

Approved 10/28/2024
RHC

Record Detail * (This section is required.)

Permit Type Building/Residential/Addition/SFD Permit Number B24002207 Opened Date 06/12/2024

Description of Work
SFD/ CONSTRUCT (2) ADDITIONS: (1) 18 X 18 1- STORY REAR ADDITION, 32.5 X 32 (2) STORY - SIDE ADDITION, 2 STORY, Partial Basement, 6R, 1FB, 1HB, 0FP, OTHER STRUCTURE = Attached Garage, 1BR, PORCH/DECK = N/A, ENERGY METHOD = Prescriptive Method,

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 14711 Street Name LEAR Street Type CT

Unit Type -Select- Unit # X Coordinate -77.01389 Y Coordinate 39.24889

City GLENELG State MD Zip Code 21737 Primary Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
927306	114	41278	216800	844200	536900	RURAL

Legal Description
LOT 37 41278 SQ []14711 LEAR CT []THE WARFIELDS II S2 RBS

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	37	605101	5				

Plan Area State Tax Id 1405452074 Subdivision Name The Warfields II

Section Area Tax Map 27

Grid Zoning District RC-DEO ADC Map 4932-H1

SDP No. Final Plan No. F-07-040 WP File No.

Record Plat No. WS Contract No. FDP No. Primary Yes

Owner Occupied Year Built 2015 Historic District Yes No

Historic District Registry No. Stat Area 5-01 Flood Plain Yes No

Building No

Owner (This section is not required.)

Search Reset Clear

Name * GEORGE
Address Line 1 14711 LEAR CT
Address Line 2
Address Line 3

Mail City GLENELG
Mail State MD
Mail Zip Code 21737
Phone 240-491-2342
Primary Yes
E-mail

aproconusa@yahoo.com

Cell Number

Fax Number

Professionals (This section is not required.)

License #
 08010114751
License Type
 MHIC Ind
Primary
 Yes

Business Name
 APROCON LLC
First Name
 DAVID
Middle Name
 Last Name
 BEJARANO
Address Line 1
 12309 BRAXFIELD COURT APT 13
Address Line 2
 12309 BRAXFIELD COURT APT 13
City
 ROCKVILLE
State
 MD
ZIP Code
 20852-0000
Phone 1
 2404912342
Phone 2
E-mail
 APROCONUSA@YAHOO.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type
 Applicant
Relationship
 Applicant
Primary
 No

First Name
 DAVID
MI
 R
Last Name
 BEJARANO
Full Name
 GEORGE RENJU
Organization Name
 GEORGE RENJU
Street Address
 14711 LEAR CT
Address Line 2
City
 GLENELG
State
 MD
Zip Code
 21737
Phone
 240-491-2342
Cell
E-mail
 APROCONUSA@YAHOO.COM

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type
 Contact
Relationship
 Licensed Professional
Primary
 Yes

First Name
 DAVID
MI
 R
Last Name
 BEJARANO
Full Name
 GEORGE RENJU
Organization Name
 GEORGE RENJU
Street Address
 14711 LEAR CT
Address Line 2
City
 GLENELG
State
 MD
Zip Code
 21737
Phone
 240-491-2342
Cell
E-mail
 APROCONUSA@YAHOO.COM

Addl Info

Est Construction Cost
 120000
Housing Units
 0
Number of Buildings
 0
Public Owned
 No

Construction Type
 101 - Single Family Houses Detached

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee

Yes No

Capital Project Number

(Text)

Fee Exempt

Yes No

Roadside Tree Project Permit

Yes No

Roadside Tree Pr

No of Stories 2 (Text) Foundation Partial Basement (v) Basement Full Finished (v) No of Rooms 6 (Text) Full Baths 1 (Number) Ha 1

Model
SFD/ CONSTRUCT (2) ADDITIONS: (1) 18 X 18 1- STORY ADDITION ...;(REAR AND SIDE ADDITION) 32.5 X 32 (2) STORY ADDITION
[check spelling](#)

Other Structure Attached Garage (v)
W & S Fees Paid (v) Yes No
1st Floor Width 32.5 FT (Number) 1st Floor Depth 32 FT (Number)
Bedrooms 1 (Number) Porch Deck N/A (v)
Sewage Private (v) Utilities Electric (v) Heating System Electric (v) No of Fireplaces 0 (Number) Type of Fireplace Masonry (v) Sprinkler System None (v)
2nd Floor Width 18.5 FT (Number) 2nd Floor Depth 32 FT (Number) Basement Width 18.5 FT (Number) Basement Depth 32 FT (Number) Height 9 FT (Number)
Total Square Footage 2315 SQFT (Number) Occupiable Square Footage 2315 SQFT (Number) Affordable Housing Funding N/A (v) Foundation Measurement 32.5 x 32 (Text)
Walls 2x6 16oc (Text) Roof gable/asp (Text) Change In Use (v) Yes No Grading Permit No N/A (Text) Senior Housing (v) Yes No MIHU Outside Downtown Columbia (v) Yes No
Additional Description Info
Expiration Date 4/21/2025 (v)
MIHU Required Units 0 (Num)

[check spelling](#)

GREEN INFORMATION

Goal Level --Select-- (v) Actual Level --Select-- (v) Leed Registration Number (Text) Date of Leed Certification (v)

STORM WATER MANAGEMENT

Green Roofs A1 (v) Yes No Permeable Pavements A2 (v) Yes No Reinforced Turf A3 (v) Yes No Disconnection of Rooftop Runoff N1 (Number)
Sheetflow to Conservation Areas N3 (v) Yes No Rainwater Harvesting M1 (Number) Submerged Gravel Wetlands M2 (Number) Landscape Infiltration (Number)
Dry Wells M5 (Number) Micro Bioretention M6 (Number) Rain Gardens M7 (Number) Swales M8 (Number)
PSWM Certification Received in CID on (v)

Submit Cancel

SFD/ CONSTRUCT (2) ADDITIONS: (#1) 18 X 18 (_BREAKFAST AREA – FIRST FLOOR) STORY ADDITION TO INCLUDE _1 ROOM ONLY__ ROOM;(#2. REAR AND SIDE ADDITION) 32.5 X 32 (_UNFISINHD BASEMENT AND GARAGE#___) STORY ADDITION TO INCLUDE _1 BEDROOM, AND 6 NEW ROOM .../ TOTAL NUMBER OF NEW ROOMS _7__. NEW BEDROOMS _1__. NEW FULL BATHS _1__, NEW HALF BATHS _1__, NEW FIREPLACES __0__, FOUNDATION TYPE FOR ADDITION (#1) _CRAWL SPACE___, FOUNDATION TYPE FOR ADDITION (#2) _BASEMENT AND SLAB FOR GARAGE___

Approved 324002207
R/E 10/28/2024

B24002207 Approved
R/E 10/28/2024

- RENJU & SHINEY GEORGE RESIDENCE -

- 2 STORY ADDITION AND INTERIOR RENOVATION -

14711 LEAR COURT, GLENELG, MD 21731

DATE	DESCRIPTION	BY

OWNER:
RENJU & SHINEY GEORGE RESIDENCE
ADDRESS:
14711 LEAR COURT
GLENELG, MD 21731
PROJECT:
TWO STORY ADDITION AND
INTERIOR RENOVATION
PROJECT

