

PERMIT NUMBER: B2 0003673

DATE ACCEPTED:

OCT 14 2020



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: Unit: City: State: MD Zip Code: Subdivision/Village/Complex Name: SDP/WP/BA #: Lot: 98 Tax Map: Parcel: Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Proposed Use: Estimated Cost: \$ Trade Work to Be Completed (Separate Permits Required): [X] Mechanical (HVAC) [ ] Electrical [ ] Plumbing [ ] None

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Primary Residence: [X] Yes [ ] No Owner's Street Address: City: State: Zip Code: Phone: Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Contact Name: Street Address: City: State: Zip Code: Phone: Email:

CONTRACTOR INFORMATION REQUIRED

Business Name: Licensee's Name: License #: Street Address: City: State: Zip Code: Phone: Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Name: Street Address: City: State: Zip Code: Phone: Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: [ ] SF Dwelling [ ] SF Townhouse [ ] SF Duplex [ ] Mobile Home [ ] Multi-Family Dwelling (MF\*) Condo: [ ] Yes [ ] No Utilities: [ ] Electric [ ] Gas Water Supply: [ ] Public [ ] Private (Well) Sewage Disposal: [ ] Public [X] Private (Septic) Heating System: [ ] Electric [ ] Natural Gas [ ] Propane [ ] Other: Roadside Tree Project: [ ] No [ ] Yes: # Sprinkler System: [ ] NFPA 13 [ ] NFPA 13R [X] NFPA 13D [ ] None Fire Alarm System: [X] Yes [ ] No [ ] Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: # of Bedrooms (SF): # of efficiency units (MF\*): # of 1 BR (MF\*): # of 2 BR (MF\*): # of 3 BR (MF\*): # Rooms: # Full Baths: # Half Baths: # Fireplaces: Garage/Carport Info: [X] Attached Garage [X] Detached Garage [ ] Integral Garage [ ] Carport [ ] None Basement/Foundation Info: [ ] Slab on Grade [ ] Post & Pier [ ] Unfinished Basement [X] Finished Basement: [X] Full or [ ] Partial 1st Fl Width: 1st Fl Depth: 2nd Fl Width: 2nd Fl Depth: Bsmt Width: Bsmt Depth: Energy Method: [ ] Prescriptive [ ] Performance [X] UA Alternative [ ] ERI Gross Area: sq ft Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

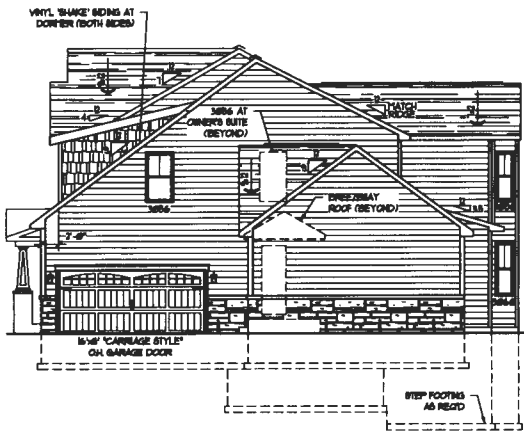
APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED

FOR OFFICE USE ONLY

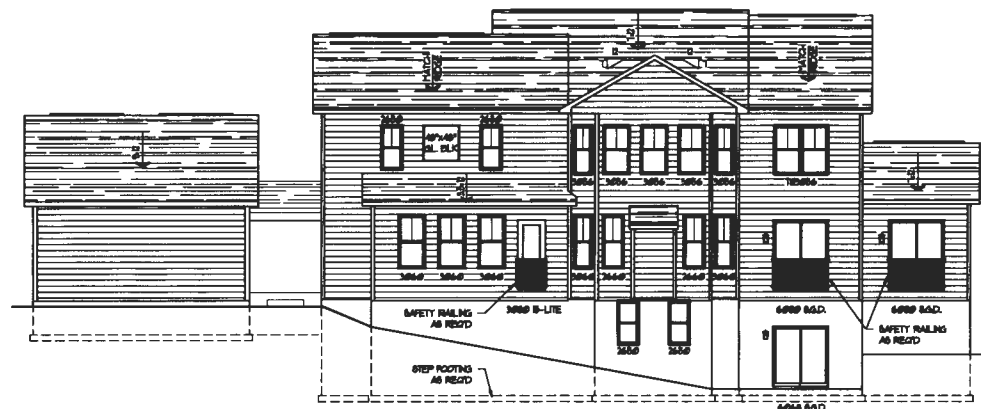
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: [ ] PR [X] DPZ [ ] DED [X] Health 11/19/2020 [X] SHA [ ] CID SUBMITTAL FEES: \$150.00 PAYMENT: # 11195 ACCEPTED BY: DEPIK

