

January 17, 2024

Mr. Jeff E. Williams  
Program Supervisor, Well & Septic Program  
Howard County Bureau of Environmental Health  
8930 Stanford Blvd  
Columbia, MD 21045

*Setback Waiver*

*approved  
Jaw  
2/26/24*

RE: SDA Setback Waiver Request  
15604 Linden Grove Lane

Dear Mr. Williams:

We are the owners of 15604 Linden Grove Lane and are proposing to construct an inground pool at the rear of our property. The pool will be approximately 90 feet from the house and the location of the proposed pool will require a revision to the Sewage Disposal Area (SDA) as well as a reduction in the required 20-ft setback to a 10-ft setback.

As the homeowners of 15604 Linden Grove Lane, we are requesting a waiver to reduce the required setback distance from the SDA to the proposed pool from 20-ft to 10-ft.

Thank you.



Selvarajah Shehani Ruth / Radagodage T. Sumanaweera

**SEWAGE DISPOSAL SYSTEM DATA (6 BDRM)**

INITIAL TRENCH DESIGN (6 BDRM X 150 GPD/BDRM = 900 GPD)  
 900 GPD + 1.2 APP RATE = 750 SF  
 USE 3' WIDE TRENCH WITH 72" BELOW PIPE  
 15' MIN. SPACING BETWEEN TRENCH EDGES  
 750 SF + 3' WIDTH = 250 LF X 0.31 (SIDEWALL REDUCTION) = 77.50 LF MIN.  
 USE 1 77.50' LONG TRENCHES = 77.50 LF

1ST REPLACEMENT TRENCH DESIGN (6 BDRM X 150 GPD/BDRM = 900 GPD)  
 900 GPD + 0.8 APP RATE = 1,125 SF  
 USE 3' WIDE TRENCH WITH 48" GRAVEL BELOW PIPE  
 11' MIN. SPACING BETWEEN TRENCH EDGES  
 1,125 SF + 3' WIDE = 375 LF = 0.42 (SIDEWALL REDUCTION)=157.50 LF MIN.  
 USE 2 78.75' LONG TRENCHES = 157.50 LF

2ND REPLACEMENT TRENCH DESIGN (6 BDRM X 150 GPD/BDRM = 900 GPD)  
 900 GPD +0.8 APP. RATE = 1,125 SF  
 USE 3' WIDE TRENCH WITH 24" GRAVEL BELOW PIPE  
 10' MIN. SPACING BETWEEN TRENCH EDGES.  
 1,125 SF + 3' WIDTH = 375 LF X 0.71 (SIDEWALL REDUCTION) = 266.25 LF MIN.  
 USE 4 66.60' LONG TRENCH = 266.40 LF

