

Record Detail \* (This section is required.)

Approved RHC  
7/14/2023

Permit Type Building/Residential/Alteration/SFD Permit Number B23002618 Opened Date 07/12/2023

Description of Work SFD/ FINISHED BASEMENT to include full bathroom, family room, home theatre, & exercise room, APX 1200 SQ. FT.\*\*SLEEPING ROOMS ARE NOT PERMITTED UNLESS EGRESS REQUIREMENTS ARE MET, SMOKE DETECTORS REQUIRED.\*

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 3014 Street Name KITTLEMAN Street Type LN  
 Unit Type -Select- Unit # X Coordinate -76.97728 Y Coordinate 39.29002  
 City WEST FRIENDSHIP State MD Zip Code 21794 Primary Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
928605	117	1	210000	663500	453500	RURAL

Legal Description IMPSLOT 4 43,560 SQ[ ]3014 KITTLEMAN LN[ ]KITTLEMAN PROP

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	4	603000	5				
Plan Area		State Tax Id		Subdivision Name			
		1403354601		KITTLEMAN PROPERTY			
Section		Area		Tax Map			
				15			
Grid		Zoning District		ADC Map			
15-21		RC-DEO		4813-D4			
SDP No.		Final Plan No.		WP File No.			
		F-08-161			Primary		
Record Plat No.		WS Contract No.		FDP No.	Yes		
20766-2076					Yes		
Owner Occupied		Year Built		Historic District			
<input type="radio"/> Yes <input type="radio"/> No		2016		<input type="radio"/> Yes <input checked="" type="radio"/> No			
Historic District Registry No.		Stat Area		Flood Plain			
		3-04		<input type="radio"/> Yes <input checked="" type="radio"/> No			
Building No							

Owner (This section is not required.)

Search Reset Clear

Name \* REIGEL SAMANTHA  
 Address Line 1 3014 KITTLEMAN LN  
 Address Line 2

Address Line 3

Mail City WEST FRIENDSHIP Mail State MD Mail Zip Code 21794  
 Phone 443-603-7587 Primary Yes  
 E-mail

Cell Number Fax Number

**Professionals** (This section is not required.)

<b>License #</b> 08010095743	<b>Business Name</b> IRVIN YOUNG ENTERPRISES INC		
<b>License Type</b> MHIC Ind	<b>First Name</b> IRVIN	<b>Middle Name</b>	<b>Last Name</b> YOUNG
<b>Primary</b> Yes	<b>Address Line 1</b> 1411 KNOPP ROAD		
	<b>Address Line 2</b>		
	<b>City</b> JARRETTSVILLE	<b>State</b> MD	<b>ZIP Code</b> 21084
	<b>Phone 1</b> 4104590944	<b>Phone 2</b>	<b>Fax</b> 4104590944
	<b>E-mail</b> IRVINANDLINDAYOUNG@GMAIL.COM		

**Applicant** (This section is not required.)

Search As Owner As Lic. Prof As Contact

<b>Type</b> Applicant	<b>First Name</b> Irvin	<b>MI</b>	<b>Last Name</b> Young
<b>Relationship</b> Applicant	<b>Full Name</b> Irvin Young		
<b>Primary</b> No	<b>Organization Name</b> IY Enterprises		
	<b>Street Address</b> 1411 Knopp Road		
	<b>Address Line 2</b>		
	<b>City</b> Jarrettsville	<b>State</b> MD	<b>Zip Code</b> 21084
	<b>Phone</b> 410-459-0944	<b>Cell</b>	<b>Fax</b>
	<b>E-mail</b> irvinandlindayoung@gmail.com		

**Contact** (This section is not required.)

Search As Owner As Lic. Prof As Contact

<b>Type</b> Contact	<b>First Name</b> Irvin	<b>MI</b>	<b>Last Name</b> Young
<b>Relationship</b> Licensed Professional	<b>Full Name</b> Irvin Young		
<b>Primary</b> Yes	<b>Organization Name</b> IY Enterprises		
	<b>Street Address</b> 1411 Knopp Road		
	<b>Address Line 2</b>		
	<b>City</b> Jarrettsville	<b>State</b> MD	<b>Zip Code</b> 21084
	<b>Phone</b> 410-459-0944	<b>Cell</b>	<b>Fax</b>
	<b>E-mail</b> irvinandlindayoung@gmail.com		

