

CARUSO HOMES, INC.

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HEALTH DEPT

B21001628

"KINGSPORT"

SINGLE FAMILY

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Site Address: 2921 Maple Leaf Way

Ellicott City, MD 21042

Tax Map: 16

Grid: 15

Lot: 2

Parcel: 89

Property Owner's: Bo Sun & Yijing Lu

4937 Windpower Way

Ellicott City, MD

21042

REVISED : 05-22-2020

ALL WORK SHALL COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS FLOOR FRAMING TO BE 11-7/8" FLOOR SYSTEM 7-3/4" RISE-10" TREAD STAIR

** THE LOCAL JURISDICTION SHALL FILL IN THIS TABLE WITH LOCAL CLIMATIC AND GEOGRAPHIC CRITERIA **

2018 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:					HOWARD COUNTY MARYLAND								
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	Speed (mph)	Topographic Effects	Special Wind Region	Windborne Debris Zone		Weathering	Frost Line Depth	Termites					
40 PSF	115	B			A/B	SEVERE	30"	MODERATE TO HEAVY					

Professional Certification

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license number 5921
expiration date 04-03-2022

SHEET	ARCHITECTURAL DRAWING
1	TITLE SHEET
2.0	GENERAL NOTES
2.1	IECC COMPLIANCE NOTES
3.1	ELEVATION #1
3.3	ELEVATION #3
3.3a	PARTIAL PLANS FOR ELEVATION #3
3.6	ELEVATION #6
3.6a	PARTIAL PLANS FOR ELEVATION #6
3.11	ELEVATION #11
3.11a	PARTIAL PLANS FOR ELEVATION #11
3.12	ELEVATION #12
3.12a	PARTIAL PLANS FOR ELEVATION #12
3.13	ELEVATION #13
3.13a	PARTIAL PLANS FOR ELEVATION #13
3.21	ELEVATION #21
3.21a	PARTIAL PLANS FOR ELEVATION #21
3.22	ELEVATION #22
3.22a	PARTIAL PLANS FOR ELEVATION #22
3.23	ELEVATION #23
3.23a	PARTIAL PLANS FOR ELEVATION #23
3.31	ELEVATION #31
3.31a	PARTIAL PLANS FOR ELEVATION #31
3.32	ELEVATION #32
3.32a	PARTIAL PLANS FOR ELEVATION #32
3.33	ELEVATION #33
3.33a	PARTIAL PLANS FOR ELEVATION #33
3.34	ELEVATION #34
3.34a	PARTIAL PLANS FOR ELEVATION #34
4.1	FOUNDATION PLAN
4.2	OPT. FINISHED LOWER LEVEL PLAN
4.3	CRAWL FOUNDATION PLAN
5.1	FIRST FLOOR PLAN
6.1	STD. SECOND FLOOR PLAN
6.2	ALTERNATE SECOND FLOOR PLAN
6.2A	SIDE & REAR ELEVATIONS w/ALT. SECOND FLOOR
6.3	OPT. ATTIC LOFT PLAN
6.3A	OPT. ATTIC LOFT SECTIONS / DETAILS
6.3B	OPT. ATTIC LOFT ELEVATIONS
7.1	BUILDING SECTION "A-A"
7.2	BUILDING SECTION "B-B"
7.3	BUILDING SECTION "C-C" / DORMER DETAILS
7.3A	DORMER DETAILS
7.3B	SHED DORMER DETAILS
8.1	TYP. WALL SECTIONS
8.1A	TYP. CRAWL WALL SECTIONS
9.1	OPT. SIDE LOAD GARAGE DETAILS
9.1A	OPT. SIDE LOAD GARAGE DETAILS
9.3	OPT. REAR MORNING ROOM DETAILS
9.4	OPT. 3' ANGLED FAMILY ROOM EXTENSION w/STANDARD 2nd FLOOR
9.5	OPT. 3' ANGLED FAMILY ROOM EXT. MORNING ROOM COMBO (STD 2nd FLOOR)
9.6	OPT. 3' ANGLED FAMILY ROOM EXTENSION w/ALTERNATE 2nd FLOOR
9.7	OPT. 3' ANGLED FAMILY ROOM EXT. MORNING ROOM COMBO (ALT. 2nd FLOOR)
9.7A	OPT. DELUXE FAMILY ROOM WINDOW PACKAGE
9.8	STD. SECOND FLOOR PLAN OPTIONS
9.8A	OPT. SITTING ROOM ELEVATIONS
9.10	OPTIONAL CARIBBEAN SUPER BATH PLAN
9.11	OPTIONAL OWNER'S SUITE EXTENSION w/TWO-CAR GARAGE
9.11A	OPTIONAL OWNER'S SUITE EXTENSION w/TWO-CAR GARAGE
9.12	OPTIONAL OWNER'S SUITE EXTENSION w/OPT. 3-CAR GARAGE
9.12A	OPTIONAL OWNER'S SUITE EXTENSION w/OPT. 3-CAR GARAGE
9.13	OPTIONAL AREAWAY DETAILS
9.14	OPT. OWNER'S SUITE w/ SIDE LOAD GARAGE
9.14A	OPT. OWNER'S SUITE w/ SIDE LOAD GARAGE
9.15	OPT. 3-CAR SIDE LOAD GARAGE DETAILS w/ OPT. SITTING ROOM
9.15A	OPT. 3-CAR SIDE LOAD GARAGE DETAILS w/ OPT. SITTING ROOM
9.16	OPT. IN-LAW SUITE EXTENSION
9.16A	OPT. IN-LAW SUITE & BEDROOM 4 EXTENSION
9.17	OPT. 3-CAR FRONT LOAD GARAGE DETAILS
9.17A	OPT. 3-CAR FRONT LOAD GARAGE DETAILS
9.18	PORTICO PORCH DETAILS
9.19	OPT. MOTOR COURT GARAGE DETAILS
9.19A	OPT. MOTOR COURT GARAGE DETAILS
9.20	OPT. 1-STORY CONSERVATORY DETAILS
9.20A	OPT. 2-STORY CONSERVATORY DETAILS
9.22	OPT. CHEF'S KITCHEN w/ EXTENDED MORNING ROOM DETAILS
9.25	OPT. DELUXE KITCHEN DETAILS
9.26	OPT. CARIBBEAN BATH DETAILS w/ ALT. SECOND FLOOR
9.27	OPT. CALIFORNIA BATH DETAILS w/ ALT. SECOND FLOOR

3516

INDEX

SHEET	STRUCTURAL DRAWING
E01	BASEMENT ELECTRICAL PLAN
E11	FIRST FLOOR ELECTRICAL PLAN
E21	SECOND FLOOR ELECTRICAL PLAN
E22	STD. SECOND FLOOR ELECTRICAL PLAN OPTS.
E23	ALT. SECOND FLOOR ELECTRICAL PLAN
5-0	STRUCTURAL NOTES & INDEX
5-1	FOUNDATION PLAN
5-1A	FOUNDATION PLAN
5-1B	FOUNDATION PLAN
5-1C	FOUNDATION PLAN
5-2	FIRST FLOOR FRAMING PLANS
5-2A	FIRST FLOOR FRAMING PLANS
5-2B	FIRST FLOOR FRAMING PLANS
5-2C	FIRST FLOOR FRAMING PLANS
5-3	SECOND FLOOR FRAMING PLANS
5-3A	SECOND FLOOR FRAMING PLANS
5-3B	SECOND FLOOR FRAMING PLANS
5-3C	SECOND FLOOR FRAMING PLANS
5-3D	SECOND FLOOR FRAMING PLANS
5-3E	SECOND FLOOR FRAMING PLANS
5-3F	SECOND FLOOR FRAMING PLANS
5-4	ROOF FRAMING PLANS
5-4A	ROOF FRAMING PLANS
5-4B	ROOF FRAMING PLANS
5-4C	ROOF FRAMING PLANS
5-4D	ROOF FRAMING PLANS
5-4E	ROOF FRAMING PLANS
5D-1	SECTION DETAILS
5D-2	SECTION DETAILS
5D-3	SECTION DETAILS
5D-4	SECTION DETAILS
SUE-1	SHEARWALL ELEVATION