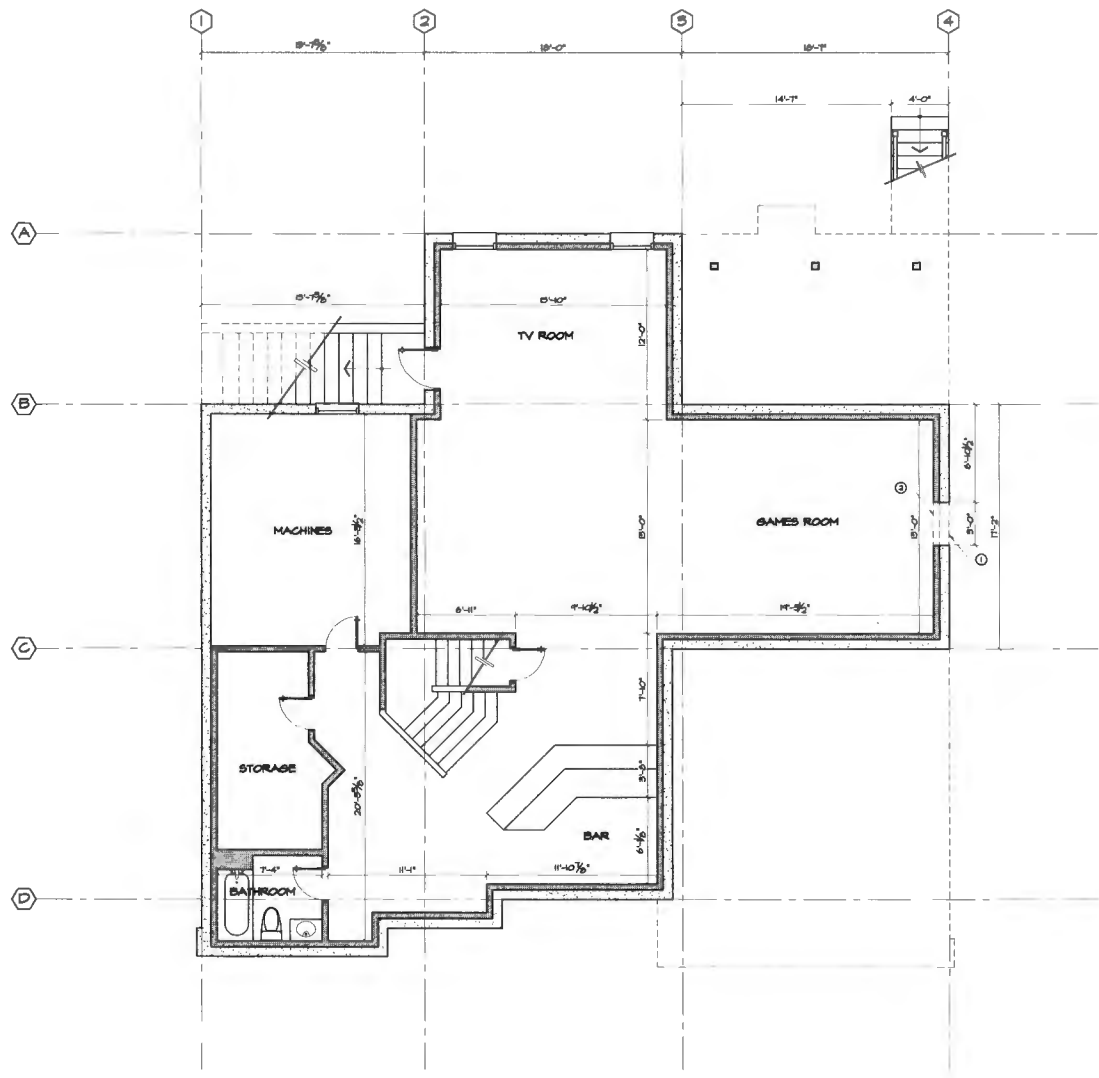
SITE PLAN	DESCRIPTION OF PROPOSED WORK	NOTES																																																																														
<p style="text-align: center;">1 SITE PLAN SCALE: 1"=40'-0"</p>	<p>THE SCOPE OF WORK IS AS FOLLOWS:</p> <ol style="list-style-type: none"> TO CREATE A TWO STORY ADDITION IN THE REAR OF THE HOUSE. TO CREATE A DECK IN THE REAR YARD OF THE HOUSE. THESE ADDITIONS TO CREATE MORE LIVING SPACE. <p>WORK TO BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES, WORK DESIGNED IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE 2021 EDITION AND IS IN ACCORDANCE WITH HOWARD COUNTY REGULATIONS.</p>	<ol style="list-style-type: none"> ALL WORK SHALL COMPLY WITH CURRENT HOWARD COUNTY AND BUILDING CODE (IRC 2021), AS WELL AS WITH ANY LOCAL CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS. ALL CONSTRUCTION AND EXISTING CONSTRUCTION ASSEMBLY IS ASSUMED FROM TYPICAL CONSTRUCTION METHODS, DIFFERENT ASSEMBLY MIGHT BE EXPECTED. CONTRACTOR VERIFY AND ADJUST COSTS AS NEEDED. ALL DIMENSIONS ARE APPROXIMATE, CONTRACTOR SHALL VERIFY IN SITE AND ADJUST AS NECESSARY. MEANS AND METHODS OF CONSTRUCTION AND DEMOLITION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LUMBER IN CONTACT WITH CONCRETE OR MASONRY WALLS TO BE PRESSURE TREATED LUMBER. 																																																																														
	<p style="text-align: center;">PROJECT DATA</p> <ol style="list-style-type: none"> OWNER: RENJU & SHINEY GEORGE RESIDENCE ADDRESS: 14711 LEAR COURT, GLENELG, MD 21731 LOT: ST SQUARE: 4276 MAP: CO27 PARCEL: 014 LOT AREA: 4276 SF PLAN NUMBER: 3220 JURISDICTION: HOWARD COUNTY INTERNATIONAL RESIDENTIAL CODES-2021 OCCUPANCY: SINGLE FAMILY RESIDENCE CONSTRUCTION TYPE: 2 STORY (FRAME) NUMBER OF STORES: 3 STORES HEIGHT. 																																																																															
<p style="text-align: center;">2 VICINITY MAP SCALE: 1"=200'-0"</p>	<p style="text-align: center;">LEGEND</p> <ul style="list-style-type: none"> PROPOSED HALL EXISTING HALL - N.A. HALL TO BE DEMOLISH DOOR TO BE DEMOLISH HIDDEN TO BE DEMOLISH REMOVE CONSTRUCTION AREAS SUCH PATIOS, ROOFS, DECKS, ETC. 	<p style="text-align: center;">SYMBOLS</p> <ul style="list-style-type: none"> GRID LINE GRID NAME DETAIL NUMBER SECTION NUMBER DRIVING NAME SCALE (UP-OF) SCALE USED WAVE DRAWING SYMBOL ELEVATION SYMBOL ELEVATION FROM GELIST ELEVATION SYMBOL CALLOUT SYMBOL DETAIL NUMBER INSET HERE THE DETAIL IS SHOWN SECTION SYMBOL 																																																																														
	<p style="text-align: center;">ABBREVIATIONS</p> <table style="width:100%; font-size: small;"> <tr> <td>ALUM. ALUMINUM</td> <td>HTL. METAL</td> </tr> <tr> <td>AND AND</td> <td>MIN. MINIMUM</td> </tr> <tr> <td>AT AT</td> <td>N. NORTH</td> </tr> <tr> <td>A.D. AREA DRAIN</td> <td>N.C. NOT IN CONTRACT</td> </tr> <tr> <td>AVEN. AVENUE</td> <td>O.C. ON CENTER</td> </tr> <tr> <td>BLDG. BUILDING</td> <td>OPT. OPTIONAL</td> </tr> <tr> <td>B.O.B. BOTTOM OF BEAM</td> <td>REF. REINFORCED</td> </tr> <tr> <td>CONC. CONCRETE</td> <td>RT. ROUTE</td> </tr> <tr> <td>C.M.U. CONCRETE MASONRY UNIT</td> <td>SHT. SHEET</td> </tr> <tr> <td>CONT. CONTIGUOUS</td> <td>S.H. SHIMLAR</td> </tr> <tr> <td>DEM. DEMOLITION</td> <td>S.S. STAINLESS STEEL</td> </tr> <tr> <td>S.D. SELECTION BY OWNER</td> <td>STL. STEEL</td> </tr> <tr> <td>SOB. SLAB ON GRADE</td> <td>ST. STREET</td> </tr> <tr> <td>DIA.(S) DIAMETER</td> <td>STRUC. STRUCTURE</td> </tr> <tr> <td>DRAIN DRAINING</td> <td>TYP. TYPICAL</td> </tr> <tr> <td>ELEC. ELECTRICAL</td> <td>UN. UNLESS NOTED OTHERWISE</td> </tr> <tr> <td>ELEV. ELEVATION</td> <td>N. NORTH</td> </tr> <tr> <td>EQ. EQUAL</td> <td>H. HITCH</td> </tr> <tr> <td>EXST. EXISTING</td> <td>IN. IN</td> </tr> <tr> <td>EXP. EXPANSION</td> <td>VF. VERIFY IN FIELD</td> </tr> <tr> <td>EXP.JT. EXPANSION JOINT</td> <td>TO BE TO BE SELECTED</td> </tr> <tr> <td>F.F.E. FINISH FLOOR ELEVATION</td> <td>STP. SELECTION TO FOLLOW</td> </tr> <tr> <td>GALV. GALVANIZED</td> <td></td> </tr> <tr> <td>GYP.BD. GYPSUM BOARD</td> <td></td> </tr> <tr> <td>HARB. HARBLE</td> <td></td> </tr> <tr> <td>R.A.S.R. RISE AS REQUIRED</td> <td></td> </tr> <tr> <td>INSUL. INSULATION</td> <td></td> </tr> <tr> <td>JT. JOINT</td> <td></td> </tr> </table>		ALUM. ALUMINUM	HTL. METAL	AND AND	MIN. MINIMUM	AT AT	N. NORTH	A.D. AREA DRAIN	N.C. NOT IN CONTRACT	AVEN. AVENUE	O.C. ON CENTER	BLDG. BUILDING	OPT. OPTIONAL	B.O.B. BOTTOM OF BEAM	REF. REINFORCED	CONC. CONCRETE	RT. ROUTE	C.M.U. CONCRETE MASONRY UNIT	SHT. SHEET	CONT. CONTIGUOUS	S.H. SHIMLAR	DEM. DEMOLITION	S.S. STAINLESS STEEL	S.D. SELECTION BY OWNER	STL. STEEL	SOB. SLAB ON GRADE	ST. STREET	DIA.(S) DIAMETER	STRUC. STRUCTURE	DRAIN DRAINING	TYP. TYPICAL	ELEC. ELECTRICAL	UN. UNLESS NOTED OTHERWISE	ELEV. ELEVATION	N. NORTH	EQ. EQUAL	H. HITCH	EXST. EXISTING	IN. IN	EXP. EXPANSION	VF. VERIFY IN FIELD	EXP.JT. EXPANSION JOINT	TO BE TO BE SELECTED	F.F.E. FINISH FLOOR ELEVATION	STP. SELECTION TO FOLLOW	GALV. GALVANIZED		GYP.BD. GYPSUM BOARD		HARB. HARBLE		R.A.S.R. RISE AS REQUIRED		INSUL. INSULATION		JT. JOINT																							
ALUM. ALUMINUM	HTL. METAL																																																																															
AND AND	MIN. MINIMUM																																																																															
AT AT	N. NORTH																																																																															
A.D. AREA DRAIN	N.C. NOT IN CONTRACT																																																																															
AVEN. AVENUE	O.C. ON CENTER																																																																															
BLDG. BUILDING	OPT. OPTIONAL																																																																															
B.O.B. BOTTOM OF BEAM	REF. REINFORCED																																																																															
CONC. CONCRETE	RT. ROUTE																																																																															
C.M.U. CONCRETE MASONRY UNIT	SHT. SHEET																																																																															
CONT. CONTIGUOUS	S.H. SHIMLAR																																																																															
DEM. DEMOLITION	S.S. STAINLESS STEEL																																																																															
S.D. SELECTION BY OWNER	STL. STEEL																																																																															
SOB. SLAB ON GRADE	ST. STREET																																																																															
DIA.(S) DIAMETER	STRUC. STRUCTURE																																																																															
DRAIN DRAINING	TYP. TYPICAL																																																																															
ELEC. ELECTRICAL	UN. UNLESS NOTED OTHERWISE																																																																															
ELEV. ELEVATION	N. NORTH																																																																															
EQ. EQUAL	H. HITCH																																																																															
EXST. EXISTING	IN. IN																																																																															
EXP. EXPANSION	VF. VERIFY IN FIELD																																																																															