DATE	REVISIONS

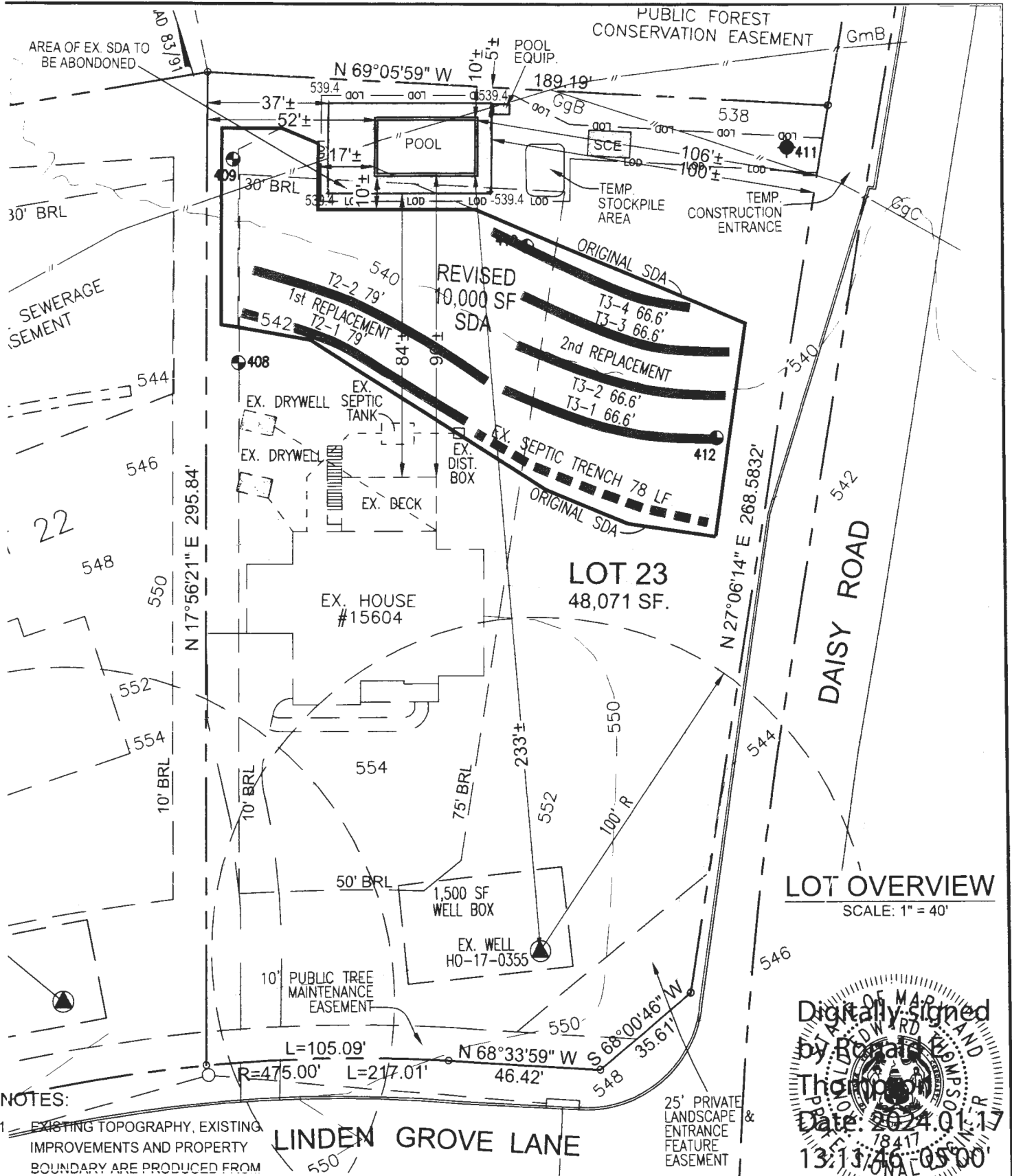
**REVISED PERCOLATION CERTIFICATION CALCULATION**  
 LOT 23  
 LINDEN GROVE  
 15604 LINDEN GROVE LANE  
 WOODBINE, MARYLAND  
 ELECTION DISTRICT NO. 4  
 HOWARD COUNTY, MARYLAND

TAX MAP: 8 GRID NO: 7 PARCEL NO: 5	ELECTION DISTRICT: No. 4 HOWARD COUNTY, MARYLAND EX. ZONING: RC-DEO	SCALE: 1" = 50' DATE: JAN. 2024 SHEET 1 OF 1
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**Engineers Surveyors Planners**

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LOT OVERVIEW  
SCALE: 1" = 40'



- NOTES:
- EXISTING TOPOGRAPHY, EXISTING IMPROVEMENTS AND PROPERTY BOUNDARY ARE PRODUCED FROM AVAILABLE HOWARD COUNTY GIS DATA.
  - ALL DISTANCES TO PROPERTY LINES HAVE AN ACCURACY OF ONE FOOT PLUS OR MINUS (1'±)
  - SOURCES OF THE BEARINGS: PB. 25064
- SIZE OF POOL: 30'-0" X 16'-0"  
POOL CONCRETE AREA: 794 SF  
LIMIT OF DISTURBANCE: 3288 SF