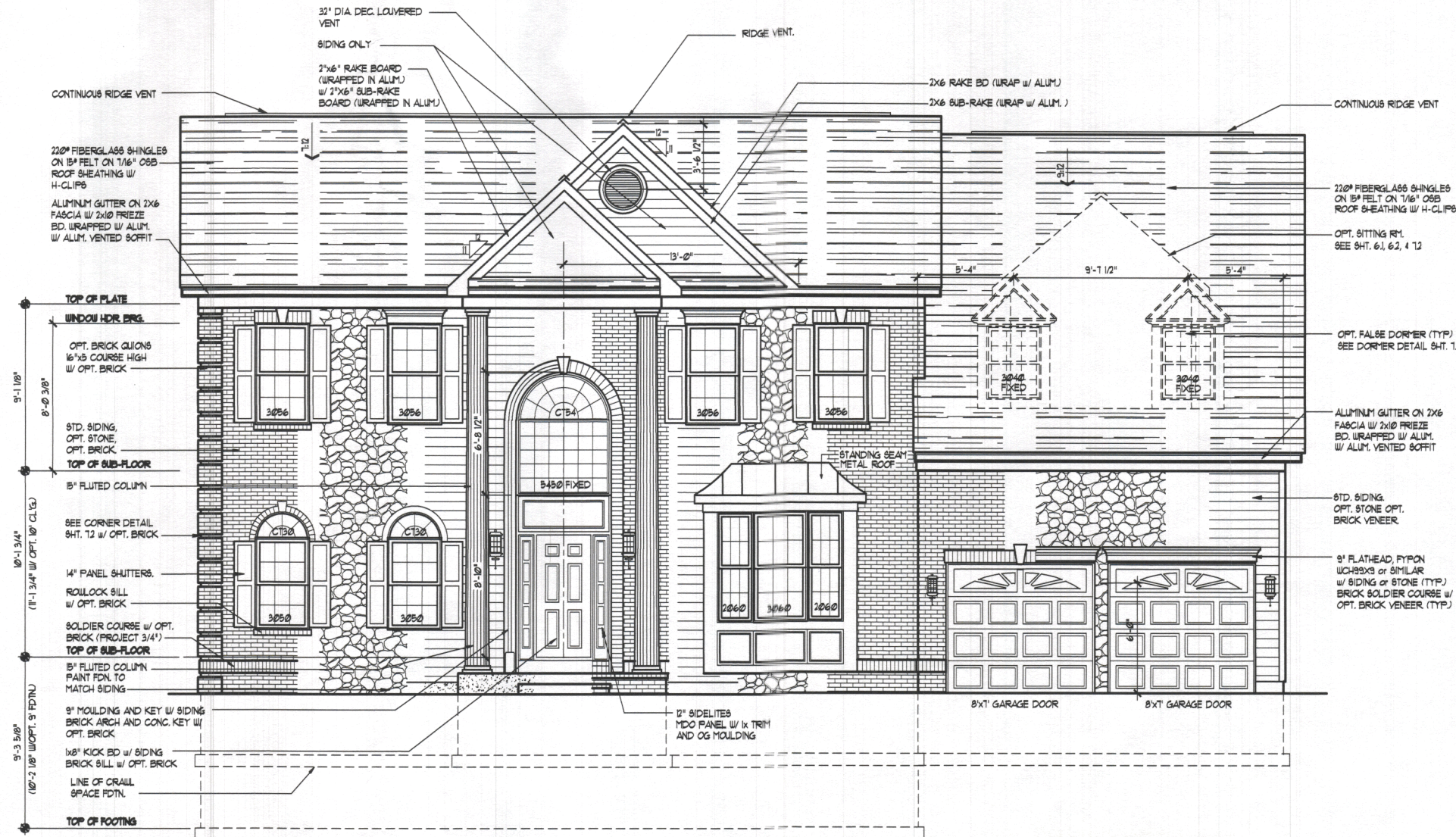
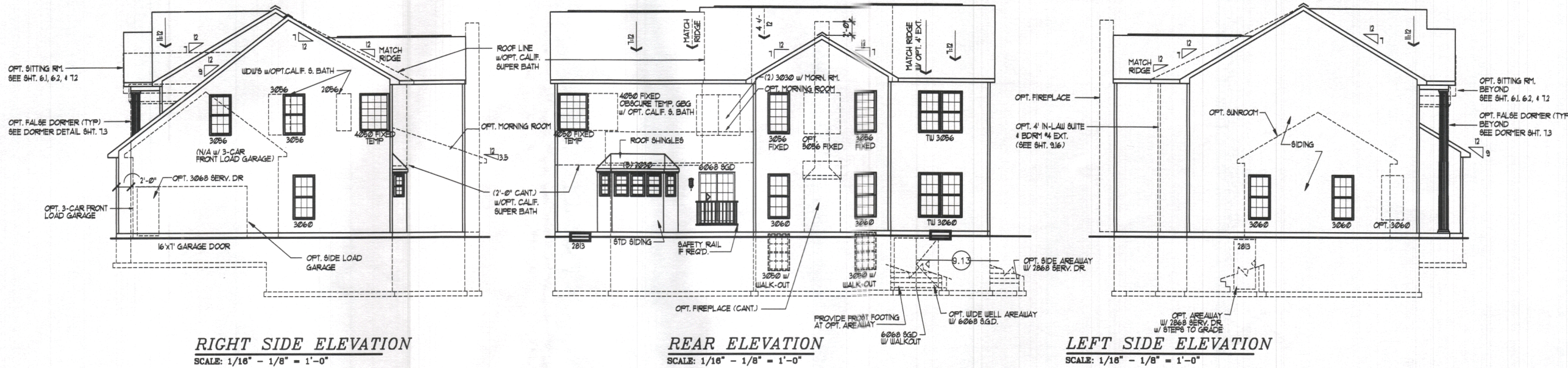
REVISIONS