EXP.JT. EXPANSION JOINT	TO BE TO BE SELECTED																																																																															
F.F.E. FINISH FLOOR ELEVATION	STP. SELECTION TO FOLLOW																																																																															
GALV. GALVANIZED																																																																																
GYP.BD. GYPSUM BOARD																																																																																
HARB. HARBLE																																																																																
R.A.S.R. RISE AS REQUIRED																																																																																
INSUL. INSULATION																																																																																
JT. JOINT																																																																																
<p style="text-align: center;">MATERIALS</p> <table style="width:100%; font-size: x-small;"> <tr> <td> CONCRETE</td> <td> FLAGSTONE</td> </tr> <tr> <td> GRAVEL</td> <td> GRAVEL</td> </tr> <tr> <td> BRICK (PLAN)</td> <td> MASONRY (ELEV.)</td> </tr> <tr> <td> BRICK (ELEV.)</td> <td> INSULATION</td> </tr> <tr> <td> SHINGLE</td> <td> SAND</td> </tr> <tr> <td> MASONRY (PLAN)</td> <td> CEMENT SETTINGS BED</td> </tr> <tr> <td> EARTH - SOIL</td> <td> TILE</td> </tr> <tr> <td> STEEL</td> <td> SIDING</td> </tr> <tr> <td> RIGID INSULATION</td> <td> STUCCO</td> </tr> <tr> <td> GRANITE</td> <td> ROCK</td> </tr> <tr> <td></td> <td> PLYWOOD</td> </tr> </table>	CONCRETE	FLAGSTONE	GRAVEL	GRAVEL	BRICK (PLAN)	MASONRY (ELEV.)	BRICK (ELEV.)	INSULATION	SHINGLE	SAND	MASONRY (PLAN)	CEMENT SETTINGS BED	EARTH - SOIL	TILE	STEEL	SIDING	RIGID INSULATION	STUCCO	GRANITE	ROCK		PLYWOOD	<p style="text-align: center;">LIST OF DRAWINGS:</p> <table border="1" style="width:100%; font-size: x-small;"> <thead> <tr> <th>SHEET</th> <th>SHEET CONTENTS</th> <th>CODE</th> </tr> </thead> <tbody> <tr><td>1 OF 16</td><td>COVER SHEET, SCOPE OF WORK, SITE PLAN, INDEX</td><td>000</td></tr> <tr><td>2 OF 16</td><td>EXISTING BASEMENT FLOOR PLAN WITH DEMOLITION</td><td>DI01</td></tr> <tr><td>3 OF 16</td><td>EXISTING FIRST FLOOR PLAN WITH DEMOLITION</td><td>DI02</td></tr> <tr><td>4 OF 16</td><td>EXISTING SECOND FLOOR PLAN WITH DEMOLITION</td><td>DI03</td></tr> <tr><td>5 OF 16</td><td>ROOF PLAN WITH SOUTH ELEVATION</td><td>AO01</td></tr> <tr><td>6 OF 16</td><td>NORTH AND EAST ELEVATIONS WITH DEMOLITION</td><td>AO02</td></tr> <tr><td>7 OF 16</td><td>NEW BASEMENT FLOOR PLAN</td><td>AO03</td></tr> <tr><td>8 OF 16</td><td>NEW FIRST FLOOR PLAN</td><td>AO04</td></tr> <tr><td>9 OF 16</td><td>NEW SECOND FLOOR PLAN</td><td>AO05</td></tr> <tr><td>10 OF 16</td><td>NEW SOUTH AND EAST ELEVATION</td><td>AO06</td></tr> <tr><td>11 OF 16</td><td>NEW NORTH ELEVATION</td><td>AO07</td></tr> <tr><td>12 OF 16</td><td>DESIGN NOTES</td><td>NO01</td></tr> <tr><td>13 OF 16</td><td>FOUNDATION PLAN</td><td>NO02</td></tr> <tr><td>14 OF 16</td><td>FIRST FLOOR FRAMING PLAN</td><td>NO03</td></tr> <tr><td>15 OF 16</td><td>SECOND FLOOR FRAMING PLAN</td><td>NO04</td></tr> <tr><td>16 OF 16</td><td>ROOF FRAMING PLAN</td><td>NO05</td></tr> <tr><td>17 OF 16</td><td>CONSTRUCTION DETAILS</td><td>NO06</td></tr> <tr><td>18 OF 16</td><td>CONSTRUCTION DETAILS</td><td>NO07</td></tr> </tbody> </table>	SHEET	SHEET CONTENTS	CODE	1 OF 16	COVER SHEET, SCOPE OF WORK, SITE PLAN, INDEX	000	2 OF 16	EXISTING BASEMENT FLOOR PLAN WITH DEMOLITION	DI01	3 OF 16	EXISTING FIRST FLOOR PLAN WITH DEMOLITION	DI02	4 OF 16	EXISTING SECOND FLOOR PLAN WITH DEMOLITION	DI03	5 OF 16	ROOF PLAN WITH SOUTH ELEVATION	AO01	6 OF 16	NORTH AND EAST ELEVATIONS WITH DEMOLITION	AO02	7 OF 16	NEW BASEMENT FLOOR PLAN	AO03	8 OF 16	NEW FIRST FLOOR PLAN	AO04	9 OF 16	NEW SECOND FLOOR PLAN	AO05	10 OF 16	NEW SOUTH AND EAST ELEVATION	AO06	11 OF 16	NEW NORTH ELEVATION	AO07	12 OF 16	DESIGN NOTES	NO01	13 OF 16	FOUNDATION PLAN	NO02	14 OF 16	FIRST FLOOR FRAMING PLAN	NO03	15 OF 16	SECOND FLOOR FRAMING PLAN	NO04	16 OF 16	ROOF FRAMING PLAN	NO05	17 OF 16	CONSTRUCTION DETAILS	NO06	18 OF 16	CONSTRUCTION DETAILS	NO07
CONCRETE	FLAGSTONE																																																																															
GRAVEL	GRAVEL																																																																															
BRICK (PLAN)	MASONRY (ELEV.)																																																																															
BRICK (ELEV.)	INSULATION																																																																															
SHINGLE	SAND																																																																															
MASONRY (PLAN)	CEMENT SETTINGS BED																																																																															
EARTH - SOIL	TILE																																																																															
STEEL	SIDING																																																																															
RIGID INSULATION	STUCCO																																																																															
GRANITE	ROCK																																																																															
	PLYWOOD																																																																															
SHEET	SHEET CONTENTS	CODE																																																																														
1 OF 16	COVER SHEET, SCOPE OF WORK, SITE PLAN, INDEX	000																																																																														
2 OF 16	EXISTING BASEMENT FLOOR PLAN WITH DEMOLITION	DI01																																																																														
3 OF 16	EXISTING FIRST FLOOR PLAN WITH DEMOLITION	DI02																																																																														
4 OF 16	EXISTING SECOND FLOOR PLAN WITH DEMOLITION	DI03																																																																														
5 OF 16	ROOF PLAN WITH SOUTH ELEVATION	AO01																																																																														
6 OF 16	NORTH AND EAST ELEVATIONS WITH DEMOLITION	AO02																																																																														
7 OF 16	NEW BASEMENT FLOOR PLAN	AO03																																																																														
8 OF 16	NEW FIRST FLOOR PLAN	AO04																																																																														
9 OF 16	NEW SECOND FLOOR PLAN	AO05																																																																														
10 OF 16	NEW SOUTH AND EAST ELEVATION	AO06																																																																														
11 OF 16	NEW NORTH ELEVATION	AO07																																																																														
12 OF 16	DESIGN NOTES	NO01																																																																														
13 OF 16	FOUNDATION PLAN	NO02																																																																														
14 OF 16	FIRST FLOOR FRAMING PLAN	NO03																																																																														
15 OF 16	SECOND FLOOR FRAMING PLAN	NO04																																																																														
16 OF 16	ROOF FRAMING PLAN	NO05																																																																														
17 OF 16	CONSTRUCTION DETAILS	NO06																																																																														
18 OF 16	CONSTRUCTION DETAILS	NO07																																																																														