THIS PLAN IS SUBJECT TO THE APPROVAL OF WAIVER

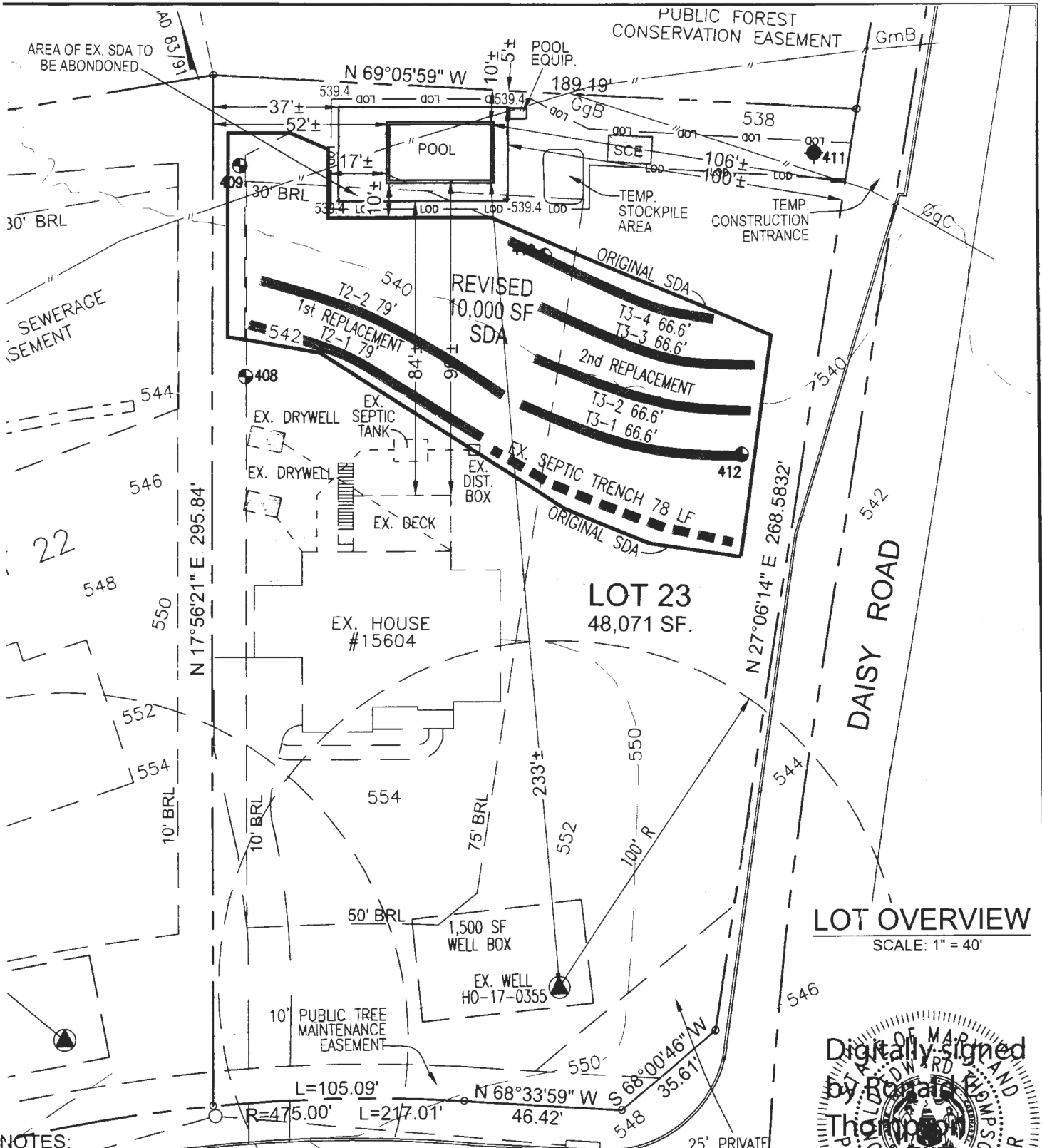
1 OF 2

C3-6537

POOL SITE PLAN  
LOT 23  
LINDEN GROVE  
15604 LINDEN GROVE LANE  
WOODBINE, MARYLAND  
ELECTION DISTRICT NO. 4  
HOWARD COUNTY, MARYLAND