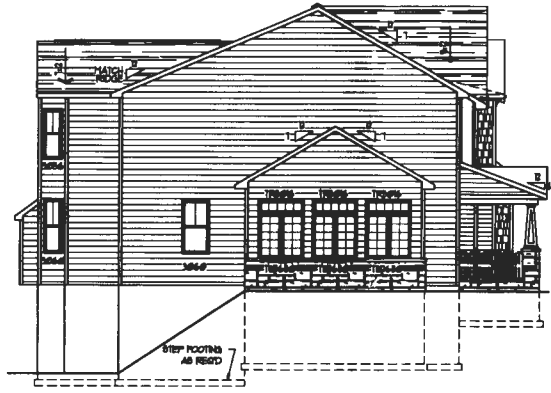




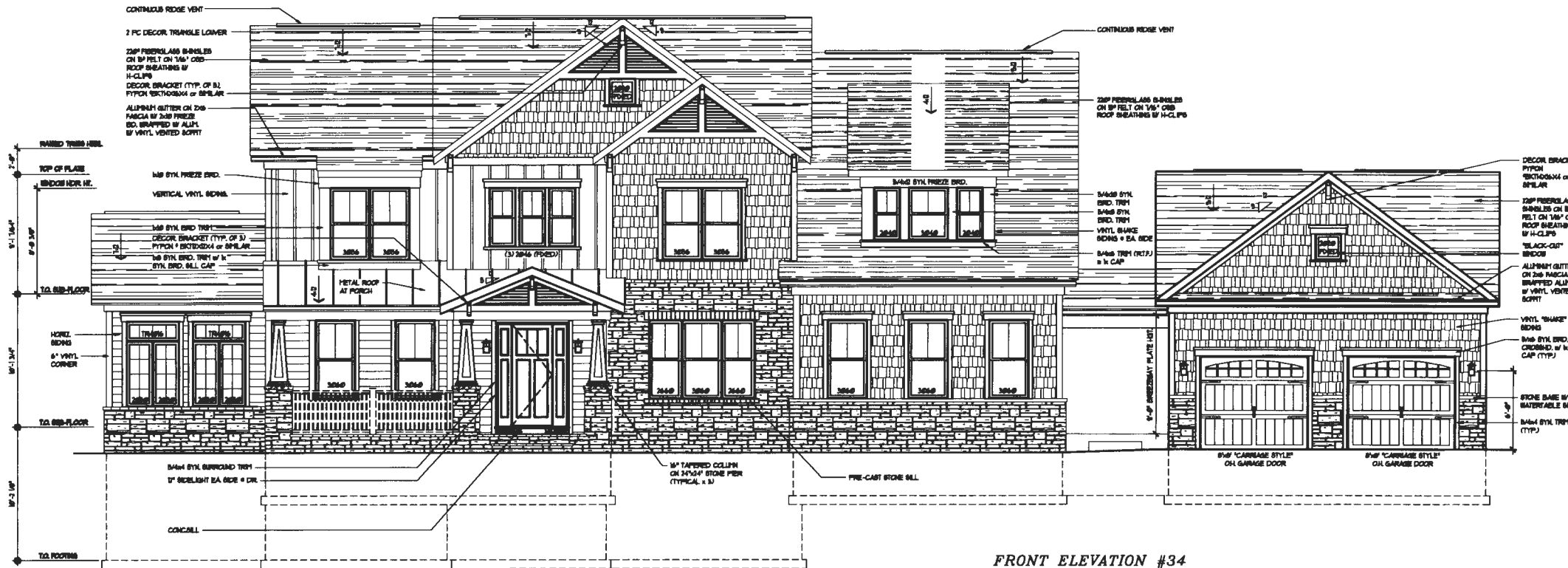
**RIGHT SIDE ELEVATION**  
SCALE: 1/16" = 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/16" = 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/16" = 1/8" = 1'-0"



**FRONT ELEVATION #34**  
SCALE: 1/8" = 1/4" = 1'-0"

Architecture Collaborative, Inc.  
8334 Main Street  
Ellicott City, MD 21043  
www.archcoll.com  
Tel.: (410) 465-7600 Fax: (410) 465-0903