STAMP:
PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 05441. EXP. DATE 03/31/2026.

DATE: JUNE 10, 2024
SCALE: AS NOTED
DRAWN BY: RL & KP
CHECKED BY: GH

COVER SHEET, VICINITY, SCOPE OF WORK, INDEX

SHEET:
000
1 of 18



1
EXISTING BASEMENT
FLOOR PLAN WITH
DEMOLITION
SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. ALL MEANS AND METHODS OF SAFELY REMOVING ALL EXISTING CONSTRUCTION TO BE DEMOLISH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED FOR DEMOLITION OPERATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF AND PROCEDURES FOR THE REQUIRED TEMPORARY SHORING. THE DESIGN PROCEDURES SHALL CONFORM TO ALL GOVERNING CODES AND SAFETY REQUIREMENTS.
4. ALL DIMENSIONS ARE APPROXIMATE, CONTRACTOR SHALL VERIFY IN SITE AND ADJUST AS NECESSARY.
5. CONTRACTOR IS RESPONSIBLE FOR ALL DEBRIS AND CLEANING THE WORK AREA, LEVELING THE SOIL, AND KEEPING A WORK AREA CLEAN AND SAFE AT ALL TIMES.

DEMOLITION KEYED NOTES:

- ① SAW CUT WALL TO MAKE AN OPENING TO INSTALL A DOOR.
- ② REMOVE STUDS HALL AS NEEDED

LEGEND

- EXISTING HALL / CONSTRUCTION TO BE DEMOLISH
- EXISTING HALL / CONSTRUCTION TO REMAIN IN PLACE
- CONSTRUCTION TO BE DEMOLISH

DATE	DESCRIPTION	BY

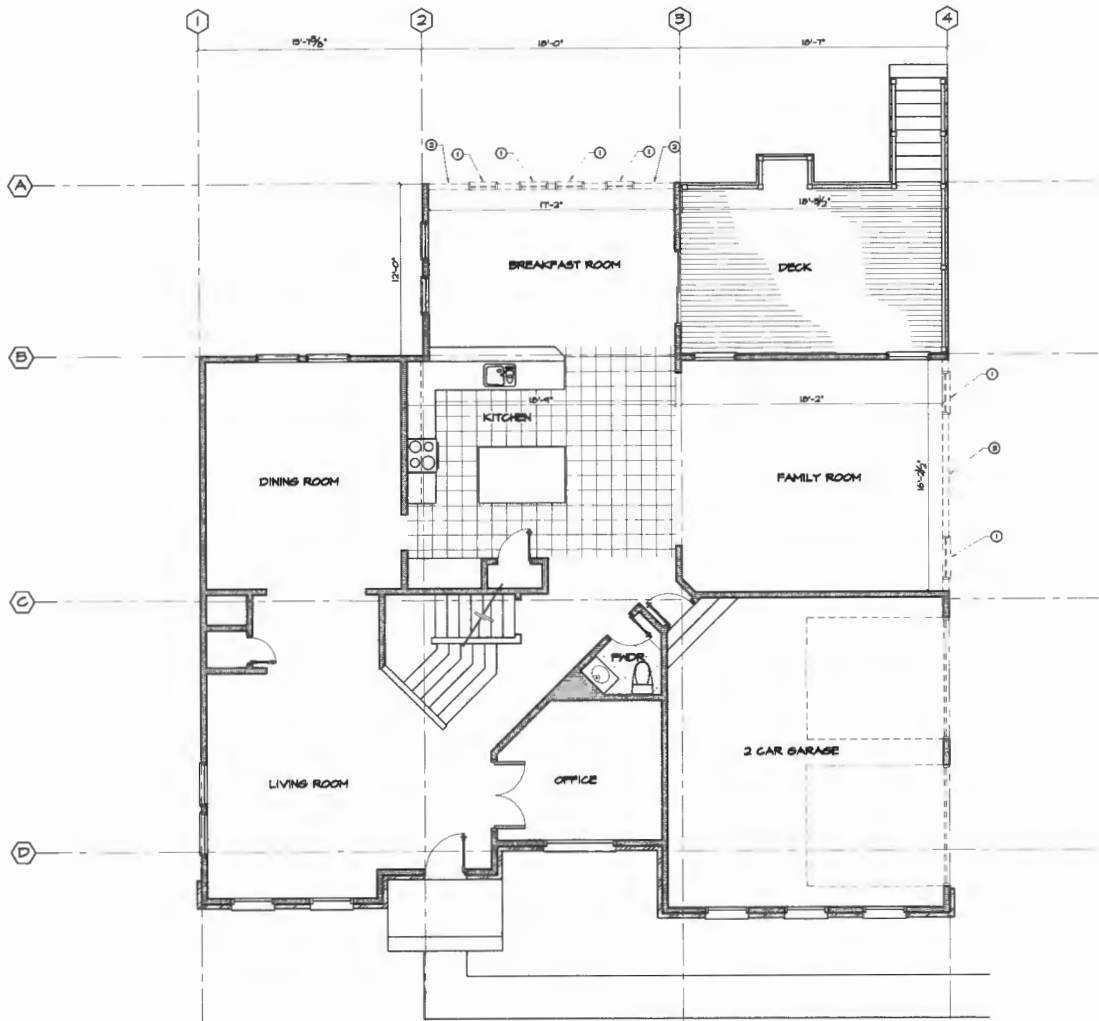
OWNER:
RENUU & SHANEY GEORGE RESIDENCE
ADDRESS:
1471 LEAR COURT
GLENELG, MD 21731
PROJECT:
TWO STORY ADDITION AND
INTERIOR RENOVATION
PROJECT

STAMP:
PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME AND THAT I AM
DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND, LICENSE NO.
85-41, EXP. DATE 03.18.2026

DATE: JUNE 10, 2024
SCALE: AS NOTED
DRAWN BY: RL 4 KP
CHECKED BY: GH

EXISTING BASEMENT
FLOOR PLAN WITH
DEMOLITION

SHEET:
D101
2 of 18



1 EXISTING FIRST FLOOR PLAN WITH DEMOLITION
SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. ALL MEANS AND METHODS OF SAFELY REMOVING ALL EXISTING CONSTRUCTION TO BE DEMOLISHED SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED FOR DEMOLITION OPERATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF AND PROCEDURES FOR THE REQUIRED TEMPORARY SHORING. THE DESIGN PROCEDURES SHALL CONFORM TO ALL GOVERNING CODES AND SAFETY REQUIREMENTS.
4. ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY IN SITE AND ADJUST AS NECESSARY.
5. CONTRACTOR IS RESPONSIBLE FOR ALL DEBRIS AND CLEANING THE WORK AREA, LEVELING THE SOIL AND KEEPING A WORK AREA CLEAN AND SAFE AT ALL TIMES.

DEMOLITION KEYED NOTES:

- ① REMOVE MEMBERS AND ALL RELATED COMPONENTS. STORE OR REUSE BY OWNER OPTION.
- ② SAW CUT WALL AND REMOVE WALL WITH ALL COMPONENTS.

LEGEND

- EXISTING WALL / CONSTRUCTION TO BE DEMOLISH
- EXISTING WALL / CONSTRUCTION TO REMAIN IN PLACE
- CONSTRUCTION TO BE DEMOLISH

DATE	DESCRIPTION	BY

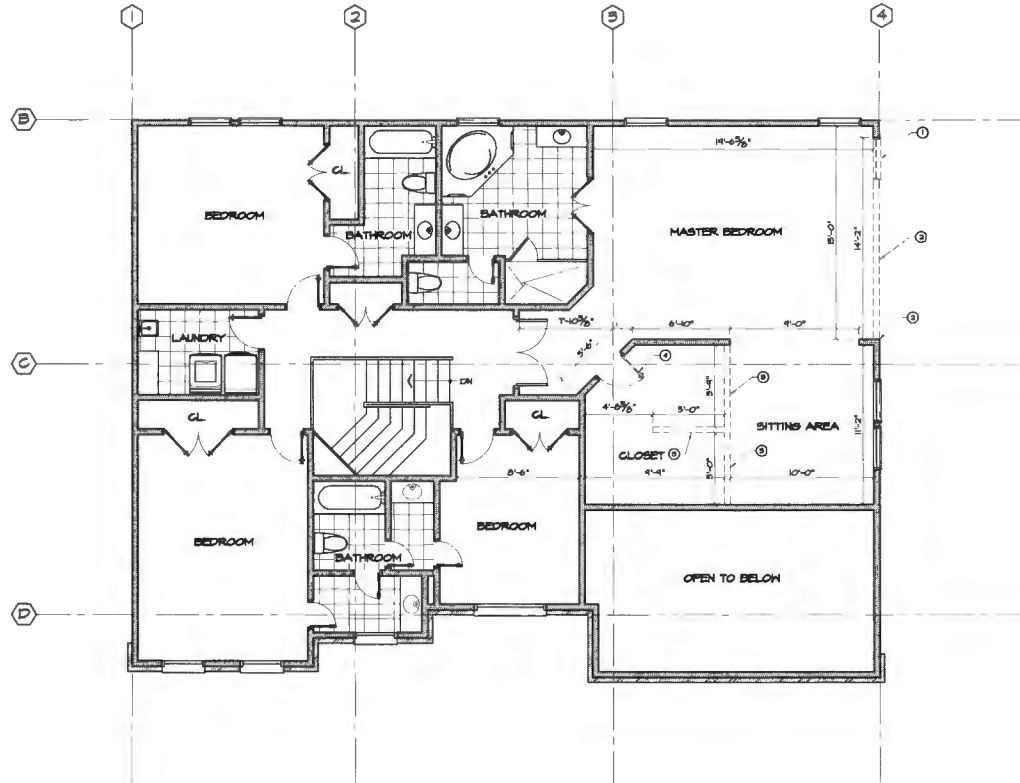
OWNER:
 MENA & SHANEY GEORGE RESIDENCE
 ADDRESS:
 1471 LEAR COURT
 GLENBELG, MD 21731
 PROJECT:
 TWO STORY ADDITION AND
 INTERIOR RENOVATION
 PROJECT

STAMP:
 PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE
 DOCUMENTS WERE PREPARED OR
 APPROVED BY ME, AND THAT I AM
 A FULLY LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF THE
 STATE OF MARYLAND, LICENSE NO.
 9544, EXP. DATE 09.16.2028

DATE: 08.10.2024
 SCALE: AS NOTED
 DRAWN BY: RR & KP
 CHECKED BY: GH

EXISTING FIRST FLOOR
 PLAN WITH DEMOLITION

SHEET:
D102
 3 of 16



EXISTING SECOND FLOOR
 PLAN WITH DEMOLITION
 SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. ALL MEANS AND METHODS OF SAFELY REMOVING ALL EXISTING CONSTRUCTION TO BE DEMOLISHED SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED FOR DEMOLITION OPERATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF AND PROCEDURES FOR THE REQUIRED TEMPORARY SHORING. THE DESIGN PROCEDURES SHALL CONFORM TO ALL GOVERNING CODES AND SAFETY REQUIREMENTS.
4. ALL DIMENSIONS ARE APPROXIMATE, CONTRACTOR SHALL VERIFY IN SITE AND ADJUST AS NECESSARY.
5. CONTRACTOR IS RESPONSIBLE FOR ALL DEBRIS AND CLEANING THE WORK AREA, LEVELING THE SOIL AND KEEPING A WORK AREA CLEAN AND SAFE AT ALL TIMES.

