

expedite.

Record Detail (This section is required.)

Permit Type Building/Residential/Addition/SFD Permit Number B24004831 Opened Date 12/30/2024

Description of Work SFD/ Construct 15 x 30 Three Season Room, 12 x 15 open deck with steps to grade and 11 x 8 front portico, 4X4 Concrete Landing & Steps at Garage, 1 STORY, Post & Pier, 1R, 0FB, 0HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = Open Porch and Deck, ENERGY METHOD = N/A,

ON Hold, perc testing required.
y/l 1/23/25

check spelling

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 11485 Street Name JOHNS HOPKINS Street Type RD

Unit Type Unit # X Coordinate Y Coordinate

-Select- -76.91196 39.16639

City CLARKSVILLE State MD Zip Code 21029 Primary Yes

Perc Cert waiver approved, well upgraded, BP now approved.

y/l 3/4/25

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
847076	109	2.16	121600	485800	114920	RURAL

Legal Description 2.1619 A []11485 JOHNS HOPKINS RD []CLARKSVILLE

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
		605102	4				

Plan Area State Tax Id 1405366828 Subdivision Name

Section Area Tax Map 41

Grid Zoning District RR-DEO ADC Map 5052-E4

SDP No. Final Plan No. WP File No.

Record Plat No. WS Contract No. FDP No. Primary Yes

Owner Occupied Year Built 1958 Historic District

Yes No Yes No

Historic District Registry No. Stat Area 5-16C Flood Plain

Yes No

Building No

Owner (This section is not required.)

Search Reset Clear

Name Richart

Address Line 1 11485 Johns Hopkins Road

Address Line 2

Address Line 3

Mail City Clarksville

Mail State MD

Mail Zip Code 21029

Phone 301-356-0224

Primary Yes

E-mail

No of Stories 1 (Text) Foundation Post & Pier Basement N/A No of Rooms 1 (Text) Full Baths 0 (Number) Ha 0

Model SFD/ Construct 15 x 30 Three Season Room, 12 x 15 open deck with steps to grade and 11 x 8 front portico, 4X4 Concrete Landing & Steps at check spelling

Other Structure None Bedrooms 0 (Number) Porch Deck Open Porch and Deck No of Fireplaces 0 (Number) Type of Fireplace --Select--
W & S Fees Paid Yes No Water Private Sewage Private Utilities Electric Heating System Electric Sprinkler System None
1st Floor Width 22 FT (Number) 1st Floor Depth 15 FT (Number) 2nd Floor Width FT (Number) 2nd Floor Depth FT (Number) Basement Width FT (Number) Basement Depth FT (Number) Height FT (Number)
Total Square Footage 330 SQFT (Number) Occupiable Square Footage 0 SQFT (Number) Affordable Housing Funding N/A Foundation Measurement existing (Text)
Walls 2x6 16oc (Text) Roof gable/asp (Text) Change In Use Yes No Grading Permit No Senior Housing Yes No MIHU Outside Downtown Columbia Yes No
Additional Description Info Expiration Date 7/22/2025 MIHU Required Units 0 (Num)

GREEN INFORMATION

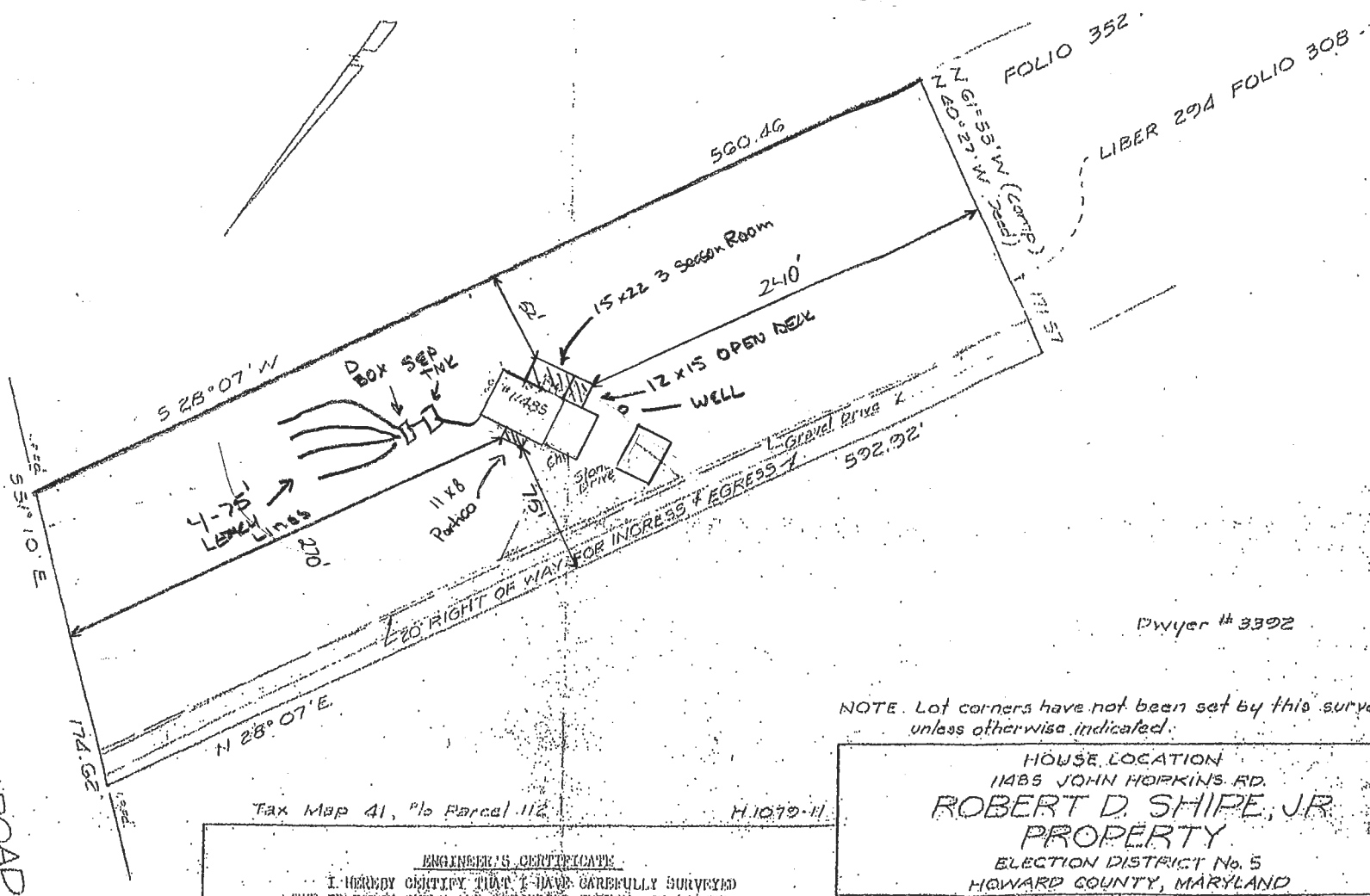
Goal Level --Select-- Actual Level --Select-- Leed Registration Number (Text) Date of Leed Certification