**Addtl Info**

<b>Est Construction Cost</b> 65000	<b>Housing Units</b> 0	<b>Number of Buildings</b> 0	<b>Public Owned</b> No
<b>Construction Type</b> --Select--			

Export Excel Print Back to Table Page 1 of 1

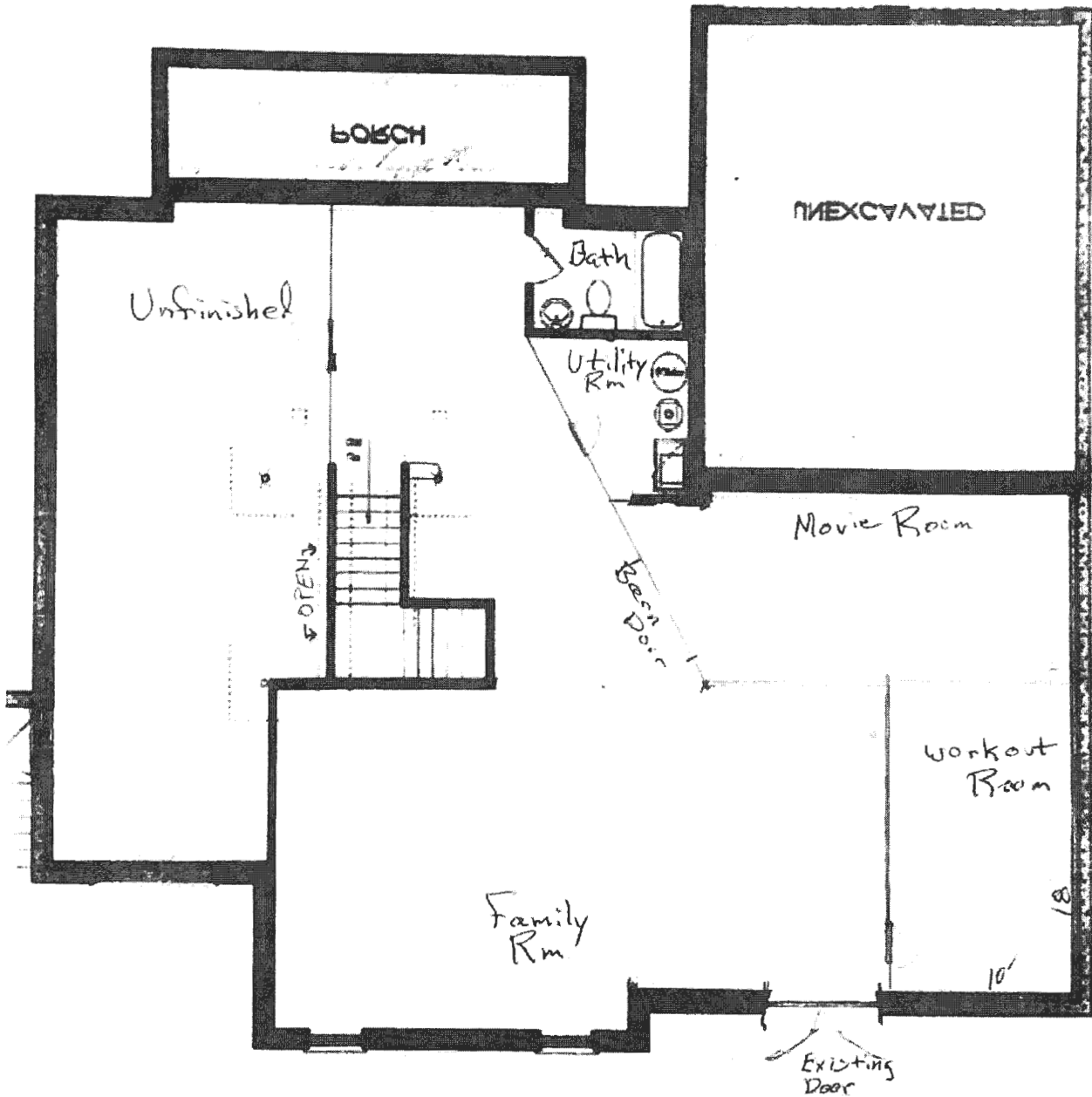
**RESIDENTIAL ALTERATION INFO**

**RESIDENTIAL ALTERATION INFORMATION**

<b>Total Square Footage</b> 1200	<b>No of Stories</b> SQFT 0	<b>Basement</b> Partially Finished	<b>Bedrooms</b> 0	<b>Full Baths</b> 1	<b>Half Baths</b> 0	<b>Water</b> Private	<b>Sewage</b> Private
<b>Existing Utilities</b> Electric	<b>Existing Heating System</b> Electric	<b>Existing Sprinkler System</b> None	<b>Type of New Fireplace</b> --Select--	<b>Expiration Date</b> 1/13/2024	<b>Fee Exempt</b> <input type="radio"/> Yes <input checked="" type="radio"/> No		