DEMOLITION KEYED NOTES:

- ① REMOVE HINGES AND ALL RELATED COMPONENTS, STORE OR REUSE BY OWNER OPTION.
- ② SAW CUT WALL AND REMOVE HALL WITH ALL COMPONENTS.
- ③ REMOVE PARTITIONS HALL AND ALL RELATED COMPONENTS AND DISCARD.
- ④ REMOVE DOOR AND ALL RELATED COMPONENTS

LEGEND

- EXISTING HALL / CONSTRUCTION TO REMAIN
- NEW FOUNDATION WALL OF MASONRY

DATE	DESCRIPTION	BY

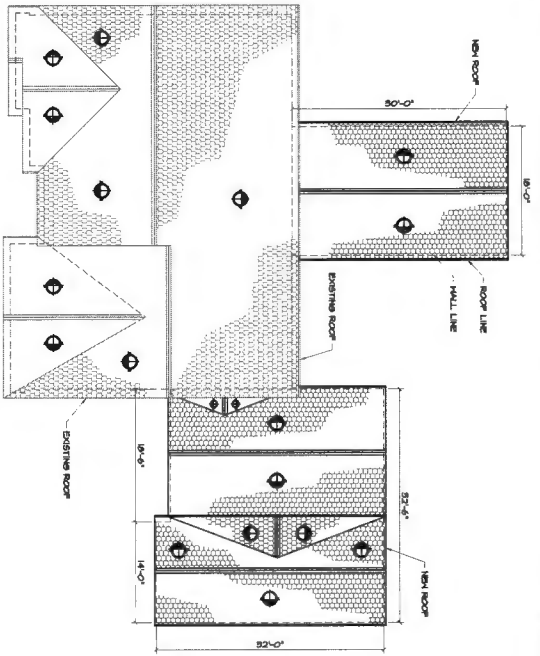
OWNER:
 RENUJ SHARMA GEORGE RESIDENCE
 ADDRESS:
 14711 LEAR COURT
 GLENELG, MD 21031
 PROJECT:
 TWO STORY ADDITION AND
 INTERIOR RENOVATION
 PROJECT

STAMP:
 PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE
 DOCUMENTS WERE PREPARED OR
 APPROVED BY ME, AND THAT I AM
 A DULY LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF THE
 STATE OF MARYLAND, LICENSE NO.
 0541, EXP. DATE 03/18/2028

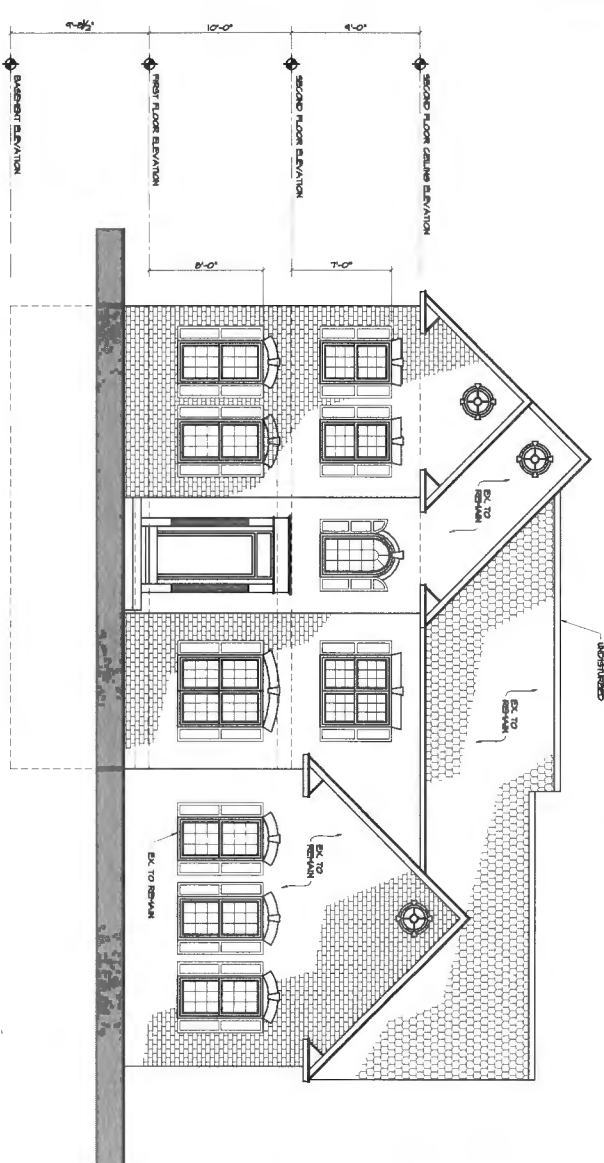
DATE: JUNE 10, 2024
 SCALE: AS NOTED
 DRAWN BY: BR & KP
 CHECKED BY: GH

EXISTING SECOND FLOOR
 PLAN WITH DEMOLITION

SHEET:
D103
 4 of 18



1
ROOF PLAN
SCALE: 1/8"=1'-0"



1
NORTH ELEVATION
SCALE: 1/4"=1'-0"

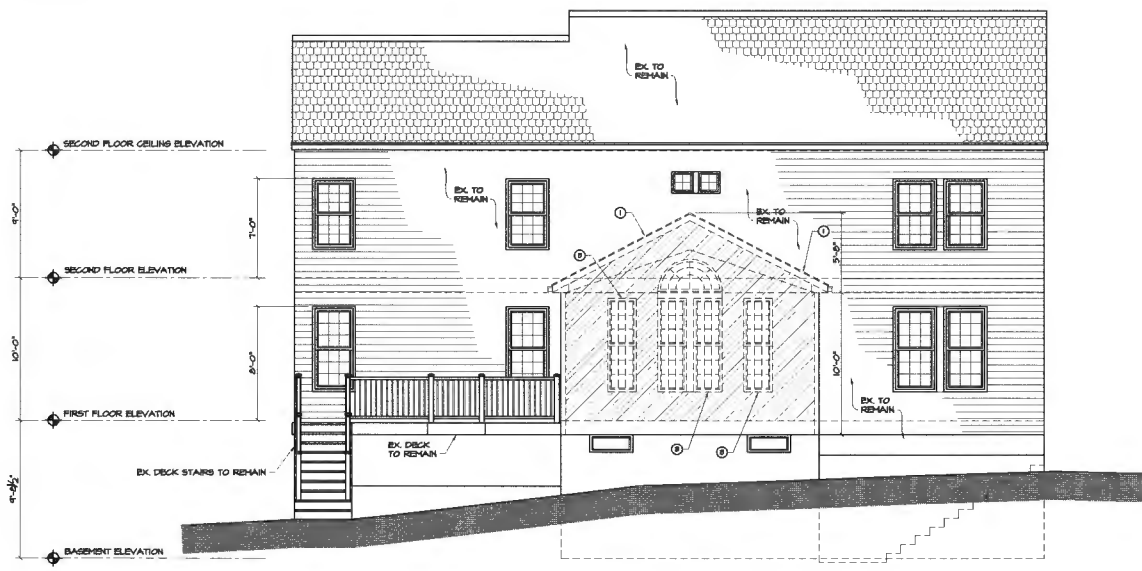
DATE	DESCRIPTION	BY

OWNER:
 RESULI & SHINNY DECORRE RESIDENCE
 4000 W. HARRIS ROAD
 GREENSBORO, NC 27407
 PROJECT:
 EXTERIOR RESTORATION AND
 INTERIOR RENOVATION

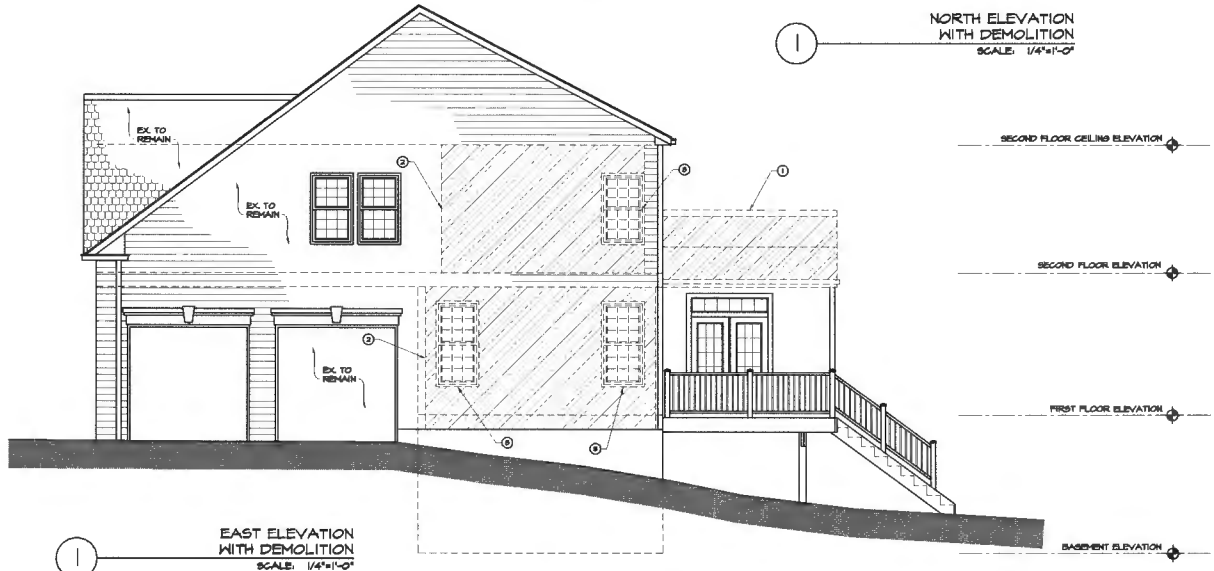
PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE
 PLANS AND SPECIFICATIONS WERE
 PREPARED BY ME AND THAT I AM
 A LICENSED ARCHITECT UNDER THE
 STATE OF NORTH CAROLINA LICENSE NO.
 34911. EXPIRES 01/01/2025.

DATE: JUNE 10, 2024
 SCALE: AS NOTED
 DRAWN BY: MS & LP
 CHECKED BY: SM
 SOUTH ELEVATION AND
 ROOF PLAN

SHEET:
D104
 5 of 13



1 NORTH ELEVATION WITH DEMOLITION
SCALE: 1/4"=1'-0"



1 EAST ELEVATION WITH DEMOLITION
SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. ALL MEANS AND METHODS OF SAFELY REMOVING ALL EXISTING CONSTRUCTION TO BE DEMOLISH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED FOR DEMOLITION OPERATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF AND PROCEDURES FOR THE REQUIRED TEMPORARY SHORING. THE DESIGN PROCEDURES SHALL CONFORM TO ALL GOVERNING CODES AND SAFETY REQUIREMENTS.
4. ALL DIMENSIONS ARE APPROXIMATE CONTRACTOR SHALL VERIFY IN SITE AND ADJUST AS NECESSARY.
5. CONTRACTOR IS RESPONSIBLE FOR ALL DEBRIS AND CLEANING THE WORK AREA, LEVELING THE SOIL AND KEEPING A WORK AREA CLEAN AND SAFE AT ALL TIMES.