STORM WATER MANAGEMENT

Green Roofs A1 Yes No Permeable Pavements A2 Yes No Reinforced Turf A3 Yes No Disconnection of Rooftop Runoff N1 (Number)
Sheetflow to Conservation Areas N3 Yes No Rainwater Harvesting M1 (Number) Submerged Gravel Wetlands M2 (Number) Landscape Infiltrator
Dry Wells M5 (Number) Micro Bioretention M6 (Number) Rain Gardens M7 (Number) Swales M8 (Number)
PSWM Certification Received in CID on

Submit Cancel

JOHN HOPKINS ROAD



Dwyer # 3392

NOTE: Lot corners have not been set by this survey unless otherwise indicated.

Tax Map 41, Parcel 112 H.1079-11

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE PROPERTY SHOWN AND DESCRIBED HEREON, IN ACCORDANCE WITH RECORD DESCRIPTION, AND HAVE LOCATED ALL OF THE EXISTING IMPROVEMENTS THEREON BY A TRANSIT-TAPE SURVEY AND THAT CORNERS HAVE BEEN FOUND OR PLACED AS SHOWN, AND THAT THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS THE PROPERTY EXCEPT AS INDICATED.
 Date 4-15-76
 Clinton G. Light
 Md. P.E. & L.S. No. 715

HOUSE LOCATION 11485 JOHN HOPKINS RD. ROBERT D. SHIFE, JR. PROPERTY ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND			
DESIGNED BY	SCALE 1"=60'	DATE 4-15-76	PHONE 442-6
DRAWN BY J.M.	LIGHT, ELLIOTT AND ASSOC. ENGINEERS PLANNERS SURVEYORS 8608 ADELPHI RD. ADELPHI, MD. 20783		
APPROVED BY			JOB NO. F-2623 FILE NO. MS-224

GENERAL NOTES

CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION IN DISTRICT OF HOWARD COUNTY. ALL TRADES PERFORMING WORK SHALL MEET OR EXCEED CODE REQUIREMENTS WITH REGARD TO MATERIALS, CONSTRUCTION, AND INSTALLATION METHODS.

ALL TRADE (PLUMBING, ELECTRICAL AND MECHANICAL) DWGS ARE SCHEMATIC EACH APPLICABLE CONTRACTOR TO INTRODUCE NEW WORK AND TIE INTO EX. WHERE APPROPRIATE IN MOST EFFICIENT MANNER WHILE COMPLYING WITH ALL CODES.

THESE DRAWINGS HAVE BEEN DEVELOPED IN COORDINATION WITH PROJECT SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS SHALL BE USED COMPLEMENT EACH OTHER.

REVIEW CONTRACT DOCUMENTS AND FIELD DIMENSIONS AND CONDITIONS. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. PROMPTLY REPORT ANY ERRORS, CONFLICTS, OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO ANY WORK IN QUESTION. IF THE CONTRACTOR FAILS TO NOTIFY ARCHITECT OF A KNOWN NONCONFORMITY, THEN THE CONTRACTOR IS TO PAY SUCH COSTS AND DAMAGES TO THE OWNER AS WOULD HAVE BEEN AVOIDED IF NOTIFICATION HAD BEEN PERFORMED.

COORDINATE WORK WITH THE OWNER/TENANT, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.

CONTRACTOR SHALL ENSURE THAT CONTRACTOR EMPLOYEES AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.

OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT.

INCLUDE THESE IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION. COORDINATE WITH TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEM INSTALLATION.

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

WORK AREAS TO BE SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.

PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	PERMIT SET	12-6-24	DRB
2			
3			
4			

SCOPE WORK:

CREATE NEW 3 SEASON ROOM W/
REPAIRED DECK. NEW FRONT PORTICO

OWNER INFORMATION
MR. & MRS. BLONDO
11485 JOHN'S HOPKINS ROAD
CLARKSVILLE, MD 21029

PROPERTY INFORMATION

EXISTING CONDITION

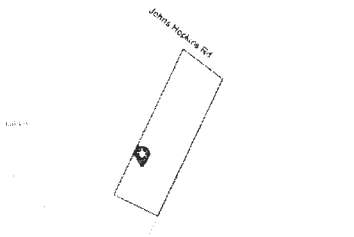
ONE STORY w/ BASEMENT
SQUARE FOOTAGE: 1,798
3 BEDROOM
3 BATH

PROPOSED

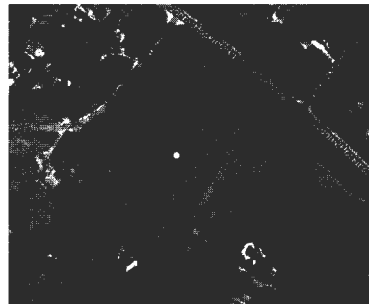
ONE STORY w/ BASEMENT
SQUARE FOOTAGE: 1,798
3 BEDROOM
3 BATH
NEW 3 SEASON ROOM
NEW FRONT PORTICO

PROPERTY RESIDENTIAL RENOVATION

VICINITY MAP



SATELLITE MAP



DRAWING INDEX

- CS-1 COVER SHEET
- A-1 EXISTING FLOOR PLAN
- A-2 EXISTING ELEVATION
- A-3 PROPOSED FLOOR PLAN
- A-4 PROPOSED ELEVATIONS

APPLICABLE CODES: ADOPTED JANUARY 3RD 2022

HOWARD COUNTY

- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL RESIDENTIAL CODE
- CB71 IBC IRC
- 2021 INTERNATIONAL ENERGY CONSERVATION
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- CB72 PLUMBING
- 2021 NFPA 101 LIFE SAFETY CODE
- 2020 NFPA 70 NATIONAL ELECTRICAL CODE

IRC 2021 DESIGN CRITERIA

FLOOR LIVE LOAD	40 spf
ROOF LIVE LOAD	30 spf
DEAD LOADS	10 spf
GROUND SNOW LOAD	40 spf
WIND SPEED EXPOSURE	115 mph
SEISMIC	Category B
WEATHERING	Severe
FROST LINE DEPTH	30"
TERMITE AREA	Moderate to Heavy
DECAY AREA	Slight to Moderate
WINTER DESIGN TEMPERATURE	13 F
ICE SHIELD UNDERLAYMENT	Yes, Required
FLOOD HAZARD	July 18, 1975 / September 29, 2006
AIR FREEZING INDEX	300
MEAN ANNUAL TEMPERATURE	55 F
FRAMING LUMBER	SPF # 2
E (MODULUS OF ELASTICITY):	1.3 MPSI
Fb (BENDING):	850 PSI
Fv SHEAR (PARALLEL TO GRAIN):	150 PSI
Fc COMPRESSION (PARALLEL TO GRAIN):	405 PSI

INSULATION / ENERGY NOTES

CLIMATE ZONE:	4
WINDOWS/DOORS GLAZED	
FENESTRATION U- FACTOR:	0.32
WINDOWS/DOORS GLAZED	
FENESTRATION SHGC:	0.55
SKYLIGHT U- FACTOR:	0.40
SKYLIGHT SHGC:	0.40
CEILING R -VALUE:	49
WOOD FRAME WALL R -VALUE:	20 OR 13+5
MASS WALL R -VALUE:	8/13
FLOOR R -VALUE:	19
BASEMENT c WALL R -VALUE:	10/13
SLAB d R -VALUE & DEPTH:	10.2H
CRAWL SPACE c WALL R - VALUE:	10/13