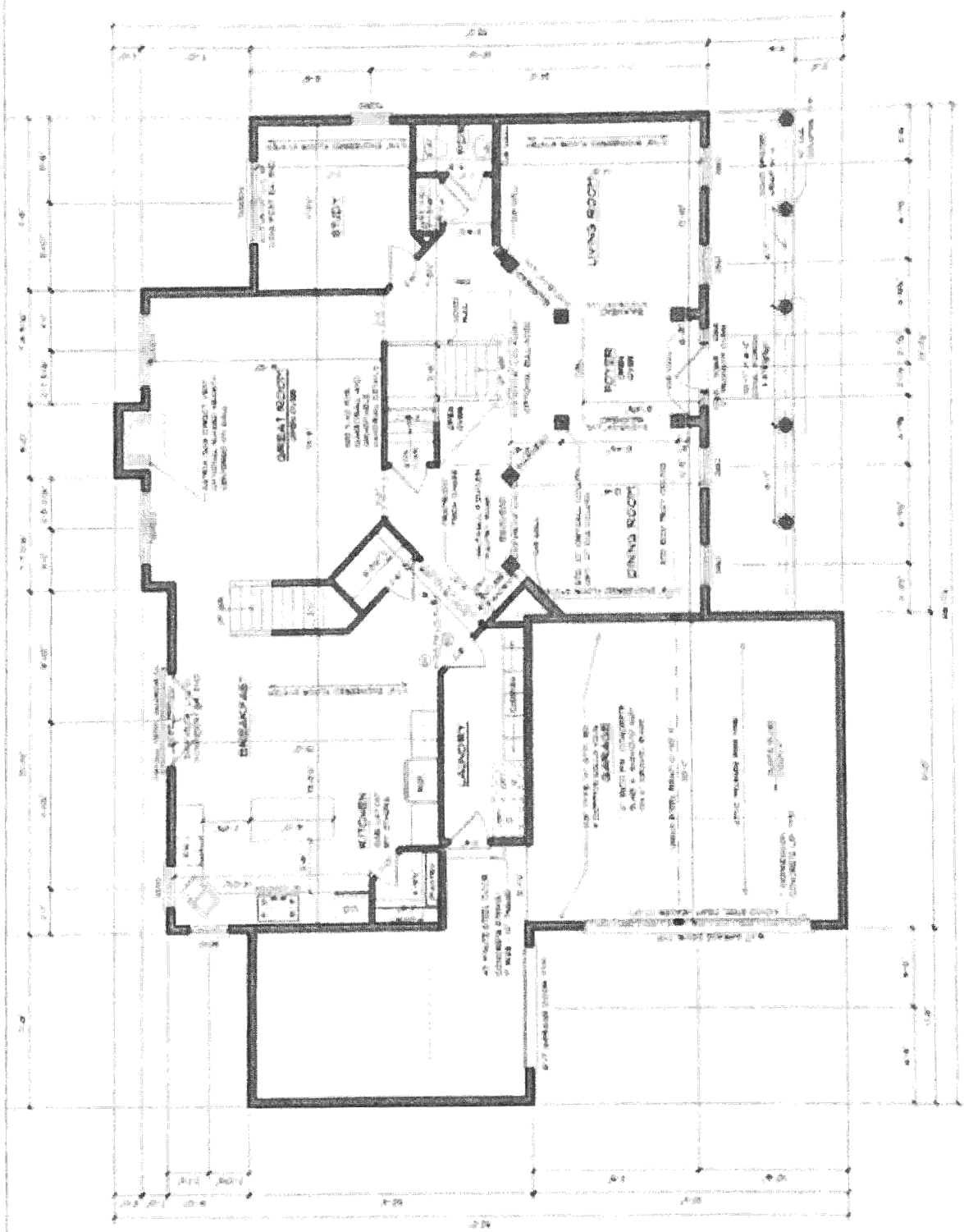
# Proposed Basement Plan

## FRONT



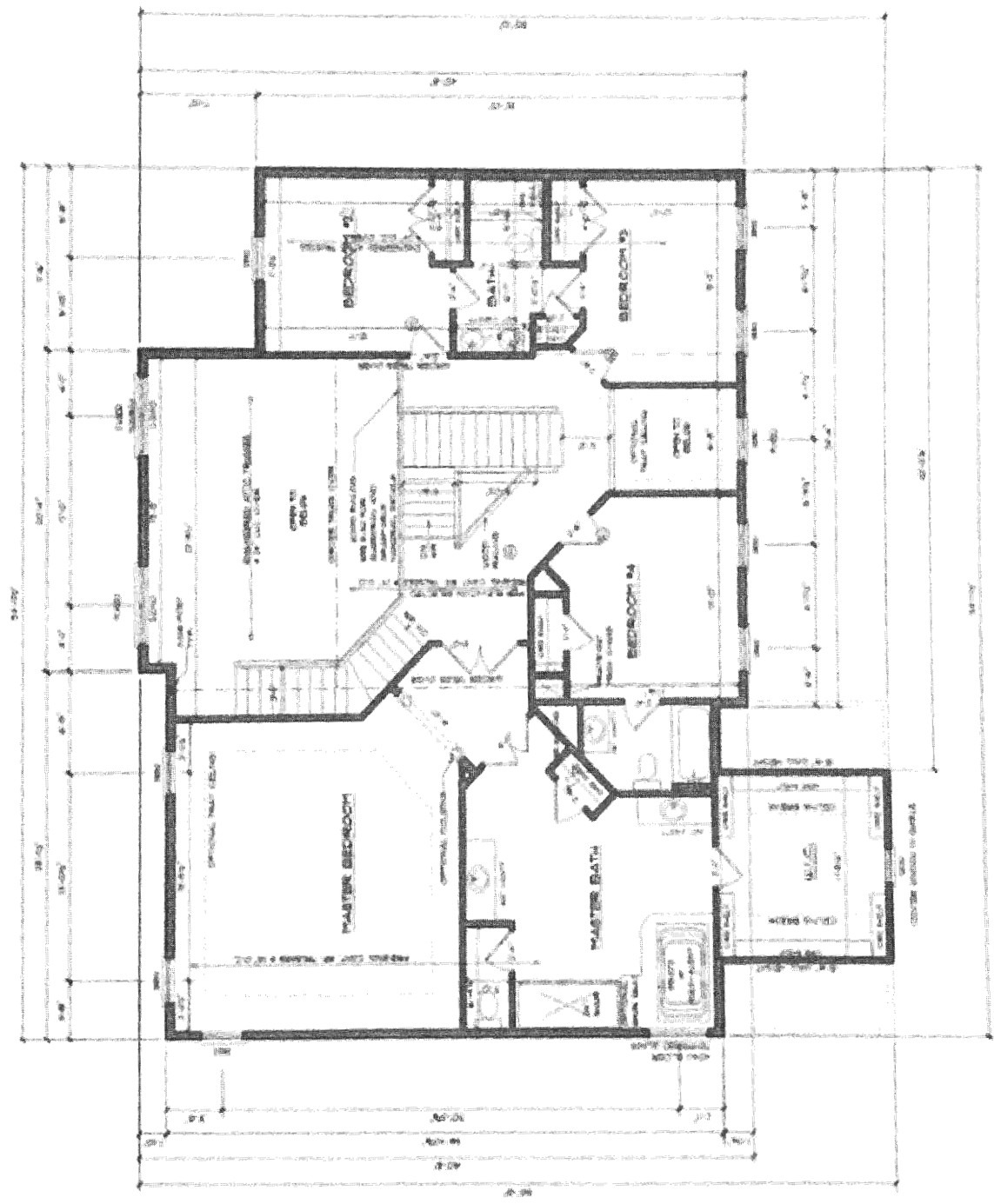
BT JK

# 3.01-First Floor Plan(Reigel).pdf



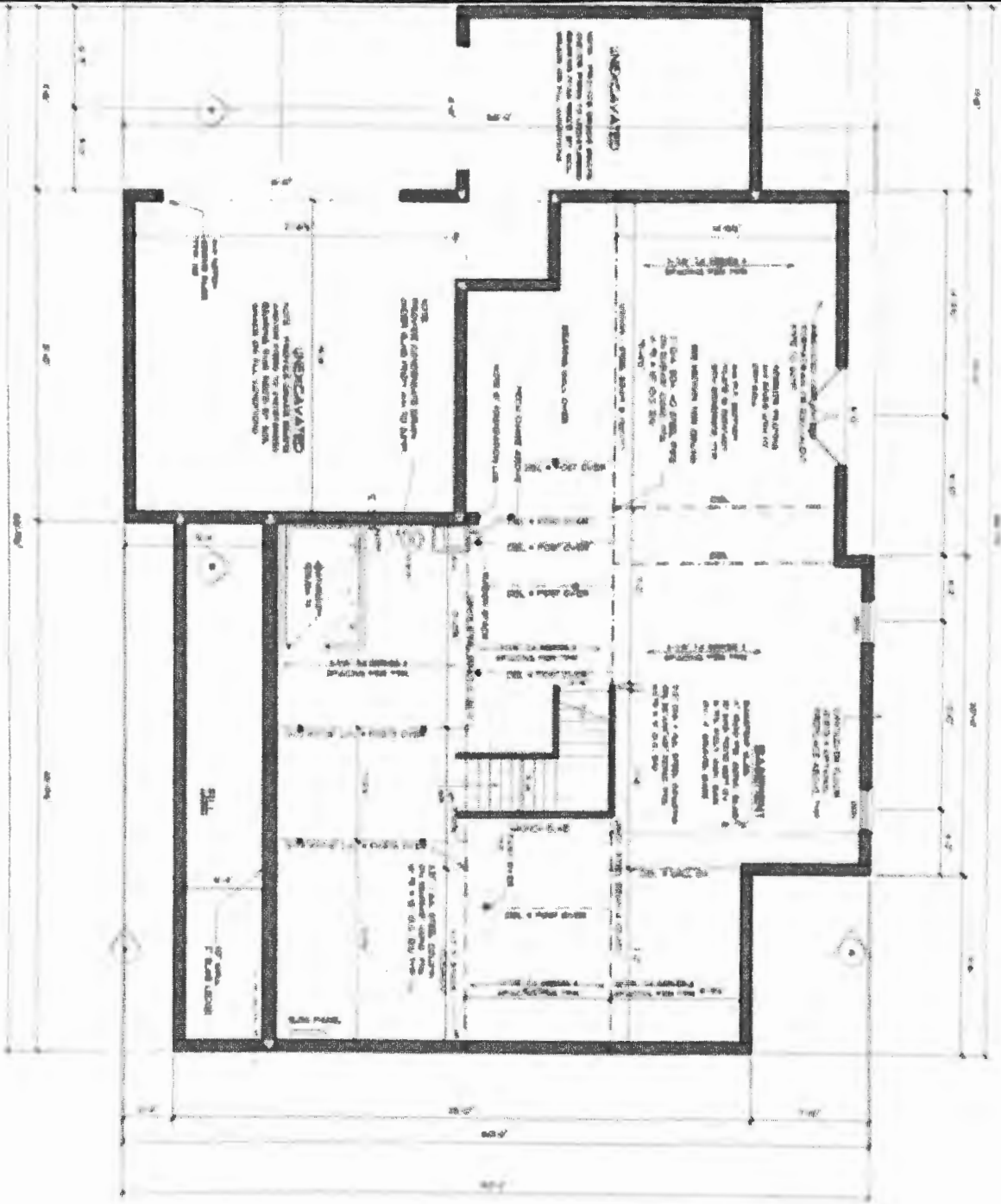
FIRST FLOOR PLAN

REVISIONS TO BE MADE BY ARCHITECT  
DATE: 10/15/2010



SECOND FLOOR PLAN

# FOUNDATION PLAN



## FOUNDATION NOTES

1. FOUNDATION SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE LOCAL BUILDING DEPARTMENT.
2. ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