DATE	COMMENT
03-16-20	FINAL REVISIONS
06-22-04	MISC. STRUCTURAL REVISIONS - JM
8-6-04	REDLINE REVISIONS - KMG
9-16-04	MISC. REDLINE REVISIONS - KMG
03-28-05	ADD PG. CITY DETAILS - JL
4-8-05	ADD OPT. 3-CAR SIDE LOAD GARAGE DETAILS w/ OPT. SITTING ROOM
08-26-05	ADDITIONAL REVISIONS - KAH
08-29-06	ADDED OPT. 3-CAR FRONT LOAD GARAGE - KAH
10-30-06	REDLINE REVISIONS - RZS
01-01-07	SHEETS PG2.4, PG2.5, & PG2.6 ADDED TO SET - RZS
01-26-07	GENERAL REDLINE REVISIONS - UFS
04-04-07	GENERAL REDLINE REVISIONS - UFS
08-06-07	REVISED MORNING ROOM - RZS
10-15-07	AR # - CGG
11-08-07	REV. GARAGE DOOR LOCATION - CGG
12-10-07	GENERAL UPDATES - KAH
11-30-10	ADD OPT. DELUXE FAMILY RM. WINDOW PACKAGE
12-01-10	UPDATE PG2 DETAILS
05-11-11	RE-INDEX DRAWINGS
12-05-11	ADDED OPT. MOTOR COURT GARAGE - RC
02-15-13	IRC 2012 CODE UPDATE - cad.
02-20-14	REVISED 2-STORY CONSERVATORY PER CLIENTS COMMENTS - cad.
03-05-14	REVISED 2-STORY CONSERVATORY - (LOCATION TO MATCH SUNRM)
07-16-14	BRICK WINDOW HEADS TO RECEIVE KEYS / REFRIGERATOR RECESS ADDED
09-24-14	REVISIONS AND UPDATES PER MARK-UF8
11-18-14	ADD P.P. FOR ELEV. #1 & REV. P.P. FOR 22 & 23.
03-18-15	"LEAN" PLAN REVIEW REVISIONS
04-03-15	REVISE KITCHEN LAYOUT, ADD DESK NEXT TO REF.
07-22-15	REVISE PORCH SIZES WITH MISC. REVISIONS FROM 5-21-15 REDLINES
12-08-15	ADDED & REVISED NEW ARTS & CRAFT ELEVATIONS AND PARTIAL PLANS
03-16-16	2015 REVIEW AND UPDATE
03-25-16	ADDED SIDE CONSERVATORY PLANS TO THE SET.
03-29-16	CHANGE TUB IN THE CARIBBEAN BATH TO 72"
05-16-16	FEER REVIEW COMMENTS - RC
08-05-16	ADDED "ALT." ELEVATION AT OPT. OWNER'S SUITE EXTENSION - RC
10-21-16	ADDED OPT. ATTIC LOFT - RC
11-21-16	ADDED ALT. SECOND FLOOR ELEVATIONS - RC
12-01-16	REVISE WINDOWS AT OPT. WALK-OUT - RC
09-21-17	ADDED IECC COMPLIANCE NOTES FOR BALTIMORE COUNTY - RC
09-28-17	ADDED OPT. SIDE IN-LAW SUITE AND OPT. EXTENDED KITCHEN - RC
03-13-18	ADDED ELEVATION #4 - RC
06-13-18	CRAFTSMAN ELEVATIONS & OPTIONS COORDINATION
02-04-19	ADDED OPT. DELUXE KITCHEN DETAILS, ADDED OPT. CARIBBEAN BATH AND OPT. CALIFORNIA BATH DETAILS w/ ALT. SECOND FLOOR
03-04-19	LIEN REVIEW & MISC. CLIENT COMMENTS
07-16-19	LIEN REVIEW & MISC. CLIENT COMMENTS
09-06-19	2018 CODE UPDATE
5-22-2020	OPTION REDUCTION REVISIONS

Architecture Collaborative, Inc.
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"KINGSPORT"

CA033260

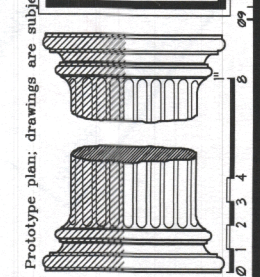


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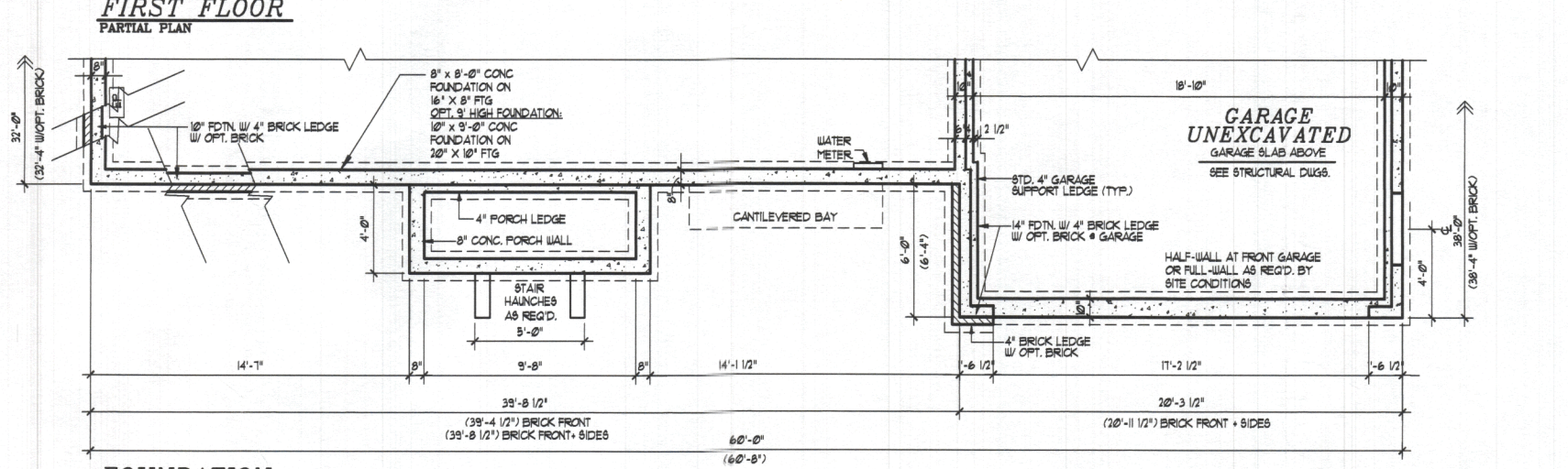
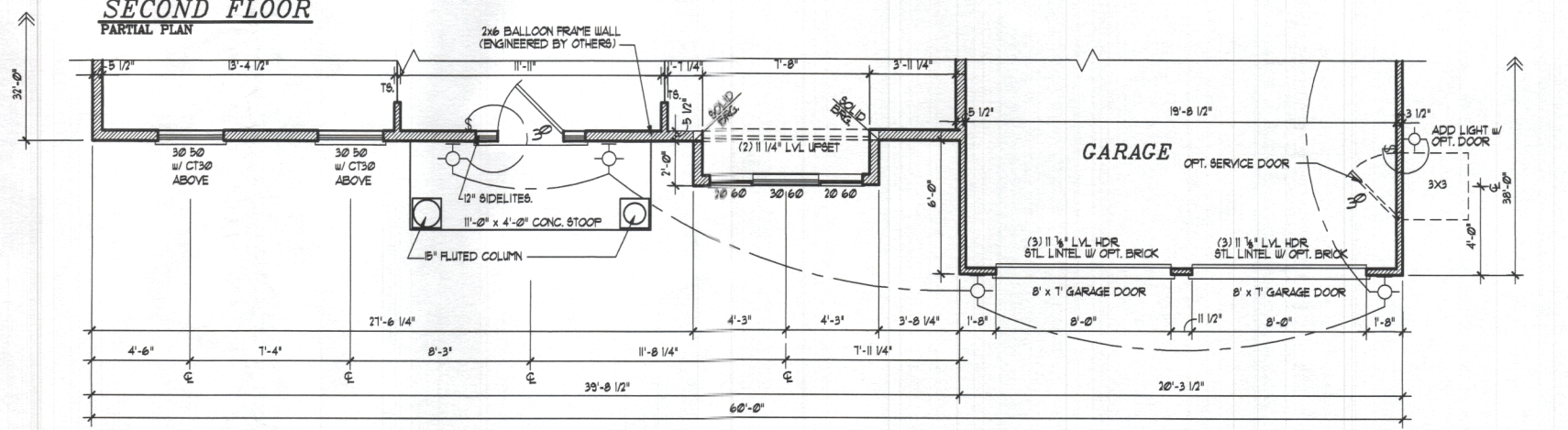
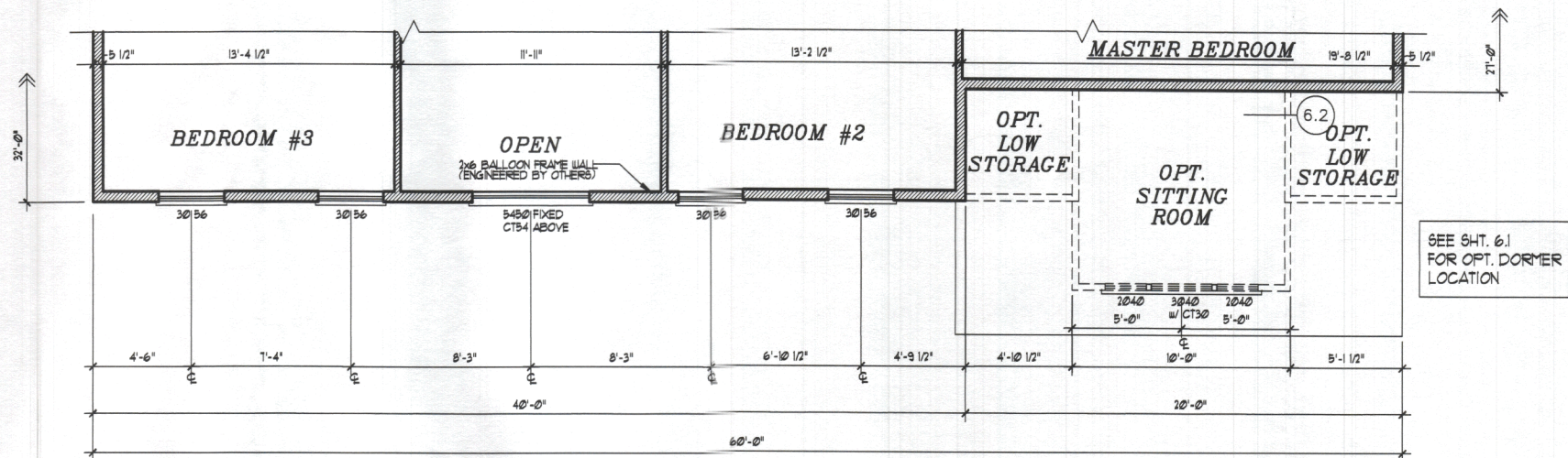
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scale 1/8" - 1/4"	FILE# CA031300	drwn.
title	CARUSO HOMES	
	KINGSPORT	