STREET VIEW



REVISIONS

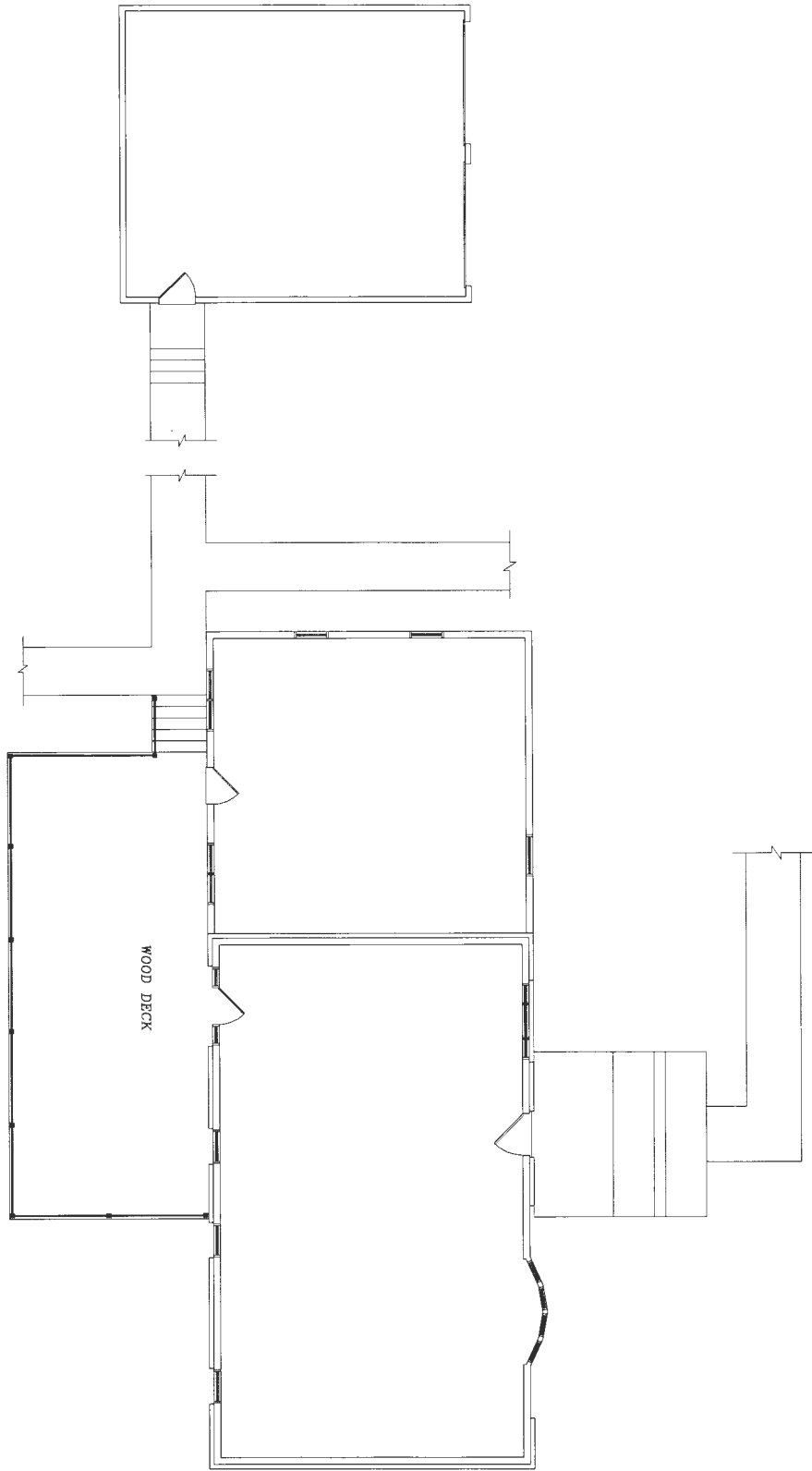
PROPOSED RENOVATION FOR:
MR. & MRS. BLONDO
11485 JOHN'S HOPKINS ROAD
CLARKSVILLE MD. 21029