3. ALL FOUNDATION WALLS SHALL BE FINISHED WITH A MINIMUM OF 1/2" THICKNESS OF CONCRETE.
4. ALL FOUNDATION WALLS SHALL BE FINISHED WITH A MINIMUM OF 1/2" THICKNESS OF CONCRETE.
5. ALL FOUNDATION WALLS SHALL BE FINISHED WITH A MINIMUM OF 1/2" THICKNESS OF CONCRETE.
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9. ALL FOUNDATION WALLS SHALL BE FINISHED WITH A MINIMUM OF 1/2" THICKNESS OF CONCRETE.
10. ALL FOUNDATION WALLS SHALL BE FINISHED WITH A MINIMUM OF 1/2" THICKNESS OF CONCRETE.

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	FOUNDATION WALL	100	LF	1.00	100.00
2	FOUNDATION WALL	200	LF	1.00	200.00
3	FOUNDATION WALL	300	LF	1.00	300.00
4	FOUNDATION WALL	400	LF	1.00	400.00
5	FOUNDATION WALL	500	LF	1.00	500.00
6	FOUNDATION WALL	600	LF	1.00	600.00
7	FOUNDATION WALL	700	LF	1.00	700.00
8	FOUNDATION WALL	800	LF	1.00	800.00
9	FOUNDATION WALL	900	LF	1.00	900.00
10	FOUNDATION WALL	1000	LF	1.00	1000.00