DEMOLITION KEYED NOTES:

1. REMOVE ROOF AND ALL RELATED COMPONENTS AND DISCARD. REMOVE ROOF TRUSSES ON THE EXISTING BREAKFAST ROOM AND DISCARD.
2. SAW CUT AN REMOVE HALL AREA AS SHOWN. REMOVE VINYL SIDING, REMOVE PLANKED SHEATHING AND ALL RELATED COMPONENTS.
3. REMOVE HINDON AND ALL RELATED COMPONENTS AND DISCARD.

LEGEND

- EXISTING HALL / CONSTRUCTION TO BE DEMOLISH
- EXISTING HALL / CONSTRUCTION TO REMAIN IN PLACE
- ▨ CONSTRUCTION TO BE DEMOLISH

DATE	DESCRIPTION	BY

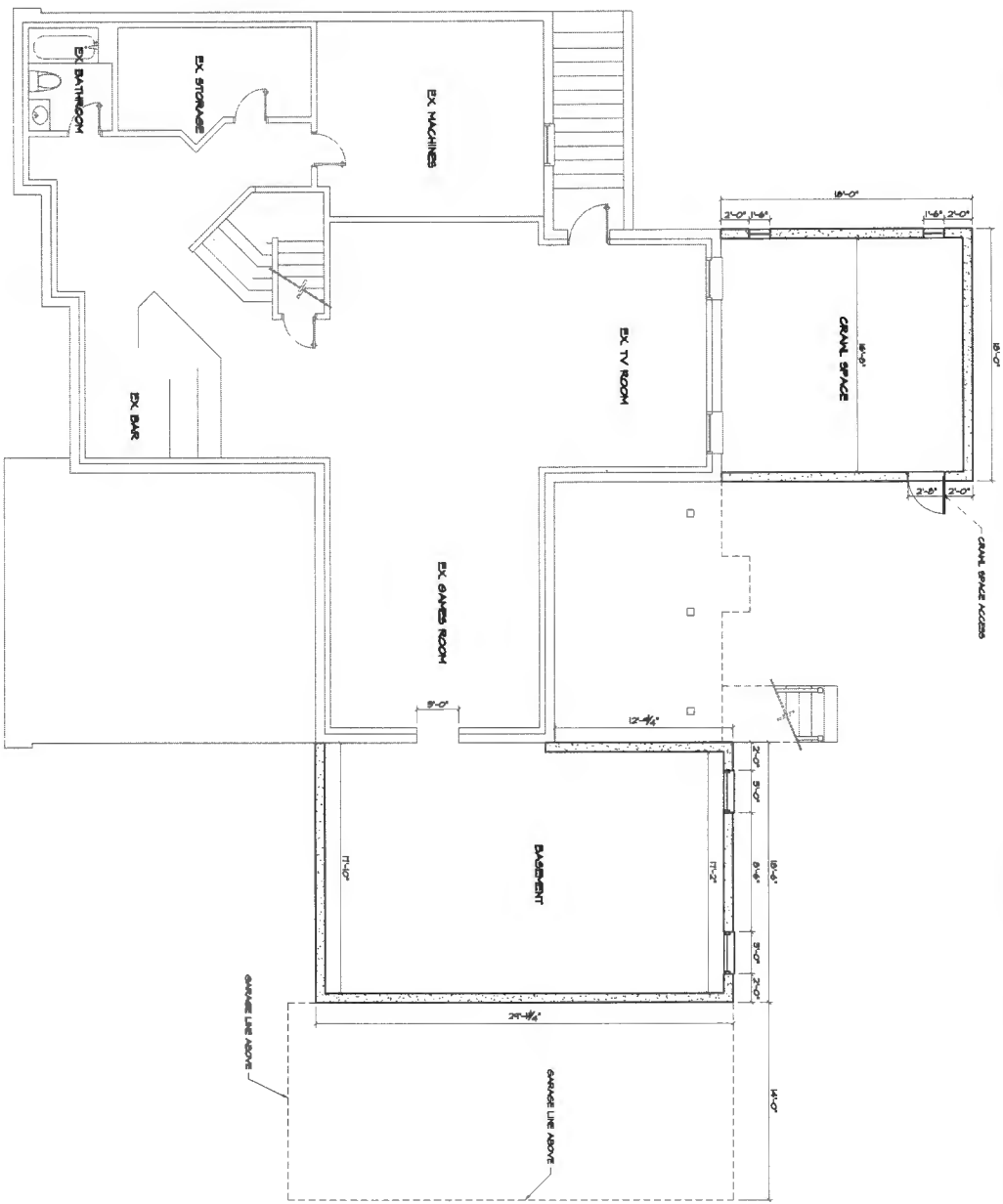
OWNER:
RENLU & SHANEY GEORGE RESIDENCE
ADDRESS:
1471 LEAR COURT
GLENELG, MD 21111
PROJECT:
TWO STORY ADDITION AND
INTERIOR RENOVATION
PROJECT

STAMP:
PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME AND THAT I AM
DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND, LICENSE NO.
0541, EXP. DATE 03.18.2028

DATE: JUNE 10, 2024
SCALE: AS NOTED
DRAWN BY: WILKINS
CHECKED BY: GH

NORTH AND EAST
ELEVATION WITH
DEMOLITION

SHEET:
D105
6 of 10



1
 NEW BASEMENT
 FLOOR PLAN
 SCALE: 1/4"=1'-0"

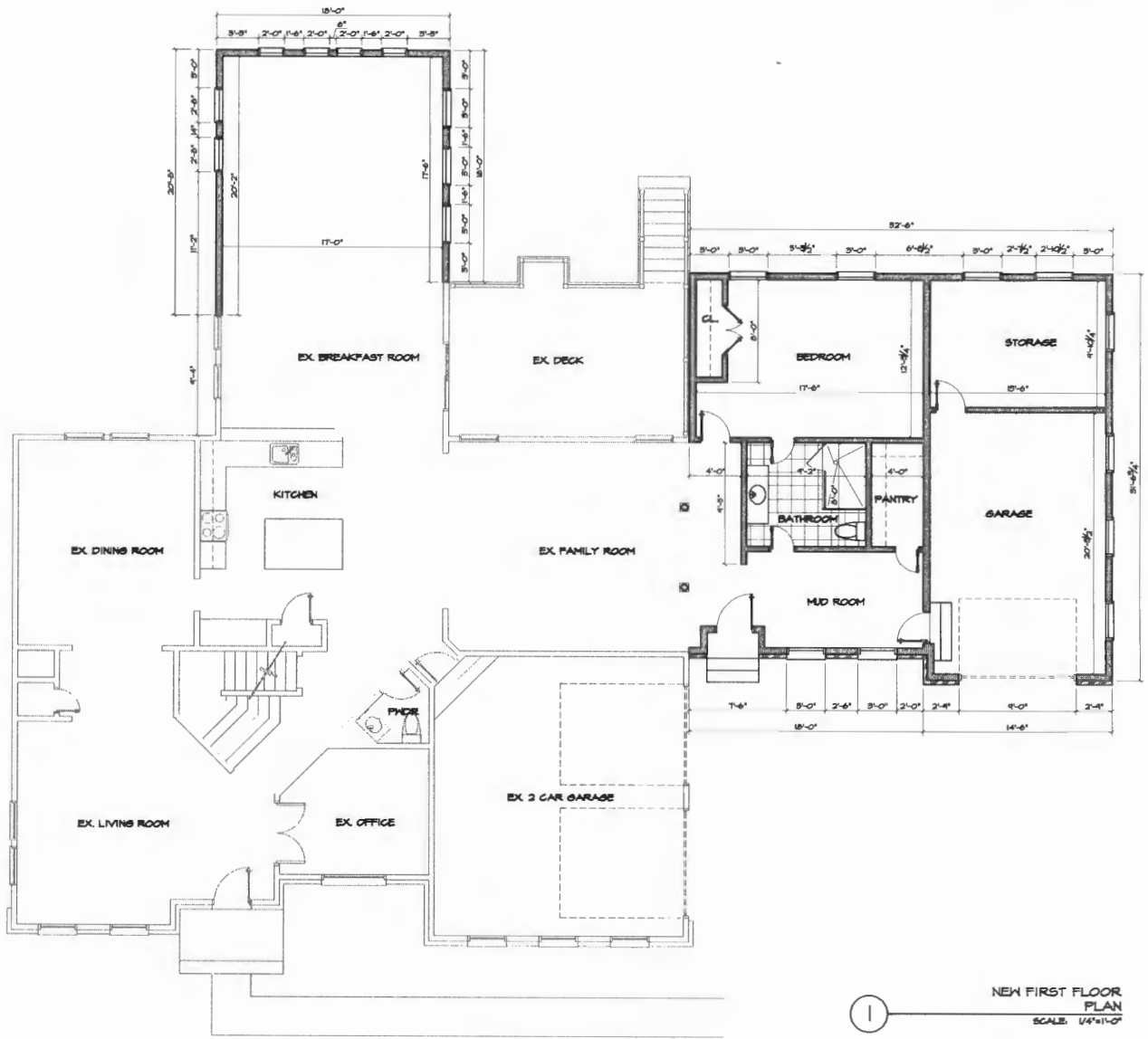
DATE	DESCRIPTION	BY

OWNER: RUSSELL & DEBORAH RESIDENCE
 14711 LEAN COURT
 GLENDALE, MO 64113
 PROJECT: INTERIOR RENOVATION AND
 FINISHES

PROFESSIONAL CERTIFICATION:
 I, THE ARCHITECT, HEREBY CERTIFY THAT I AM
 A LICENSED ARCHITECT IN THE STATE OF MISSOURI AND THAT I AM
 REGISTERED UNDER THE LAWS OF THE STATE OF MISSOURI.
 EXPIRES: 08/31/2028