DRAWN BY: DRB
CUSTOMER: BLONDO
DATE: 12-6-24
SCALE: 1/4" = 1'-0"
SHEET NO. 1 OF 1



CS-1

EXISTING FLOOR PLAN



A-1



DRAWN BY: DMB
CUSTOMER: BLONDO
DATE: 12-8-24
SCALE: 1/4" = 1'-0"
SHEET NO. 1 OF

PROPOSED RENOVATION FOR:
MR. & MRS. BLONDO
11485 JOHN'S HOPKINS ROAD
CLARJSVILLE MD. 21029

REVISIONS

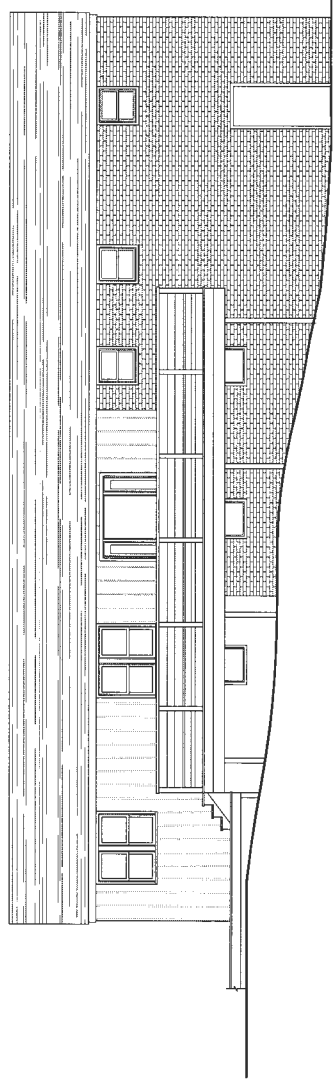
REVISIONS

PROPOSED RENOVATION FOR:
MR. & MRS. BLONDO
11485 JOHN'S HOPKINS ROAD
CLARKEVILLE MD. 21029

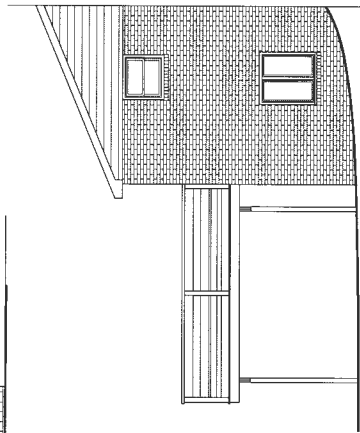
DRAWN BY: DRB
CUSTOMER: BLONDO
DATE: 1/24/10
SCALE: 1/4" = 1'-0"
SHEET NO. 2 OF



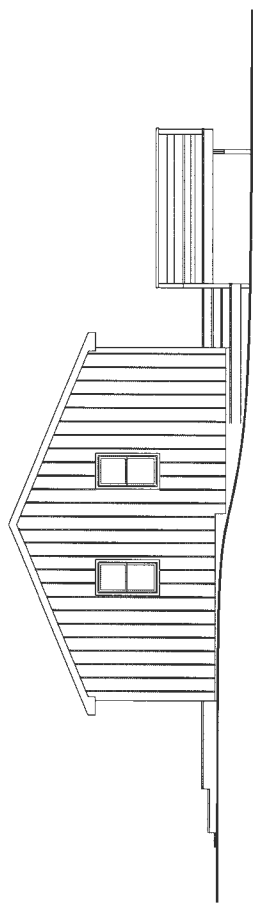
A-2



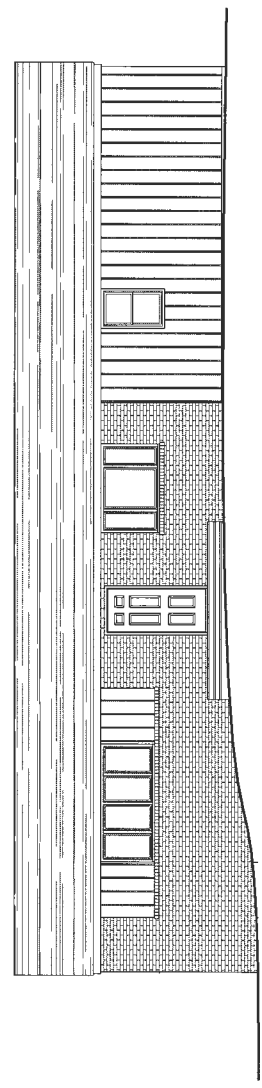
EXISTING REAR ELEVATION



EXISTING LEFT SIDE ELEVATION



EXISTING RIGHT SIDE ELEVATION



EXISTING FRONT ELEVATION

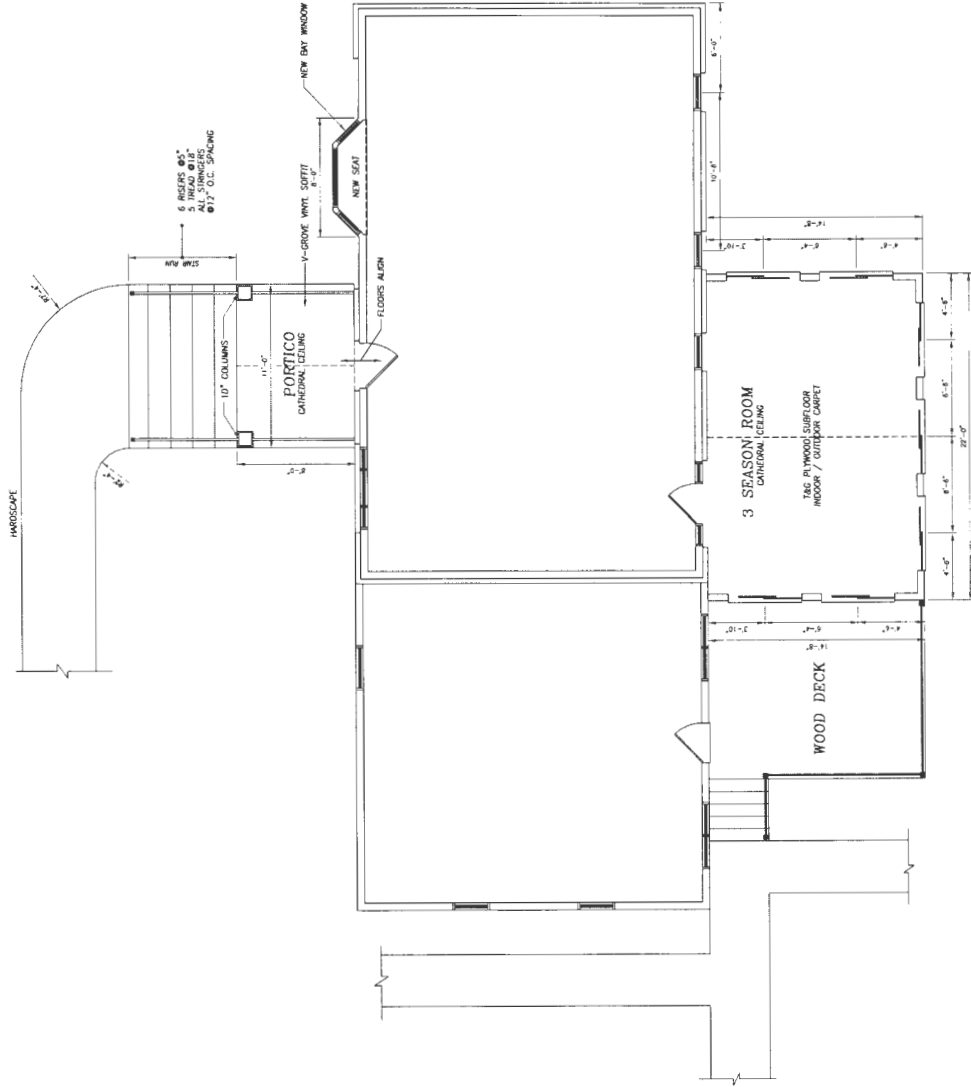
REVISIONS

PROPOSED RENOVATION FOR:
 MR. & MRS. BLONDO
 11485 JOHN'S HOPKINS ROAD
 CLARKEVILLE MD, 21029

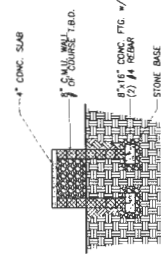
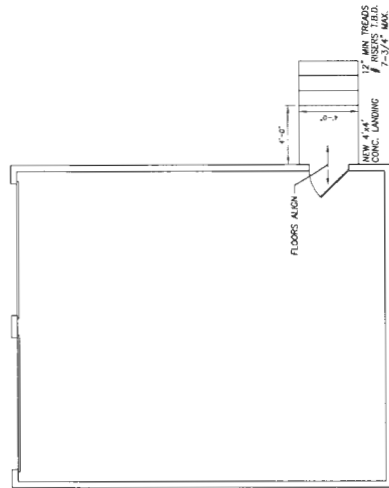
DRAWN BY: DBB
 CUSTOMER: BLONDO
 DATE: 12-31-24
 SCALE: 1/4" = 1'-0"
 SHEET NO. 3 OF