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C3-6537

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## Oswald Jr, Woodin

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**From:** Oswald Jr, Woodin  
**Sent:** Tuesday, January 16, 2024 2:07 PM  
**To:** 'Scott Gates'  
**Subject:** RE: Perc Cert for 15604 Linden Grove Ln Woodbine  
**Attachments:** WS\_LindenGroveLane\_15608\_SepticPermit-2021.pdf

Hi Scott,

Good afternoon. Please submit (2) hard copies of the perc cert plan along with the waiver request letter to reduce the setback distance from the pool to the SDA. The waiver letter must have the homeowners signature on it, and it should be addressed to Jeff Williams.

On the perc cert plan, please make the following revisions.

1. Add a 100 ft. radius around the well box.
2. Show the entire neighboring lot 22 along with the well box, the 100 ft. well radius as well as the tank/trenches. See attached septic record.
3. Assuming the waiver request will be approved, please add the following note on the perc cert plan; **The Health Department has approved a waiver to reduce the required setback distance from the SDA to the proposed pool from 20 ft. to \_\_\_\_\_ ft.**
4. Make the new SDA more clear by possibly removing the shading for area being removed and make sure the new SDA line is a solid line.
5. Remove calculations from the plan and place on a supplemental sheet.

Should you have any questions, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

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**From:** Scott Gates <sunrisescott1@yahoo.com>  
**Sent:** Tuesday, January 16, 2024 9:24 AM  
**To:** Oswald Jr, Woodin <hoswald@howardcountymd.gov>  
**Subject:** Perc Cert for 15604 Linden Grove Ln Woodbine