LICENSE \* REGISTRATION \* CERTIFICATION \* PERMIT  
**STATE OF MARYLAND**  
**MARYLAND DEPARTMENT OF LABOR**

Wes Moore  
 Governor  
 Angela Miller  
 Lieutenant  
 Peter W.  
 Secretary

**MARYLAND HOME IMPROVEMENT COMMISSION**  
**CERTIFIES THAT:**  
**IRVIN YOUNG ENTERPRISES INC**

**IRVIN YOUNG ENTERPRISES INC**  
**05-130851**  
**1411 KNOPP ROAD**  
**JARRETTSVILLE MD 21084**

IS AN AUTHORIZED: **05 - CONTRACTOR/SALESMAN (CORP/PART)**

LIC/REG/CERT  
 130851

EXPIRATION  
 07-05-2025

EFFECTIVE  
 N/A

CONTROL NO  
 6085603

Signature of Bearer

Secretary

WHERE REQUIRED BY LAW THIS MUST BE CONSPICUOUSLY DISPLAYED IN OFFICE TO WHICH IT APPLIES

08 05 130851

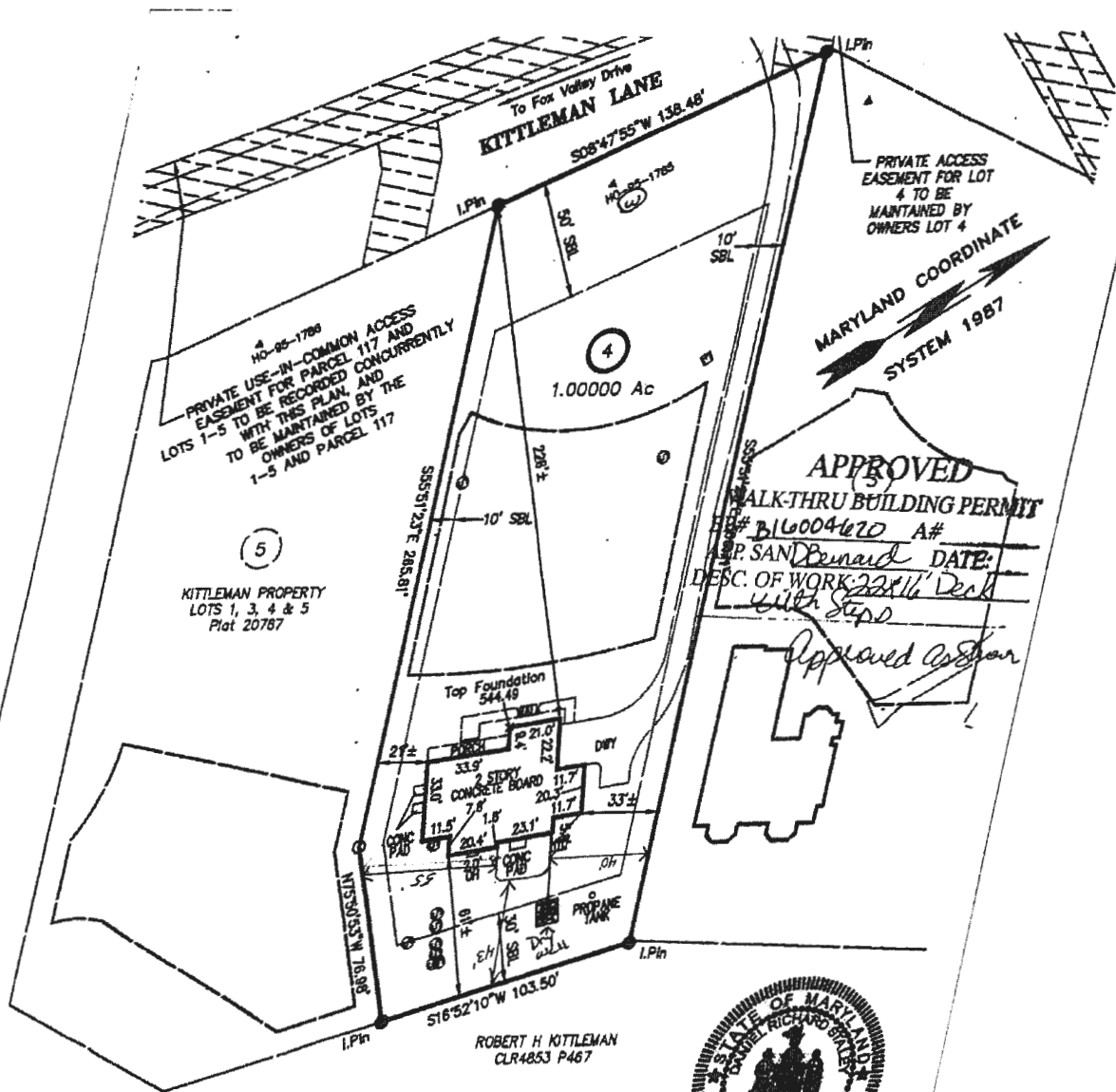
6,085,603

08 05 130851

MARYLAND HOME IMPROVEMENT COMMISSION  
 1100 N. EUTAW STREET  
 BALTIMORE, MD 21201

IRVIN YOUNG ENTERPRISES INC  
 IRVIN YOUNG ENTERPRISES INC  
 05-130851  
 1411 KNOPP ROAD  
 JARRETTSVILLE MD 21084

		LICENSE * REGISTRATION * CERTIFICATION * PERMIT <b>STATE OF MARYLAND</b> DEPARTMENT OF LABOR		Wes Moore Governor Angela Miller Lieutenant Peter W. Secretary