A-3



PROPOSED FLOOR PLAN



LANDING SECTION

SCALE: 1/4" = 1'-0"

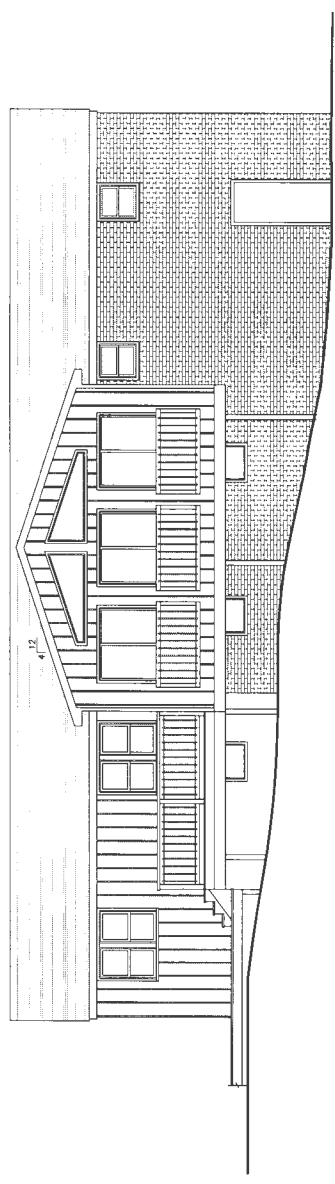
REVISIONS

PROPOSED RENOVATION FOR:
MR. & MRS. BLONDO
11485 JOHN'S HOPKINS ROAD
CLARKEVILLE MD. 21029

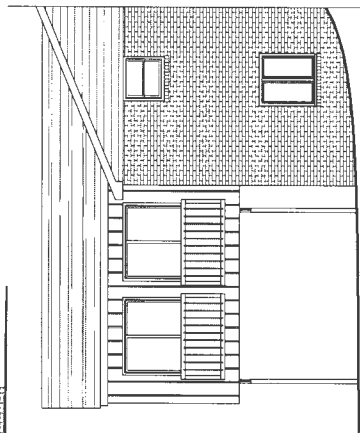
DRAWN BY: DRB
CUSTOMER: BLONDO
DATE: 7/24/12
SCALE: 1/4" = 1'-0"
SHEET NO. 4 OF 5