DATE: JUNE 10, 2024
SCALE: AS NOTED
DRAWN BY: JAC
CHECKED BY: JAC
PROJECT NO. 2401

SHEET:
A101
 1 of 15



NEW FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

DATE	DESCRIPTION	BY

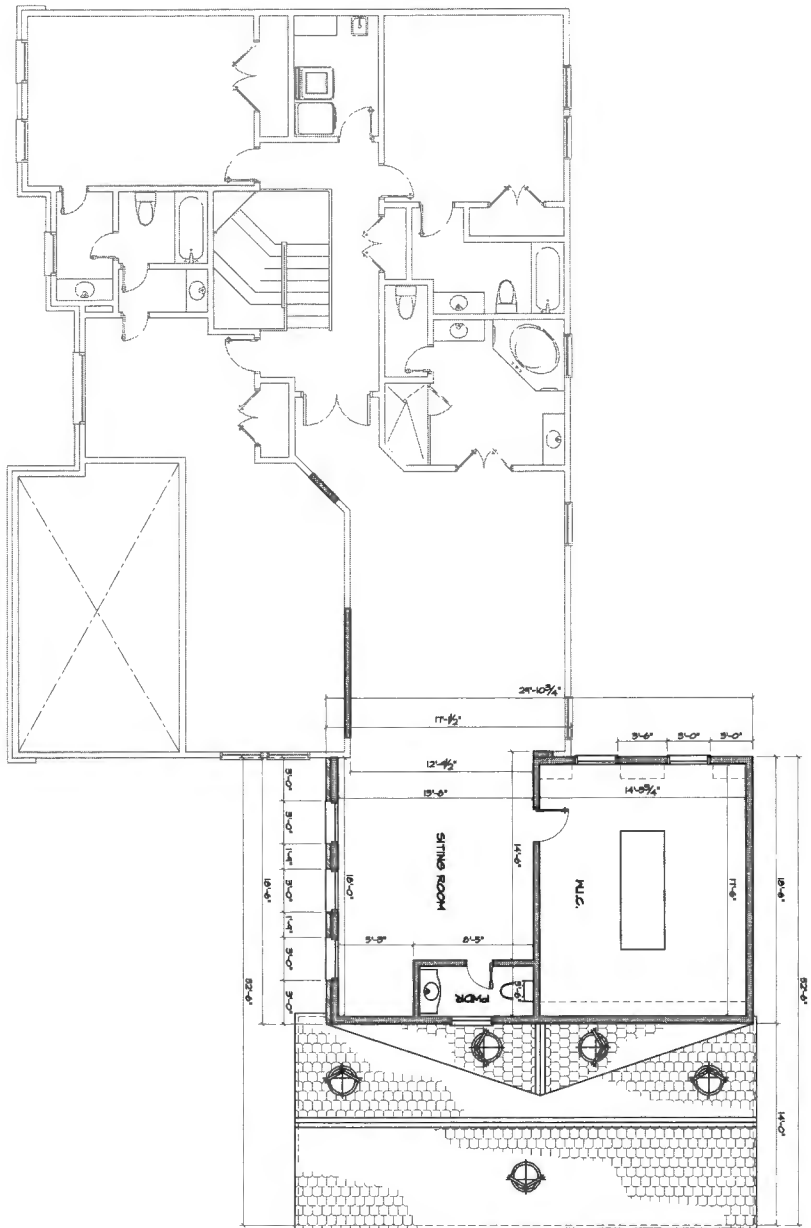
OWNER:
RENJU & SHANEY GEORGE RESIDENCE
ADDRESS:
1471 LEAR COURT
GLENELG, MD 21031
PROJECT:
TWO STORY ADDITION AND
INTERIOR RENOVATION
PROJECT

STAFF:
PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM
FULLY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND, LICENSE NO.
8541, EXP. DATE 09/18/2028

DATE: JUNE 10, 2024
SCALE: AS NOTED
DRAWN BY: RSE & KP
CHECKED BY: GH

NEW FIRST FLOOR PLAN

SHEET:
A102
8 of 18



1
 NEW SECOND
 FLOOR PLAN
 SCALE: 1/4"=1'-0"

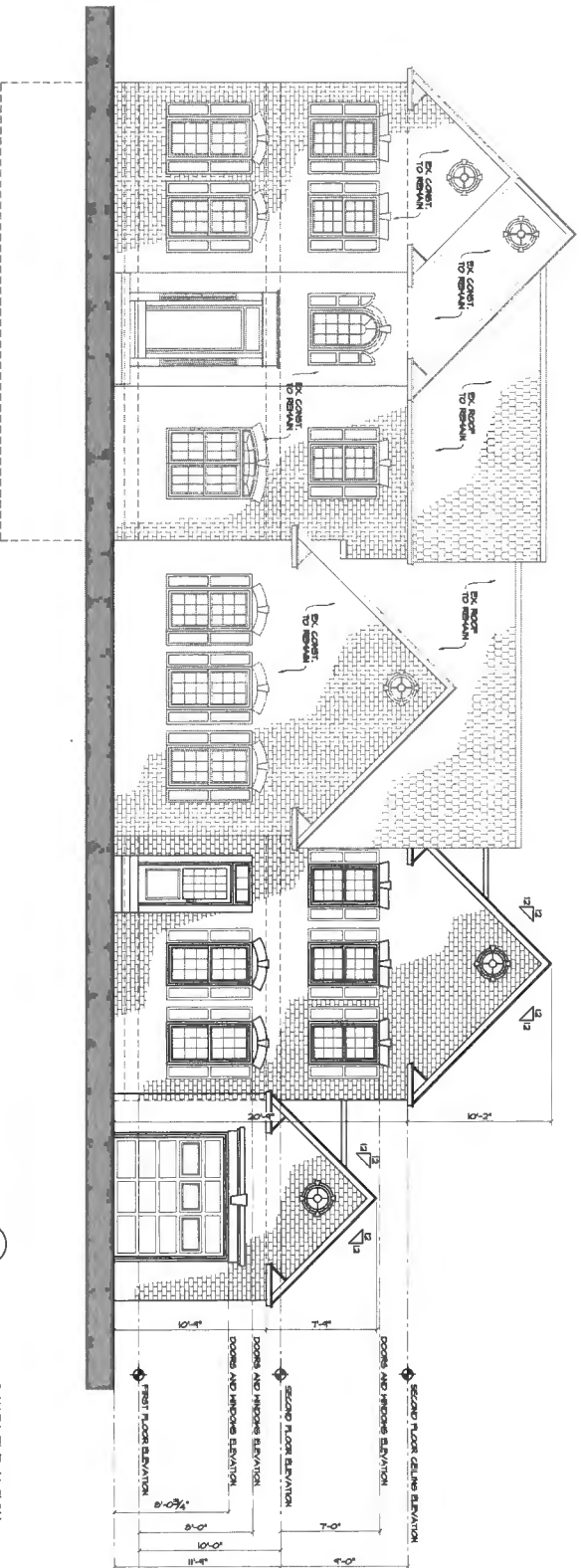
DATE	DESCRIPTION	BY

OWNER:
 RENU & SHREY GEORGE RESIDENCE
 ADDRESS:
 10000 100TH AVE. N.E.
 GAINESVILLE, FL 32626
 PROJECT:
 RENOVATION, ADDITION AND
 INTERIOR RENOVATION
 PROJECT

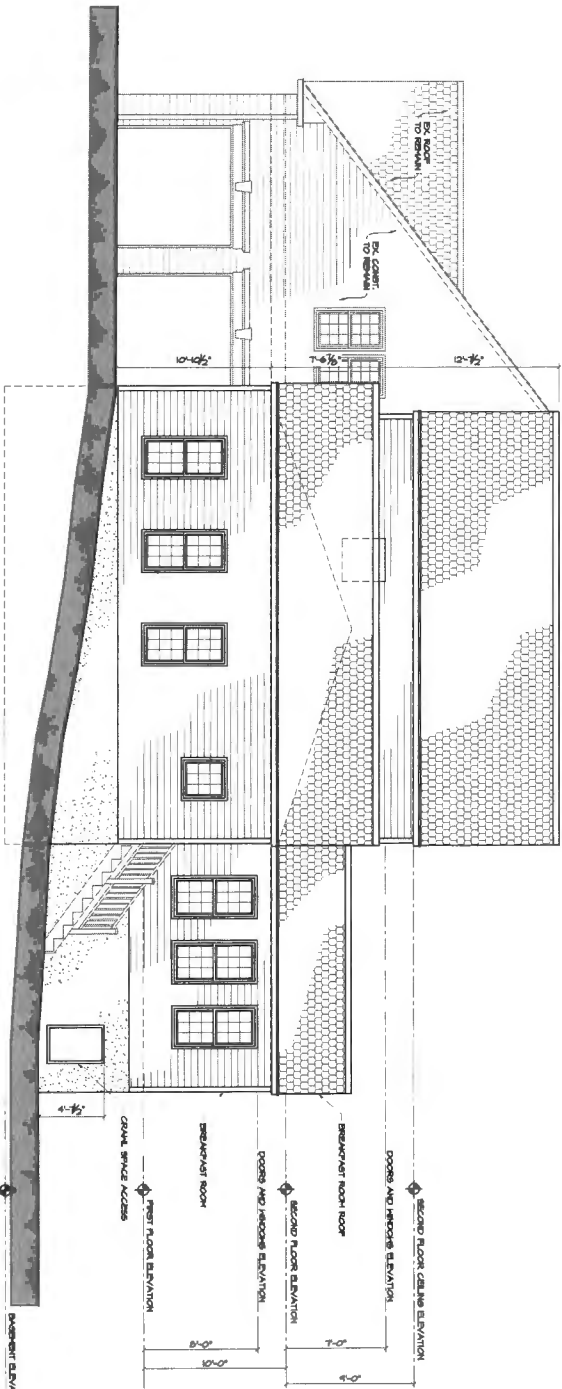
PROFESSIONAL CERTIFICATION:
 I, THE ARCHITECT, HEREBY CERTIFY THAT THESE
 PLANS WERE PREPARED BY ME OR UNDER MY CLOSE
 SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA.
 DATE OF DRAWING: 08/15/2024