revisions	GENERAL REDLINE REVISIONS - AP
09-24-14	"LEAN" PLAN REVIEW COMMENTS
03-18-15	ADD CRAIL SP-ACE
03-09-16	REV. WINDOWS AT OPT. WALK-OUT - RC
12-01-16	

SHEET #
3.3



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expiration date 04-03-2022



NOTES:
DIM. IN PARENTHESES
ARE FOR OPT. BRICK

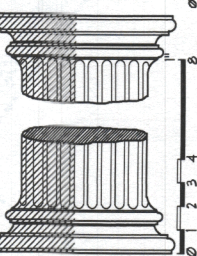
PARTIAL PLANS w/ELEVATION #3
SCALE: 1/8" = 1'-0"

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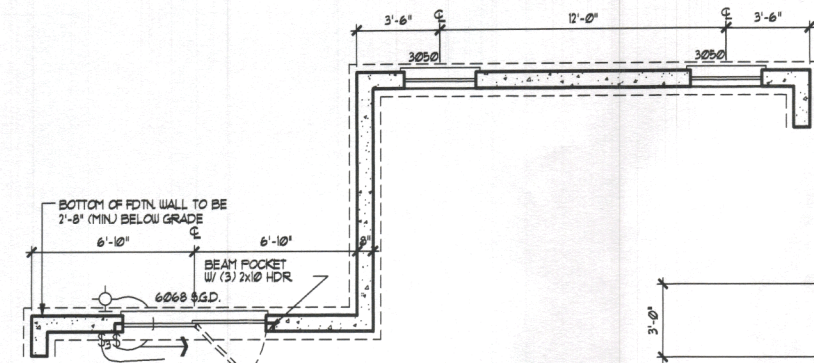
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FILE#	CA031340
drwn.	
title	CARUSO HOMES KINGSPOINT

revisions	AR #1	CGG
10-15-07		CGG
11-06-07		REV. GARAGE DOOR LOCATION - CGG
01-26-07		GENERAL REDLINE REVISION
04-04-07		GENERAL REDLINE REVISIONS - WFS
03-13-15		"LEAN" PLAN REVIEW COMMENTS

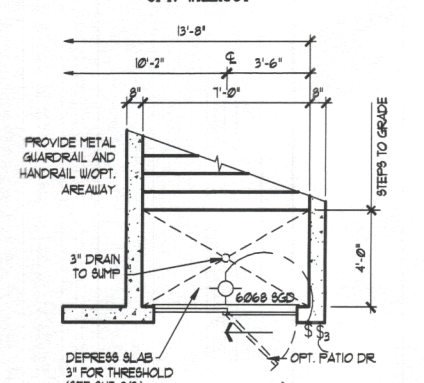
SHEET #
3.3A



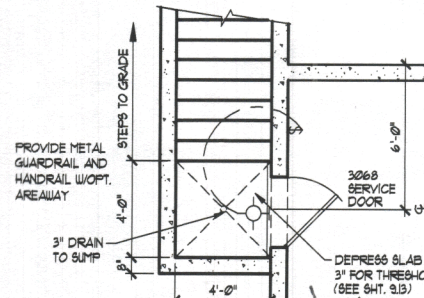
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PARTIAL PLAN
OPT. WALKOUT