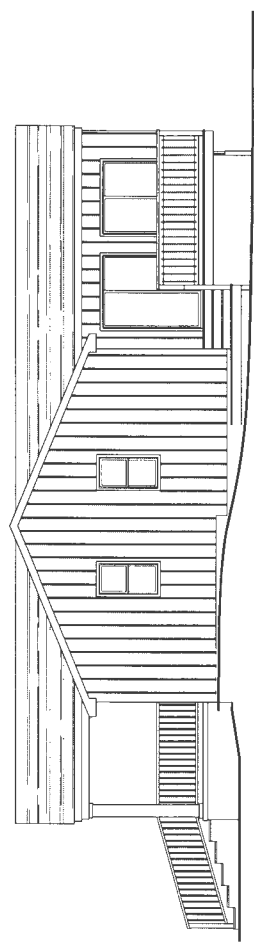
A-4



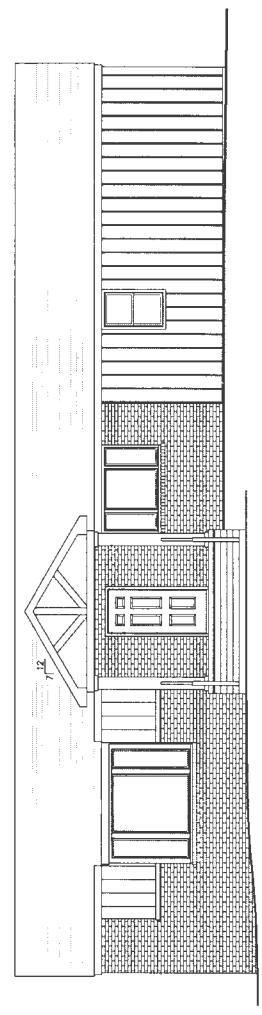
PROPOSED REAR ELEVATION



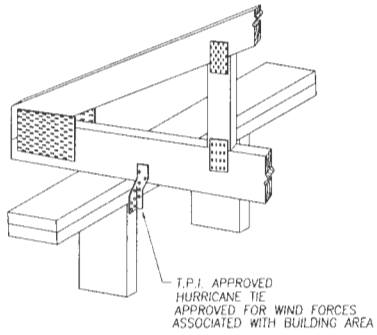
PROPOSED LEFT SIDE ELEVATION



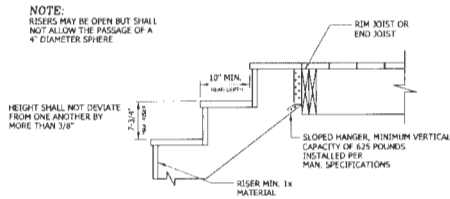
PROPOSED RIGHT SIDE ELEVATION



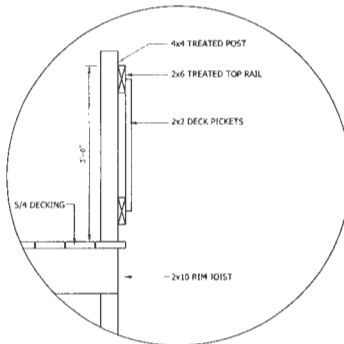
PROPOSED FRONT ELEVATION



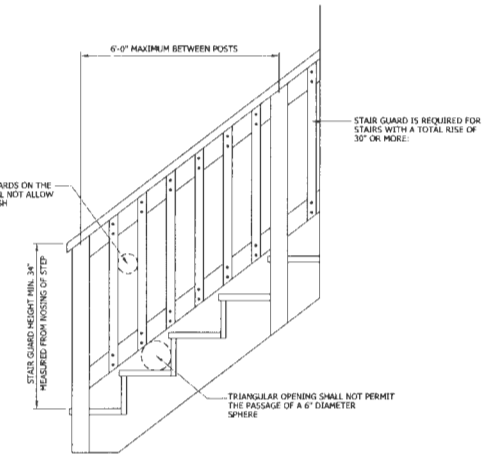
HURRICANE TIE DETAIL



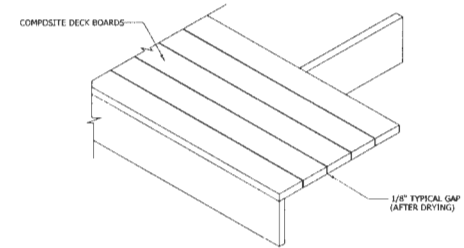
STAIR STRINGER DETAIL
SCALE: 1" = 1'-0"



DECK RAILING DETAIL
SCALE: 1" = 1'-0"

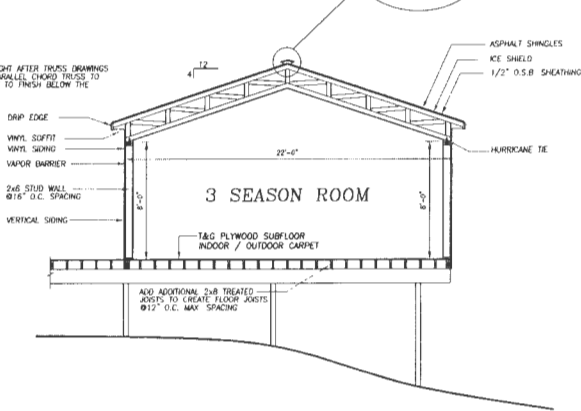


STAIR RAILING DETAIL
SCALE: 1" = 1'-0"



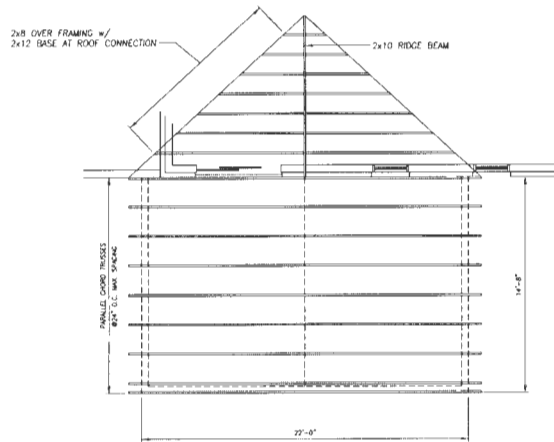
DECK BOARD CONNECTION DETAIL
SCALE: 1" = 1'-0"

NOTE:
- FIELD ADJUST NEW WALL HEIGHT AFTER TRUSS DRAWINGS INDICATE THE POSITION OF THE PARALLEL CHORD TRUSS TO ALLOW THE NEW ADDITION ROOF TO FINISH BELOW THE MAIN HOUSE ROOF.

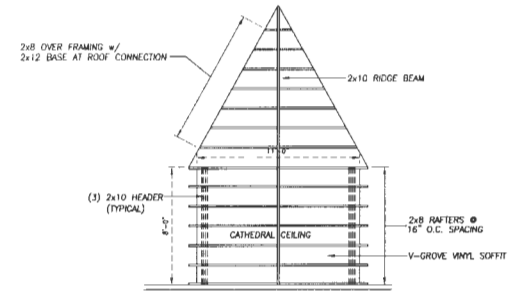


CROSS SECTION
SCALE: 1/4" = 1'-0"

1



ROOF TRUSS PLAN
SCALE: 1/4" = 1'-0"



PORCH FRAMING PLAN
SCALE: 1/4" = 1'-0"