DATE: 08/15/2024	SCALE: AS NOTED
DRAWN BY: M & S	CHECKED BY: SK
NEW SECOND FLOOR PLAN	

SHEET:
A103
 9 of 16



1 SOUTH ELEVATION
SCALE 1/4"=1'-0"



1 EAST ELEVATION
SCALE 1/4"=1'-0"

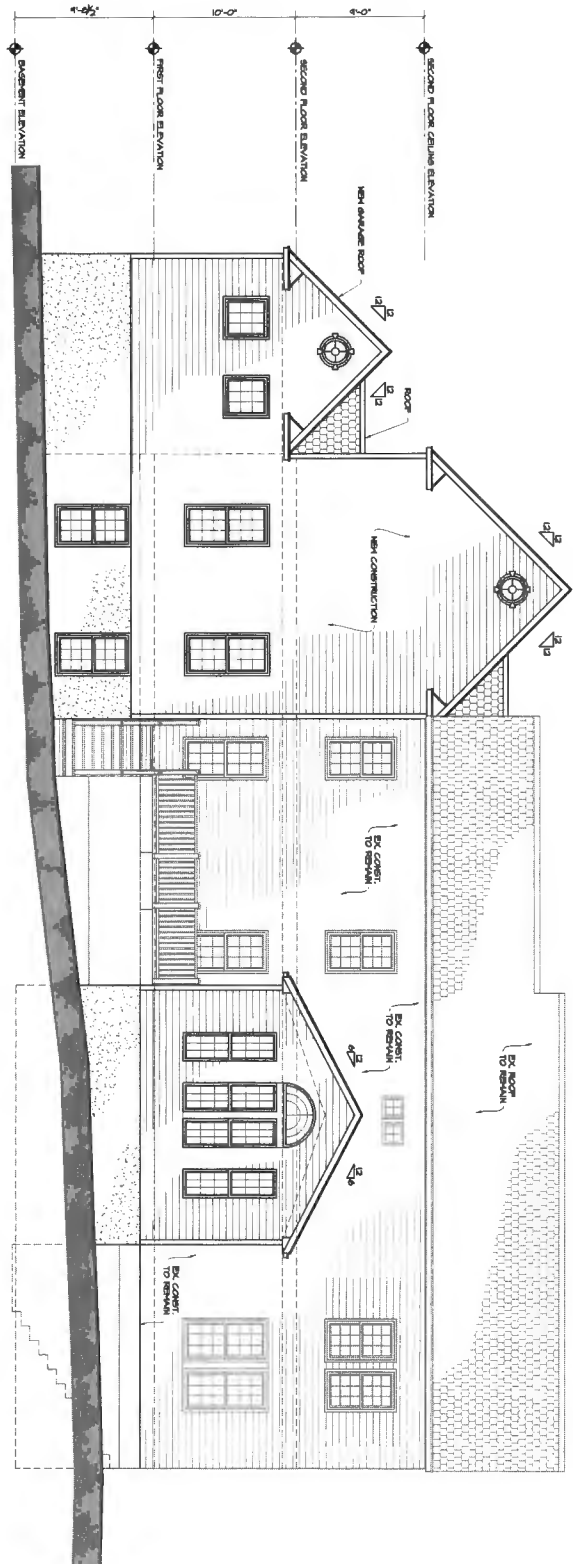
DATE	DESCRIPTION	BY

OWNER: RICHARD S. SHAW'S GRAND RESIDENCE
 ARCHITECT: A711 TEAM COAST
 PROJECT: 1105 21ST
 THIRD FLOOR ADDITION AND
 PROJECT

PERMANENT ADDRESS FOR
 PROJECT CENTER THAT THESE
 DOCUMENTS BE RECORDED FOR
 PUBLIC ACCESS. THE PROJECT
 CENTER SHALL BE MAINTAINED
 IN THE STATE OF HAWAII AND
 OPEN FOR PUBLIC ACCESS.

DATE: JAN 20 2024	SCALE: AS SHOWN
DRAWN BY: W & P	CHECKED BY: SH
SOUTH AND EAST ELEVATION	

SHEET:
A104
 10 of 18



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"

DATE	DESCRIPTION	BY

OWNER: RESULI & SAINTY DOMINGO RESIDENCE
 ADDRESS: 10000 W. CENTRAL AVENUE, SUITE 100, DENVER, CO 80231
 PROJECT: TWO STORY ADDITION AND PORCH ENCLOSURE PROJECT

PROFESSIONAL CERTIFICATION
 I, THE UNDERSIGNED, A LICENSED ARCHITECT, HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF COLORADO. MY LICENSE NO. IS 10000. I AM NOT PROVIDING THESE PLANS TO ANY OTHER PROJECT.

DATE: JAN 10, 2024	
SCALE: AS NOTED	
DRAWN BY: NS & SD	
CHECKED BY: SD	
NORTH ELEVATION	

*approved
as shown
on plot plan
JW
7/9/24*

July 1, 2024

To,

Jeff Williams
Program Supervisor, Well & Septic Program
Bureau of Environmental Health
8930 Stanford Blvd
Columbia, MD 21045

**Subject: Waiver for 10 feet setback to the Sewage Disposal Area (SDA)
for buildings without basement.**

Dear Jeff,

My name is Renju George, and I reside at **14711 Lear Ct, Glenelg, MD 21737** in Howard County. I am requesting a waiver for the setback requirements for a proposed addition in my property. I am requesting a waiver for the section of the addition which will not have a basement.

There are two sections to the addition. The section of the addition on the east side of the property has a setback of 21 feet from the SDA and has a bedroom. The site is already approved for 5 bedrooms, but currently has only 4 bedrooms. The new bedroom addition will bring the total number of bedrooms to 5. The section of the addition on the north side of the property without enough setback will be above the ground elevation of the SDA. The setback for this section of addition will be 13 feet from the closest septic trench and 4 feet from the SDA boundary. The waiver is for this section of the addition in the north side of the property. Also please note that both the addition sections are within the 100 feet setback radius for the well box.

I am attaching the proposed additions plan, addition site plan and the existing well and septic permit here. As you can see in the plans the closest septic trench is at angle with the addition and the top end of that septic trench is 13 feet away from the addition. Mr. Robert Spencer Freemon with Howard County well and septic had a site visit at the property earlier this year and confirmed the trench locations. He also confirmed that the current well and septic are functioning properly without any signs of failure. Also, there is plenty of room for replacement systems within the sewage reserve area when the septic system does eventually fail.

I am requesting you to consider all these factors and please issue a waiver for the setback requirements. Please let me know if you need any questions or need further information.

Thank you,



Renju George

SITE INSPECTION SHEET

OWNER: Renju George PHONE #: _____

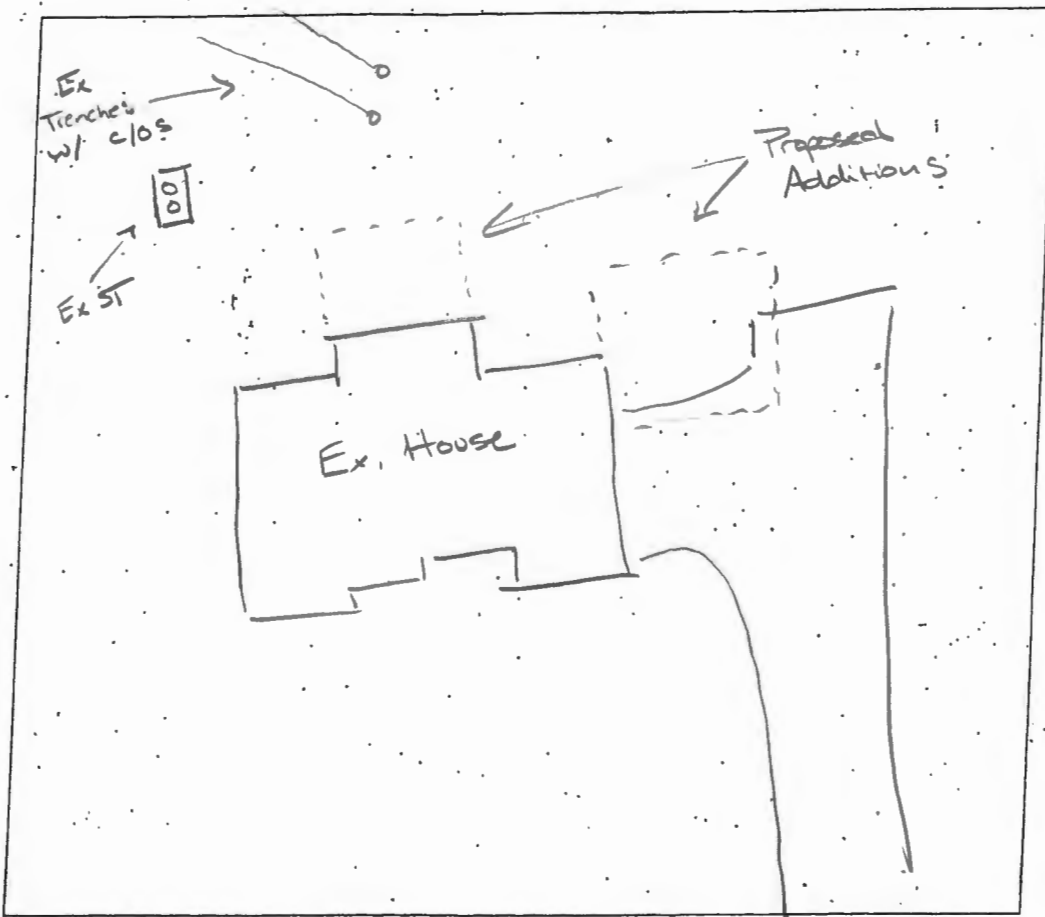
ADDRESS: 14711 Lear Ct. CONTRACTOR: _____

Glencol, MD 21737 WELL TAG #: HO-95-1549

SUBDIVISION: Wetfields LOT: 37 COUNTY #: Howard

PROPOSAL: Proposing living space additions/bumpouts w/
a single bedroom addition. Total of 5 bedrooms, B24002207

LOCATION DIAGRAM



COMMENTS: Well and Septic appear to be in good condition.
No signs of failure. Well and septic location matches
OSDS permit (P556508) from 2015. Well has already
been GPS located.

DATE: 2/22/2024 INSPECTOR: RSF