OPT. 7' WIDE AREAWAY
PARTIAL PLAN



OPT. SIDE AREAWAY
PARTIAL PLAN

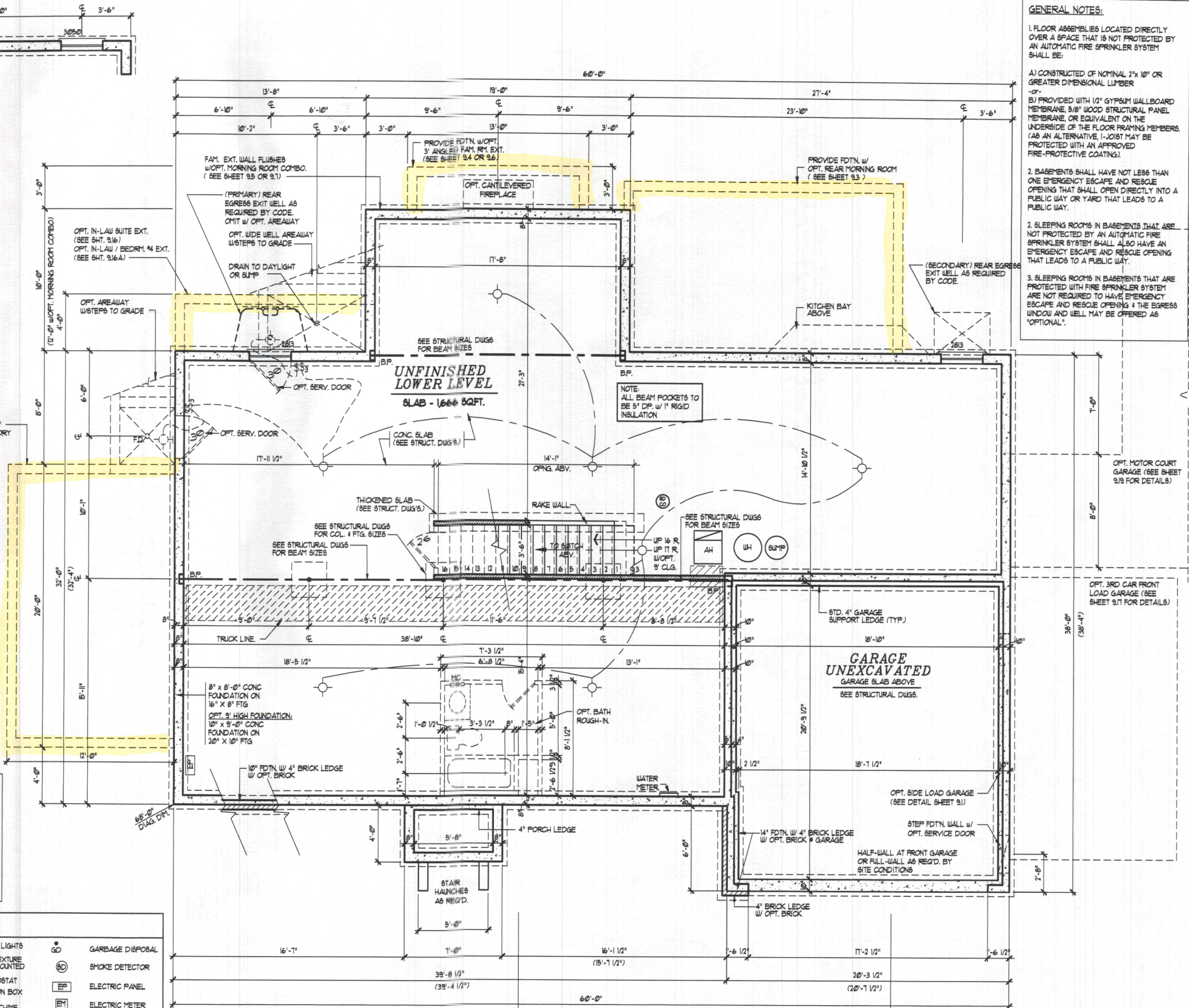
PROVIDE SMOKE DETECTORS AS REQUIRED BY LOCAL CODE, WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACKUP) AND INTER-CONNECTED FOR SIMULTANEOUS ACTIVATION.

THESE DRAWINGS ARE SCHEMATIC ONLY. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.

ELECTRICAL SYMBOLS			
	DUPLEX OUTLET 15' AFF.		GROUND FAULT INTERRUPTER 15' AFF.
	DUPLEX OUTLET 42' AFF.		GROUND FAULT INTERRUPTER 42' AFF.
	DUPLEX OUTLET 15' AFF. HALF SWITCHED.		WALL SWITCH
	220 VOLT DUPLEX OUTLET		3-WAY WALL SWITCH
	WATERPROOF RECEPTACLE		4-WAY WALL SWITCH
			DIMMER WALL SWITCH
			EXHAUST FAN
	FAN/LIGHT COMBO		LIGHT FIXTURE CEILING MOUNTED
	LIGHT FIXTURE RECESSED LIGHT		FLUORESCENT LIGHT FIXTURE
	FLOOD LIGHTS		LIGHT FIXTURE WALL MOUNTED
	THERMOSTAT		JUNCTION BOX
	DOOR CHIME		TELEPHONE JACK
	TELEVISION JACK		GARBAGE DISPOSAL
	SMOKE DETECTOR		ELECTRIC PANEL
	ELECTRIC METER		

NOTES:
DIM'S IN PARENTHESES ARE FOR OPT. BRICK.

ELEVATION #1 SHOWN
SEE ALTERNATE ELEVATIONS AND PARTIAL PLANS FOR ALTERNATE WINDOW SIZES AND LOCATIONS.



GENERAL NOTES:

- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE THAT IS NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE:
 - CONSTRUCTED OF NOMINAL 2" x 10" OR GREATER DIMENSIONAL LUMBER.
 - PROVIDED WITH 1/2" GYPSUM WALLBOARD MEMBRANE, 5/8" WOOD STRUCTURAL PANEL MEMBRANE OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBERS. (AS AN ALTERNATIVE, 1-JOIST MAY BE PROTECTED WITH AN APPROVED FIRE-PROTECTIVE COATING).
- BASEMENTS SHALL HAVE NOT LESS THAN ONE EMERGENCY ESCAPE AND RESCUE OPENING THAT SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR YARD THAT LEADS TO A PUBLIC WAY.
- SLEEPING ROOMS IN BASEMENTS THAT ARE NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL ALSO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING THAT LEADS TO A PUBLIC WAY.
- SLEEPING ROOMS IN BASEMENTS THAT ARE PROTECTED WITH FIRE SPRINKLER SYSTEM ARE NOT REQUIRED TO HAVE EMERGENCY ESCAPE AND RESCUE OPENING. THE ESCAPE WINDOW AND WELL MAY BE OFFERED AS "OPTIONAL".

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

Professional Certification

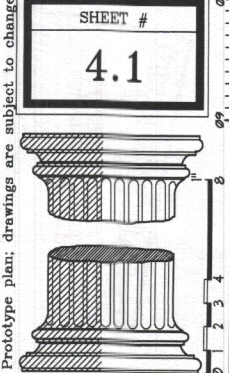
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.

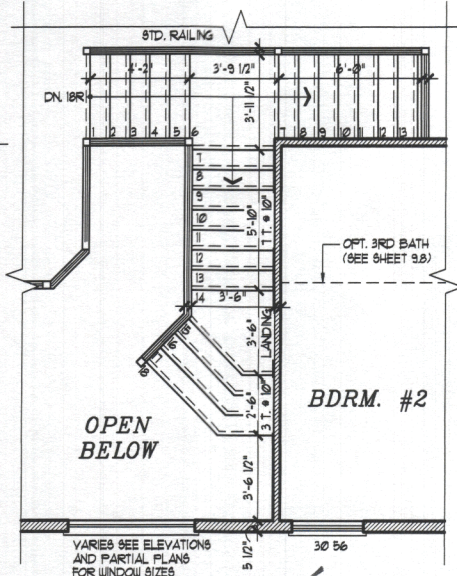
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FOUNDATION PLAN
scale 1/8" = 1/4"
FILE# CA03P000
date 05-15-97
CARUSO HOMES
KINGSPORT

