashing at ledger board connections (see Page 15) shall be copper (with copper nails only), stainless steel, UV resistant plastic or galvanized steel with a G-185 coating.
- Plastic composites are materials composed of bound wood and plastic fibers. Permissible as noted in this document, plastic composites must bear a label indicating their compliance with ASTM D 7032 and have a flame spread not to exceed 200. Plastic composite's label and installation instructions must be available to the inspector.



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 Contractor: FA Outdoor Spaces, 9979 Main St., Fairfax, VA 22031  
 Original Date: Nov. 20, 25  
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THE LEVEL OF ACCURACY OF DISTANCES TO APPARENT PROPERTY LINES IS:  $1 \pm$



**LEGEND:**

- ✕ - FENCE
- B/E - BASEMENT ENTRANCE
- B/W - BAY WINDOW
- BR - BRICK
- BRL - BLDG. RESTRICTION LINE
- BSMT - BASEMENT
- C/S - CONCRETE STOOP OR SLAB
- CONC - CONCRETE
- D/W - DRIVEWAY
- UP - UTILITY POLE
- FR - FRAME
- MAC - MACADAM
- W/W - WINDOW WELL
- O/H - OVERHANG
- P/UE - PUBLIC UTILITY ESMT.
- PIE - PUBLIC IMPROVEMENT ESMT.

**COLOR KEY:**

- (RED) - RECORD INFORMATION
- (BLUE) - IMPROVEMENTS
- (GREEN) - ESMTS & RESTRICTION LINES

PUBLIC 10' TREE MAINTENANCE EASEMENT

**KOANDAH GARDENS**

LOCATION DRAWING OF:  
**#6817 KOANDAH GARDENS**  
**LOT 20**  
**KOANDAH GARDENS ESTATES**  
 PLAT NO. 15632  
 HOWARD COUNTY, MARYLAND  
 SCALE: 1"=60' DATE: 10-27-2025  
 DRAWN BY: B.G. FILE #: 259324-817



**SURVEYOR'S CERTIFICATE**

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 08 13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1". NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

A Land Surveying Company



**DULEY**  
 and  
**Associates, Inc.**



Serving D.C. and MD.

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 Phone: 301-888-1111 Fax: 301-888-1114  
 Email: orders@duley.biz On the web: www.duley.biz