ELEVATION 34  
DATE: 7-9-2020  
DRAWN: RC  
SCALE: 1/8" = 1/4" = 1'-0"  
CARUSO HOMES, INC.  
KINGSPOINT - OSA.0075

DATE	REVISION	BY	CHK	APP

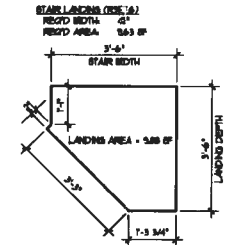
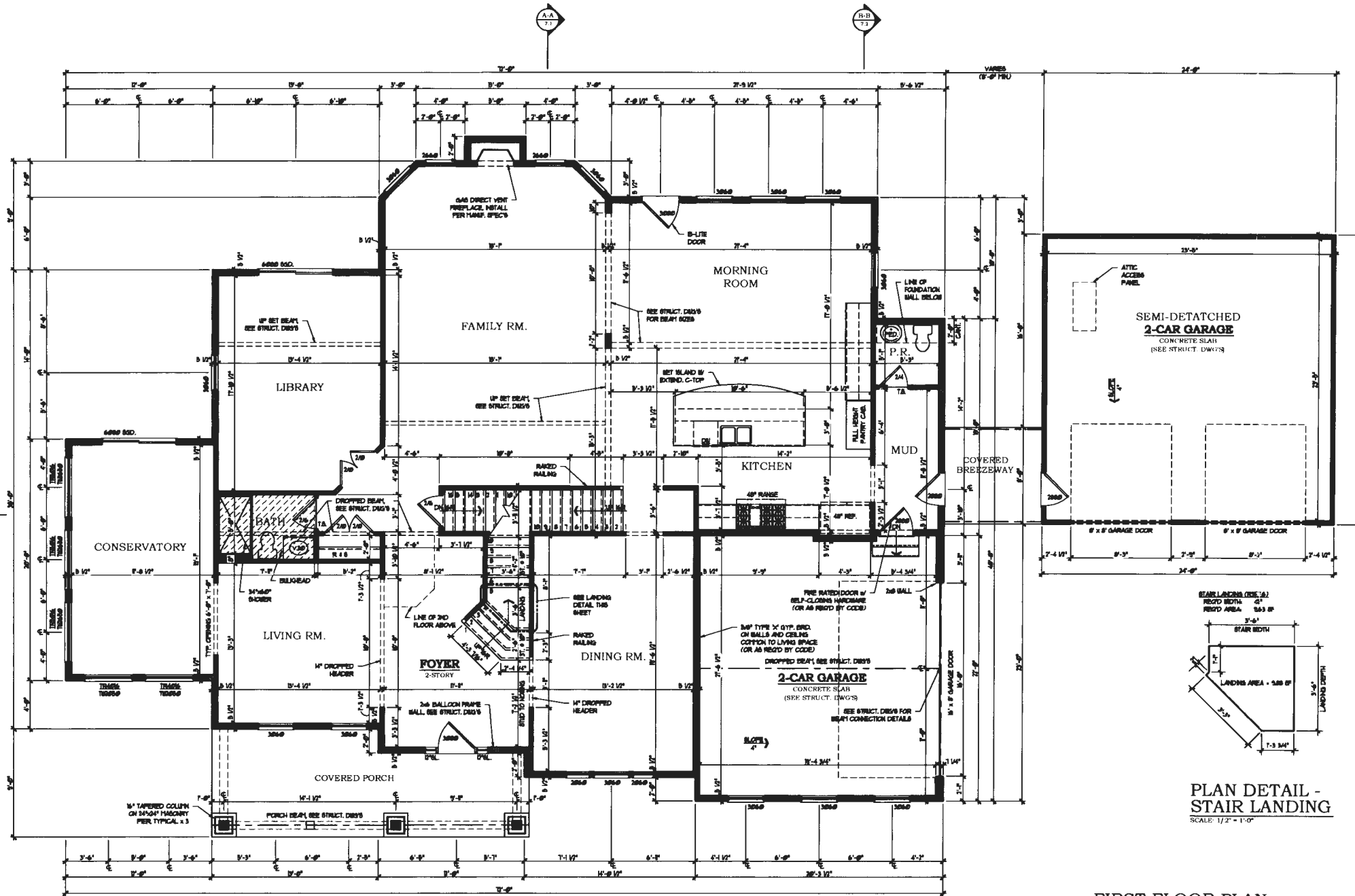
Professional Certification  
I hereby certify that these documents were prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Maryland.  
Signature: [Signature] License Number: [Number] Expiration Date: 01-01-2025