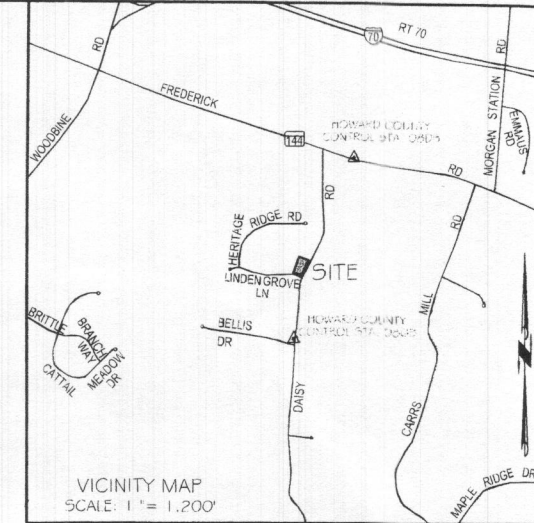
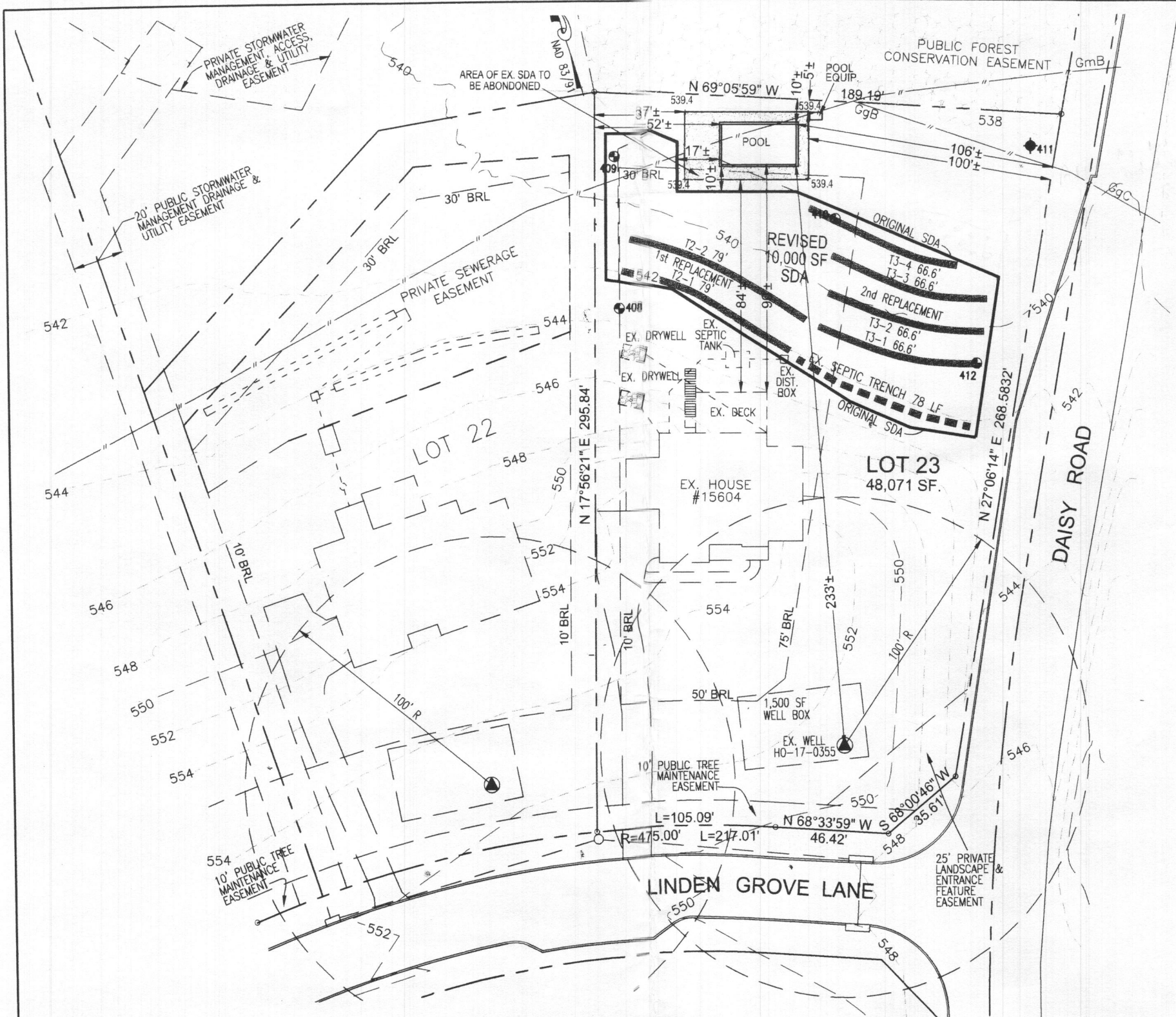
[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Hank

Here is the Perc Certification for 15604 Linden Grove Ln, Woodbine MD  
I know we had been waiting on this for approval of Swimming Pool permit.  
Please let me know if you have any questions.

Scott Gates

Director of Sales and Design Consultant  
1517 Ritchie Hwy Suite 103  
Arnold, Maryland 21012  
cell (443) 924-4708  
office (410) 349-3852