<b>MARYLAND HOME IMPROVEMENT COMMISSION</b>				
<b>CERTIFIES THAT:</b> <b>IRVIN YOUNG ENTERPRISES INC</b>				
<b>IS AN AUTHORIZED: 05 - CONTRACTOR/SALESMAN (CORP/PART)</b>				
<u>LIC/REG/CERT</u>	<u>EXPIRATION</u>	<u>EFFECTIVE</u>	<u>CONTROL NO</u>	
130851	07-05-2025	N/A	6085603	
Signature of Bearer			Secretary	



**APPROVED**  
**WALK-THRU BUILDING PERMIT**  
 # B16004620 A#  
 R. SAN BERNARD DATE:  
 DESC. OF WORK 22x16 Deck  
 with steps  
*Approved as shown*



This is to certify that I have surveyed the property shown hereon, known as Lot 4, Kittleman Property, located at 3014 Kittleman Drive in the 3rd Election District of Howard County, Maryland for the purpose of locating the improvements only, and that the improvements are located (±) as shown hereon, and are not in a flood prone or flood hazardous area.

Daniel R. Staley L.S. 10735 Date  
 H:\CAD\10321787674\LD01-01.DWG, Rev3, 2016-08-03 8:43:01 AM, jfb

15	15	271
Map	Block	Parcel

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 410-848-4000 • 410-876-6040 • FAX 410-848-6818