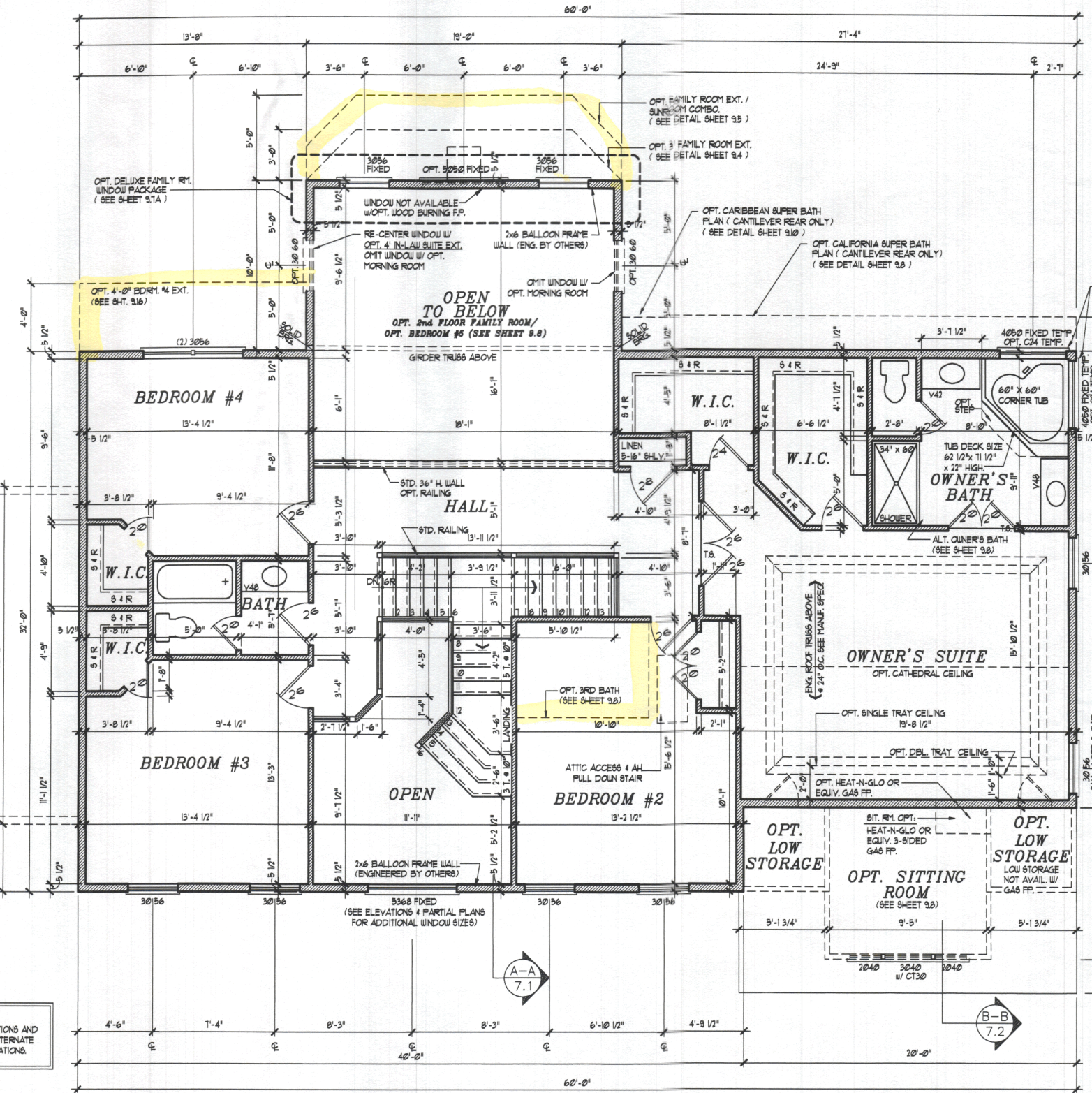
revisions	SHEET #
07-22-15 REVISE PORCH TO T WIDE	4.1
12-01-16 REV. WINDOWS AT WALK-OUT - RC	



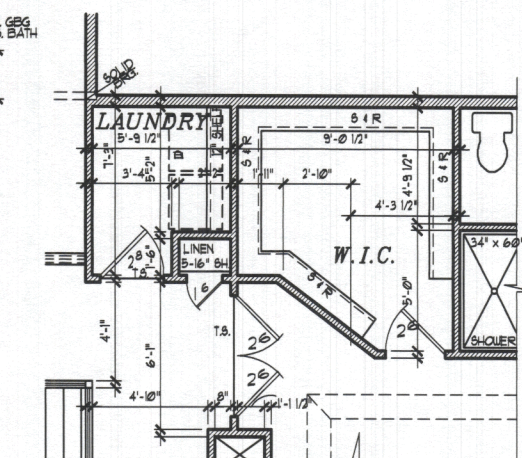


STAIR W/ OPT. 10' 1ST FLR.
SCALE: 1/4" = 1'-0"

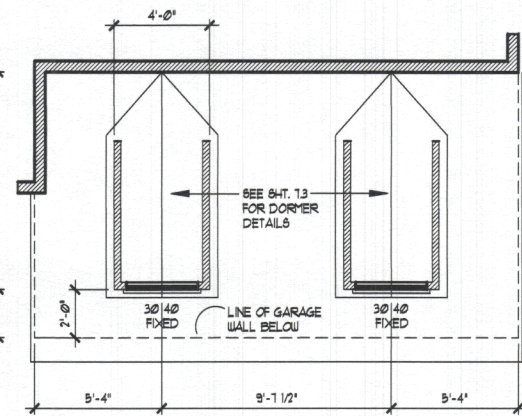
ELEVATION #1 SHOWN
SEE ALTERNATE ELEVATIONS AND
PARTIAL PLANS FOR ALTERNATE
WINDOW SIZES AND LOCATIONS.



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



OPT. LAUNDRY ROOM
SCALE: 1/4" = 1'-0"



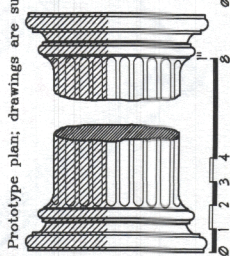
OPT. DORMER LOCATION PLAN
SCALE: 1/4" = 1'-0"

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SECOND FLOOR PLAN
date 05/15/07
scale 1/8" = 1/4" FILE# CA09P200
CARUSO HOMES
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revisions	GENERAL REDLINE REVISIONS - AF
05-24-14	