- GENERAL NOTES:**
- OWNER: SELVARAJAH SHEHANI RUTH  
SUMANAWEEERA RADAGODAGE THILINA  
DEED REFERENCE: LIBER 21559 FOLIO 486  
DATE: JUNE 06, 2022  
GRANTOR: SELVARAJAH SHEHANI RUTH
  - TAX MAP: 8 GRID: 7 PARCEL: 5
  - THE SUBJECT PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 2402700035D EFFECTIVE ON 11/6/2013.
  - TOPOGRAPHY & PLANIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY, SUPPLEMENTED WITH FIELD LOCATIONS BY VANMAR ASSOCIATES, INC. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD88.
  - THE BASIS OF BEARINGS FOR THIS PLAN IS THE MARYLAND COORDINATE SYSTEM (NAD83/91) PER HOWARD COUNTY SURVEY CONTROL STATIONS 080B & 086B.
  - THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARY AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS UNLESS OTHERWISE SHOWN HEREON.
  - SOIL TYPE: GLENELG LOAM (GgB) (GgC), GLENVILLE SILT LOAM (GmB) SOIL WEB SURVEY MAP
  - ZONING DISTRICT: RC-DEO
  - THE LOT SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
  - ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA WILL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
  - THE HEALTH DEPARTMENT HAS APPROVED A WAIVER TO REDUCE THE REQUIRED SETBACK DISTANCE FROM THE SDA TO THE PROPOSED POOL FROM 20 FT. TO 10 FT.

THE PURPOSE OF THIS REVISED PERCOLATION CERTIFICATION PLAN IS TO REVISE THE SEWAGE DISPOSAL AREA FOR THE ADDITION OF AN IN-GROUND POOL.

THIS AREA DESIGNATED A PRIVATE SEWAGE DISPOSAL AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY MARYLAND STATE DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL.

IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS. RECORDATION OF A MODIFIED SEWAGE DISPOSAL AREA SHALL NOT BE NECESSARY.

(PASSED) PERCOLATION TEST SITE:

(FAILED) PERCOLATION TEST SITE:

EX. WELL:

EX. HOUSE SITE:

OWNER:  
SELVARAJAH SHEHANI RUTH  
SUMANAWEEERA RADAGODAGE THILINA  
15604 LINDEN GROVE  
WOODBINE MD 21797

**PROFESSIONAL CERTIFICATION**  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417 Expiration Date: 9-18-25.

DATE	REVISIONS
11/16/23	SDA



**REVISED PERCOLATION CERTIFICATION PLAN**

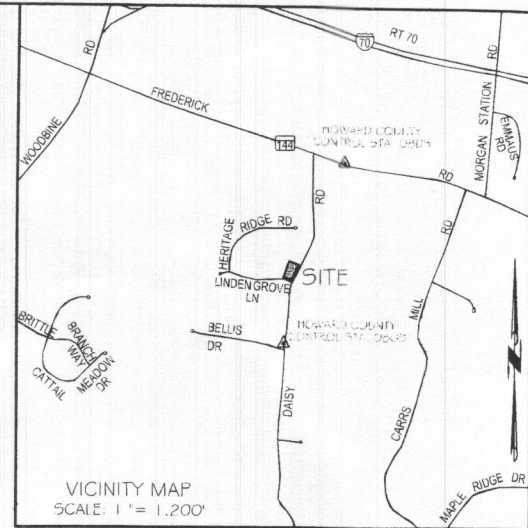
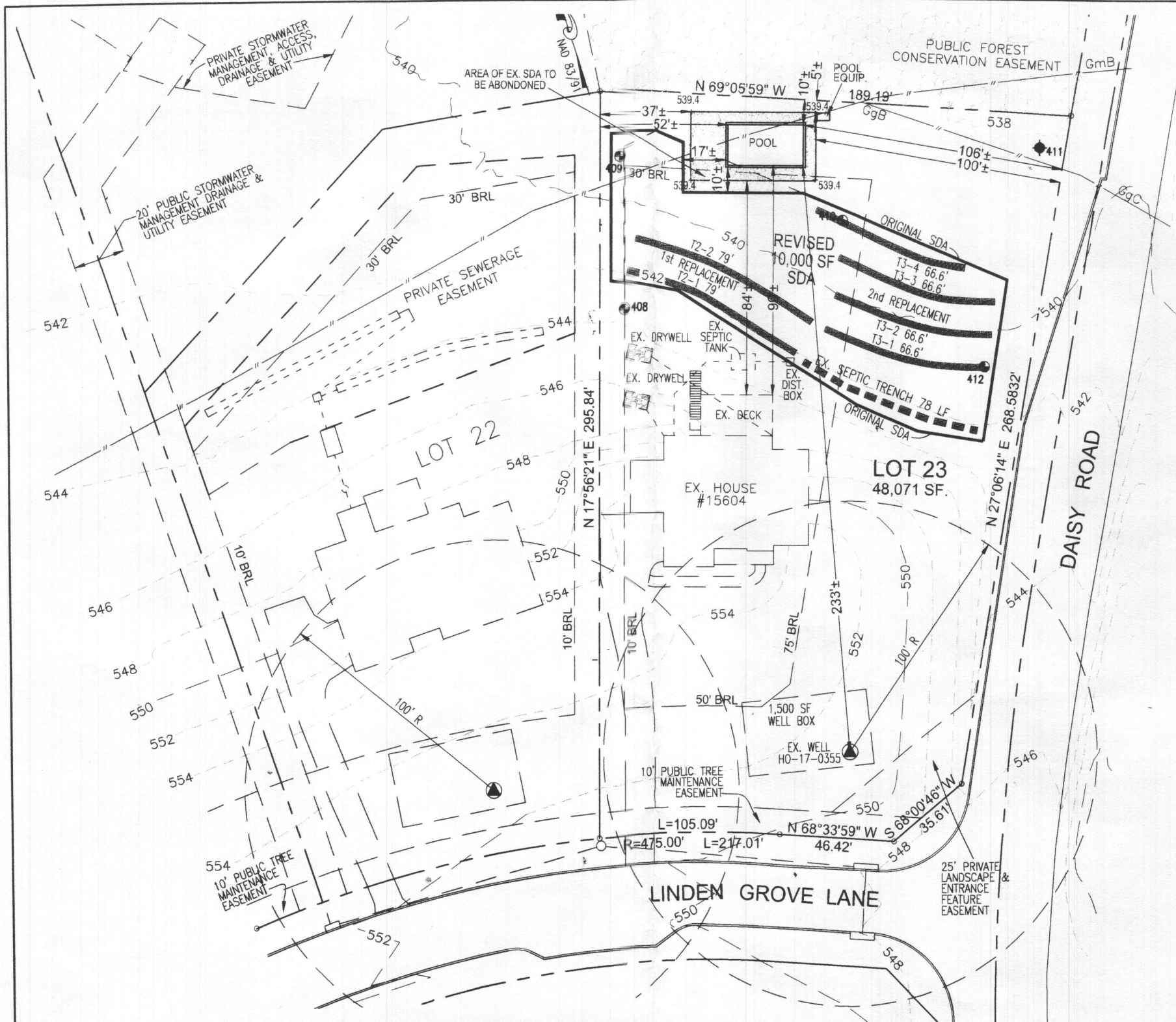
LOT 23  
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15604 LINDEN GROVE LANE  
WOODBINE, MARYLAND  
ELECTION DISTRICT NO. 4  
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TAX MAP: 8 ELECTION DISTRICT: No. 4 SCALE: 1" = 50'  
GRID NO: 7 HOWARD COUNTY, MARYLAND DATE: OCT. 2023  
PARCEL NO: 5 EX. ZONING: RC-DEO SHEET 1 OF 1

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APPROVED:  
FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_



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  - THE BASIS OF BEARINGS FOR THIS PLAN IS THE MARYLAND COORDINATE SYSTEM (NAD83/91) PER HOWARD COUNTY SURVEY CONTROL STATIONS 08DB & 08GB.
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EX. HOUSE SITE: □

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HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

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11/16/23	SDA

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ELECTION DISTRICT NO. 4  
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