REVISIONS

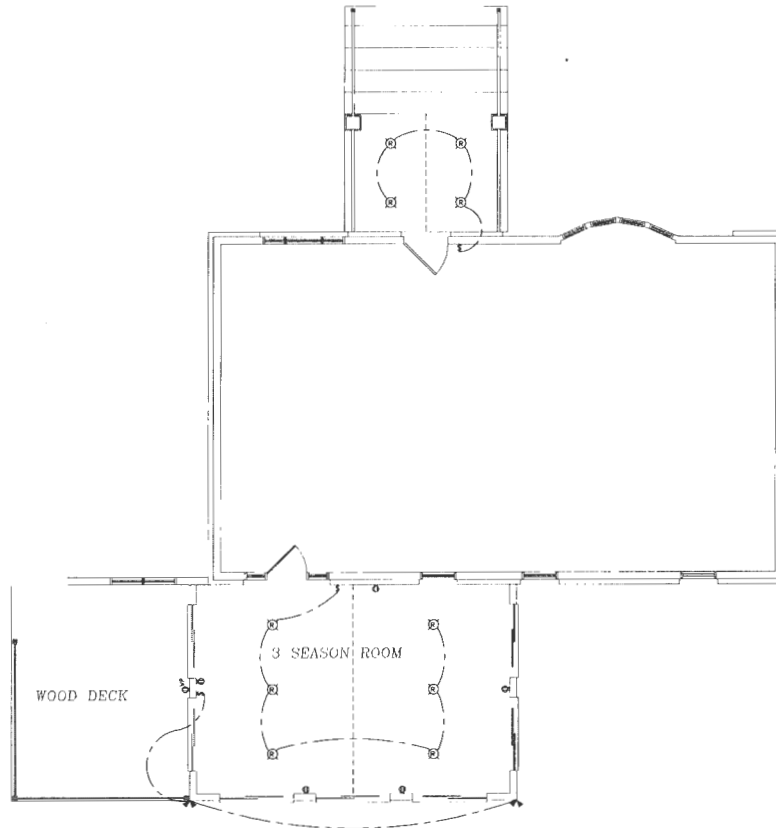
PROPOSED RENOVATION FOR:
MR. & MRS. BLONDO
11485 JOHN'S HOPKINS ROAD
CLARSVILLE MD. 21029

DRAWN BY: DRB
CUSTOMER: BLONDO
DATE: 12-8-24
SCALE: 1/4" = 1'-0"
SHEET NO. 6 OF



A-6

ELECTRICAL-DATA-AUDIO LEGEND	
SYMBOL	DESCRIPTION
	PADDLE FAN
	VENTILATION FANS
	CEILING MOUNTED
	WALL MOUNTED
	LIGHT / FAN COMBINATION
	CLG. MOUNTED LIGHT FIXTURES
	SURFACE / PENDANT
	RECESSED
	HEAT LAMP
	LOW VOLTAGE
	WALL MOUNTED LIGHT FIXTURES
	FLUSH MOUNTED
	WALL SCONCE
	CHANDELIER LIGHT FIXTURE
	FLUORESCENT LIGHT
	240 VOLT RECEPTICAL
	110 VOLT RECEPTICAL
	DUPLEX
	WEATHERPROOF
	GFCI
	SWITCHES
	SINGLE POLE
	WEATHERPROOF
	3-WAY
	4-WAY
	DIMMER
	TIMER
	AUDIO / VIDEO
	CONTROL PANEL
	SWITCH
	SPEAKERS
	CEILING MOUNTED
	WALL MOUNTED
	WALL JACKS
	CATS
	CATS + TV
	TV / CABLE
	TELEPHONE
	INTERCOM
	THERMOSTAT
	DOOR CHIME
	DOOR BELL BUTTON
	SMOKE DETECTORS
	CEILING MOUNTED
	CARBON MONOXIDE DETECTOR
	SMOKE / CARBON MONOXIDE DETECTOR
	WALL MOUNTED
	ELECTRICAL PANEL
	EMERGENCY LIGHTING
	SPOTLIGHT
	VIDEO CAMERA
	MINI SPLIT HVAC UNIT



ELECTRICAL PLAN

PROPOSED RENOVATION FOR:
 MR. & MRS. BLONDO
 11485 JOHN'S HOPKINS ROAD
 CLARJSVILLE MD. 21029

DRAWN BY: DRB
 CUSTOMER: BLONDO
 DATE: 12-6-24
 SCALE: 1/4" = 1'-0"
 SHEET NO. 7 OF



7/9/76
7/9/76 - after 1:00 P.M.
6/28/76 (Sunday)
please

PERMIT

P 23419

A _____

SEWAGE DISPOSAL SYSTEM

MARYLAND STATE DEPARTMENT OF HEALTH

HOWARD COUNTY

ELLICOTT CITY

DISTRICT 5

INDEXED

DATE 6/16/76

Allan R. Isensee IS PERMITTED TO INSTALL ALTER

ADDRESS 11485 Johns Hopkins Road, Clarksville, Md. PHONE 776-1393
21029

A SEWAGE DISPOSAL SYSTEM LOCATED AT _____

SUBDIVISION _____ ROAD 11485 Johns Hopkins LOT _____

PROPERTY OWNER Allan R. Isensee

ADDRESS _____

SPECIFICATIONS

DRAIN FIELD _____ DEPTH _____ FEET, BOTTOM AREA _____ SQ. FT.

SEEPAGE PITS _____ ABSORBENT SIDE-WALL AREA _____ SQ. FT.

SEPTIC TANK CAPACITY _____ GALLONS

FOR GARBAGE GRINDER, INCREASE DISPOSAL AREA 22% & TANK CAPACITY 50%.

OTHER REPAIR - CALL FOR INSPECTION OF GROUND WHEN OPENED UP SO SANITARIAN CAN

RECOMMEND REPAIR SYSTEM. Trench 300 # e-mona No deeps
Plan 12'

PLANS APPROVED BY Palmer F. Wine DATE 6/16/76

FILL SEPTIC TANK AND DISTRIBUTION BOX WITH WATER BEFORE CALLING FOR AN INSPECTION. COVER NO WORK UNTIL INSPECTED AND APPROVED.

NEITHER THE HOWARD COUNTY COMMISSIONERS NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

BLDG. PERMIT SIGNED
AND RETURNED 3/16/82
Serial # 48925-
2 Cav Garage

P
6/16/76

JOHNS HOPKINS RD
S 51° 10' E
174'

LOCATION PLAN (INFO FROM TAX MAP)
1" = 30' 0"
(DETAIL OF HOUSE - GARAGE AREA)