SHEET #
6.1

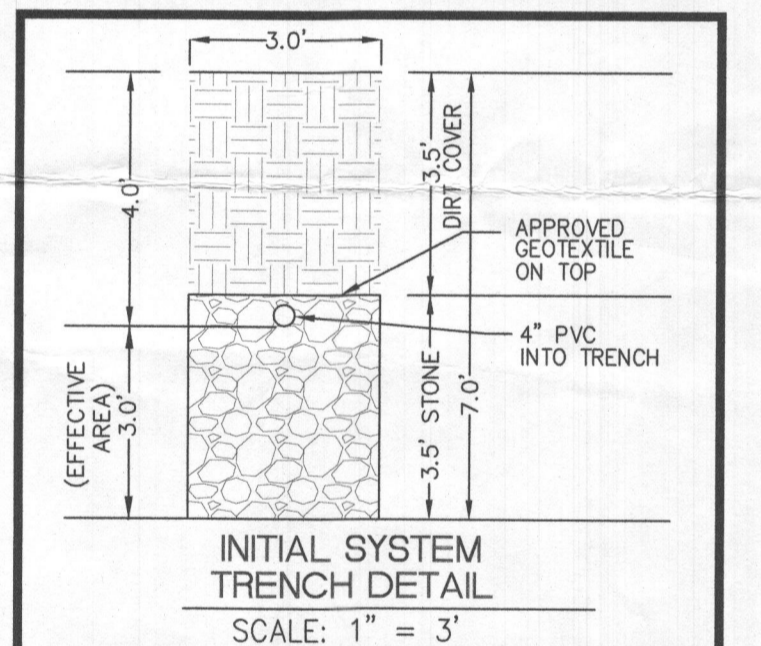
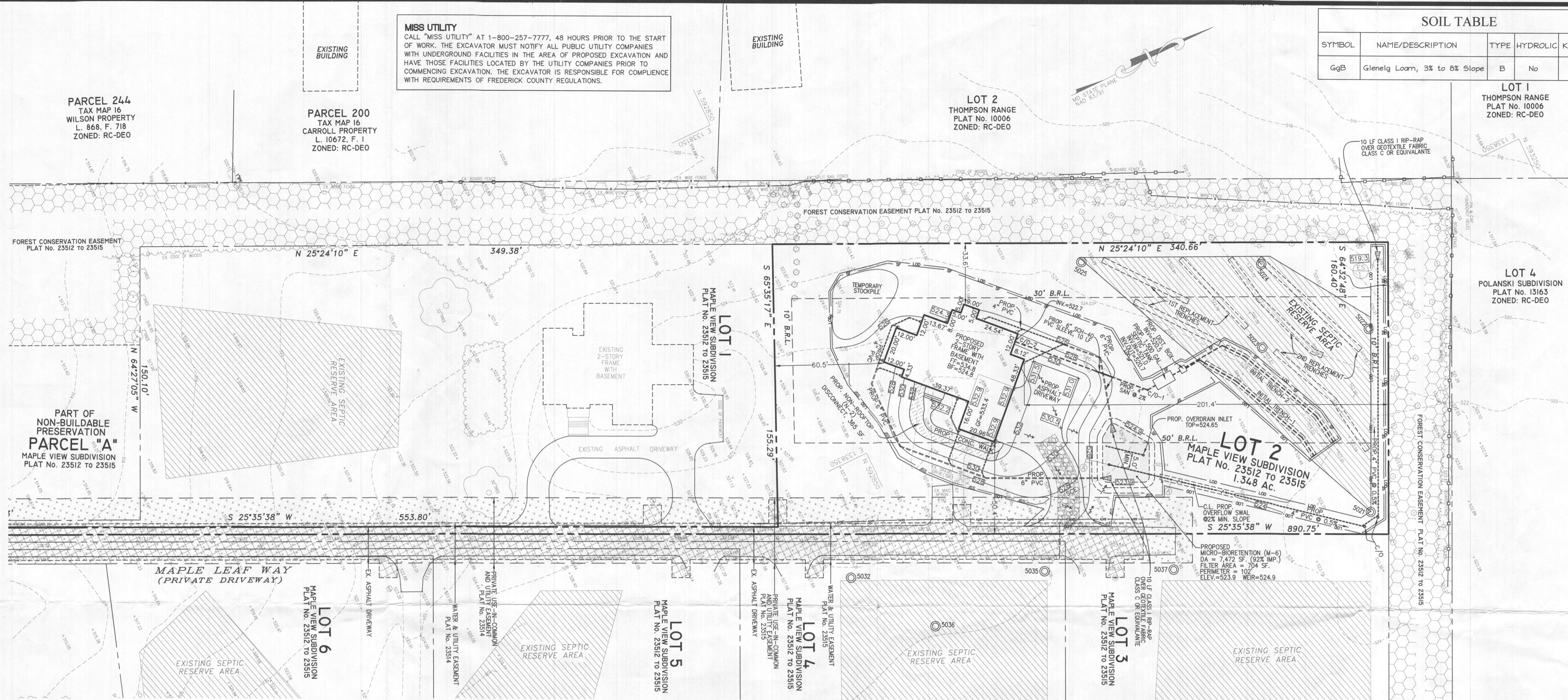


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SOIL TABLE				
SYMBOL	NAME/DESCRIPTION	TYPE	HYDROLIC	K-VALUE
GqB	Glenn Loam, 3% to 8% Slope	B	No	0.20

LEGEND	
	EX. WATER VALVE
	EX. WATER METER
	EX. FIRE HYDRANT
	EX. WATER CONNECTION
	EX. SIGN
	EX. ELECTRIC TRANSFORMER
	EX. BGE MARKER
	EX. CONTROL BOX
	EX. WOOD POST
	EX. PASSING PERCOLATION TEST
	EX. EVERGREEN TREE
	EX. DECIDUOUS TREE
	EX. DECORATIVE BUSH
	EX. CONTOUR
	PROP. SPOT ELEVATION
	EX. EDGE WOODED AREA
	PROP. EDGE WOODED AREA
	PROP. SUPER SILT FENCE
	PROP. SILT FENCE
	PROP. LIMIT OF DISTURBANCE
	DENOTES (TO REMAIN)
	DENOTES (TO BE REMOVED)
	EX. PRIVATE USE-IN-COMMON AND UTILITY EASEMENT
	EX. FOREST CONSERVATION EASEMENT
	EX. SEPTIC RESERVE AREA
	EX. WATER & UTILITY EASEMENT
	PROP. NON-ROOFTOP DISCONNECT (N-2)



TRENCH INFO, INITIAL SYSTEM					
TRENCH	TRENCH LENGTH OF GROUND	EX. TOP OF TRENCH	TOP OF GRAVEL	INV. INTO TRENCH	BOTTOM OF TRENCH
1	78.5'	524.3±	523.3	520.3	517.3
2	78.5'	523.7±	522.7	519.7	516.7

SEPTIC SYSTEM CALCULATIONS, INITIAL + 1ST REPLACEMENT SYSTEMS:

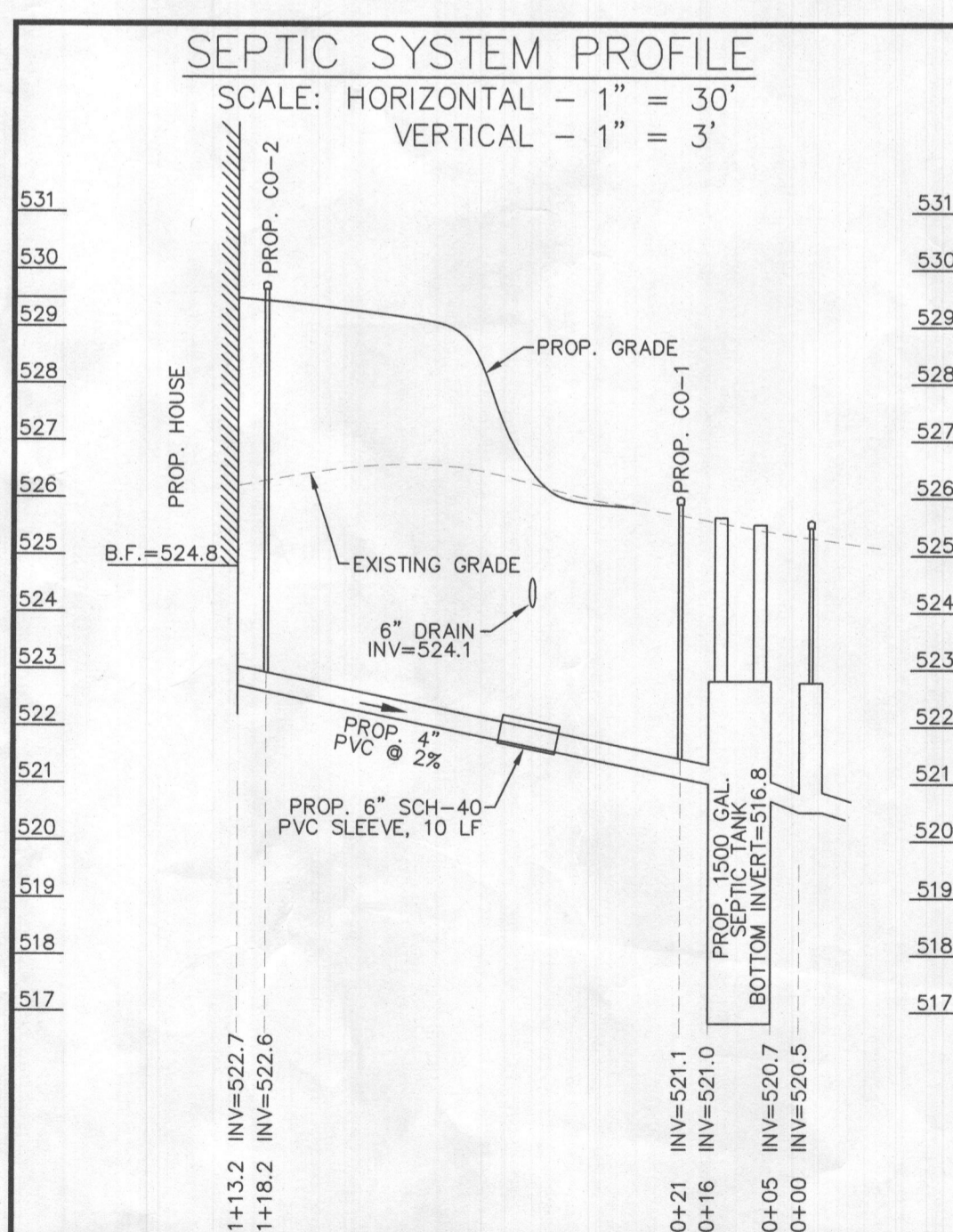
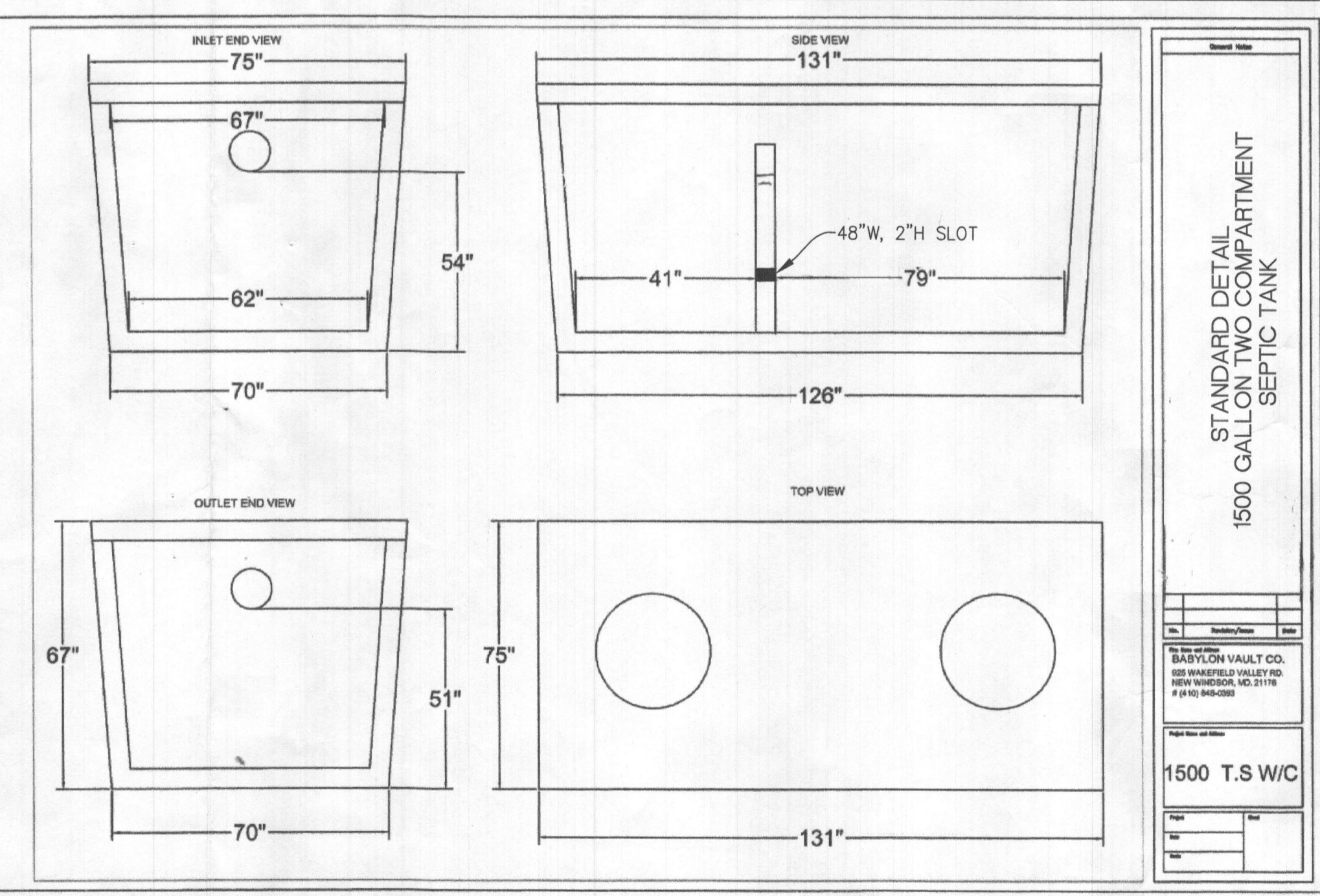
ABS. RATE= 0.8, EFF. DEPTH= 4'-7" (3')

DRAINFIELD AREA: 5 BEDROOMS AT 750 gpd / 0.8 ABSORPTION RATE=938 SQ. FT.

SEPTIC SYSTEM CALCULATIONS, 2ND REPLACEMENT SYSTEM:

ABS. RATE= 0.8, EFF. DEPTH=4.5'-6" (1.5')

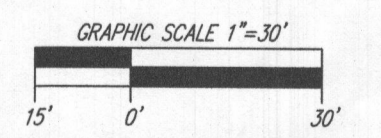
DRAINFIELD AREA: 5 BEDROOMS AT 750 gpd / 0.8 ABSORPTION RATE=938 SQ. FT.



- NOTES:**
- 1- ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 - 2- THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
 - 3- ALL EXISTING WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN ON THIS PLAN.
 - 4- THE TOPOGRAPHY SHOWN ON THIS PLAN IS BASED ON AN ACTUAL FIELD RUN SURVEY BY NJR & ASSOCIATES PERFORMED ON DECEMBER OF 2019.
 - 5- THIS SURVEY IS TIED TO MARYLAND STATE PLANE 83/91 COORDINATE SYSTEM.
 - 6- THE LOT SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT ARE AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT.
 - 7- THE LOT SHOWN HEREON IS SERVED BY PUBLIC WATER.

Approved Septic System Plan
Howard County Health Department
Hank Davis 5/19/21
Signature Date

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
2	2921 MAPLE LEAF WAY



APPROVED: HOWARD COUNTY HEALTH DEPARTMENT
THIS DEVELOPMENT PLAN IS APPROVED FOR PUBLIC WATER & PRIVATE SEWAGE SYSTEMS.

COUNTY HEALTH OFFICER _____ DATE _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____

CHIEF, DIVISION OF LAND DEVELOPMENT _____ DATE _____

DIRECTOR _____ DATE _____

REVISIONS	
No.	DATE

PLAN PREPARED BY:

NJR & ASSOCIATES
Land Surveying and Planning
2770 STATE ROUTE 32
WEST FRIENDSHIP, MD 21794
TEL: (240) 508-3200

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 11049 WITH EXPIRATION DATE OF FEBRUARY 10, 2021.

January 23, 2021
DATE

DEVELOPER'S CERTIFICATE

I, WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER

DATE

DEVELOPER
CARUSO HOMES
2120 BALDWIN AVENUE, SUITE-200
CROFTON, MD 21144
(301) 261-0277

OWNER
BO SUN & YUNING LU
4837 WINDPOWERY WAY
ELLICOTT CITY, MD 21043
(202) 256-6826

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN

MAPLE VIEW
LOT 2
PLAT No. 23512-23515
TAX MAP 16, GRID 15, PARCEL 88
ZONED: RC-DEO
3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: 1" = 30' JOB NO.: 3571 DATE: MAY 6, 2020 SHEET: 4 OF 4