SHEET #  
**3.34**





1 - Bed room



PLAN DETAIL -  
STAIR LANDING  
SCALE: 1/2" = 1'-0"

FIRST FLOOR PLAN  
SCALE (17x11): 1/8" = 1'-0"  
SCALE (36x24): 1/4" = 1'-0"

Architecture Collaborative, Inc.  
8334 Main Street  
Ellicott City, MD 21043  
www.archcoll.com  
Tel.: (410) 465-7500 Fax: (410) 465-0903

PROJECT: FIRST FLOOR PLAN  
DATE: 7-9-2020  
DRAWN: RC  
CHECKED: J.S.T.  
PROJECT NO: 05A-0075  
CLIENT: CARUSO HOMES, INC.  
TITLE: KINGSPOINT - 05A-0075

DATE	REVISION	BY

SHEET #  
5.1

Professional Certification  
I hereby certify that I am a duly licensed Professional Architect in the State of Maryland and that I am the author of the design and construction documents herein.  
Signature: [Signature]  
Title: ARCHITECT  
Date: 07-09-2020



**Maryland Real Estate Development**



# Transmittal

DATE: November 13, 2020

TO:

Gregory Phillips  
Maryland Real Estate Development LLC  
7846 River Rock Way  
Columbia, MD 21044

[gphillips@mred.us](mailto:gphillips@mred.us)

Direct 410-977-0864

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

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**Regarding:**

**Permit # B20003673 -**

**Lot 8, Dustin's Golden Fields**

**Floor Plan Revision**

Please confirm receipt of this email.

Thanks,

Hank

Hank Oswald  
Howard County Health Department  
Well and Septic Program

Menu Save Reset Cancel Help

Record Detail (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21000352	02/08/2021
Description of Work		
SFD/Install 1000 gallon Underground propane tank and connect to stu out on house		

check spelling

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
8021	KAYLADINE	LN	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.92794	39.14905
City	State	Zip Code	Primary
FULTON	MD	20759	Yes

approved 2/12/21

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
1102703	103	1.29	215300	215300	0	RURAL
Legal Description						
LOT 8 1.288 A.[ ]8021 KAYLADINE LN[ ]DUSTINS GOLDEN FIELDS						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	8	605102	5				
Plan Area	State Tax Id	Subdivision Name					
	1405596597	Dustin's Golden Fields					
Section	Area	Tax Map					
		46					
Grid	Zoning District	ADC Map					
46-1	RR-DEO	5052-B7					
SDP No.	Final Plan No.	WP File No.					
	F-07-100						
Record Plat No.	WS Contract No.	FDP No.	Primary				
22888-2289			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	S-17A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is required.)

Search Reset Clear

Name		
DUSTIN WALTER CLINTON		
Address Line 1		
11903 LIME KILN RD		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
FULTON	MD	20759
Phone	Primary	
301-832-5266	Yes	
E-mail		
Cell Number	Fax Number	

Professionals (This section is not required.)

Search    Reset    Clear

License # *	Business Name		
20100079809	AERO ENERGY		
License Type *	First Name	Middle Name	Last Name
Propane Gs	RICHARD	THOMAS	JARCY
Primary	Address Line 1		
Yes	230 LINCOLN WAY EAST		
	Address Line 2		
	City	State	ZIP Code
	NEW OXFORD	PA	17350-0000
	Phone 1	Phone 2	Fax
	2406744592		3016620709
	E-mail		
	RJARCY@AEROENERGY.COM		

Applicant (This section is not required.)

Search    As Owner    As Lic. Prof    As Contact

Type *	First Name	MI	Last Name
Applicant	steve		dannenfeldt
Relationship	Full Name		
Applicant	steve dannenfeldt		
Primary	Organization Name		
Yes	Aero Energy		
	Street Address		
	230 lincoln way East		
	Address Line 2		
	City	State	Zip Code
	New Oxford	PA	17350
	Phone	Cell	Fax
	717-577-5923		
	E-mail *		
	sdannenfeldt@aeroenergy.com		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
4500	0	0	No
Construction Type			
--Select--			

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	8/8/2021	0	

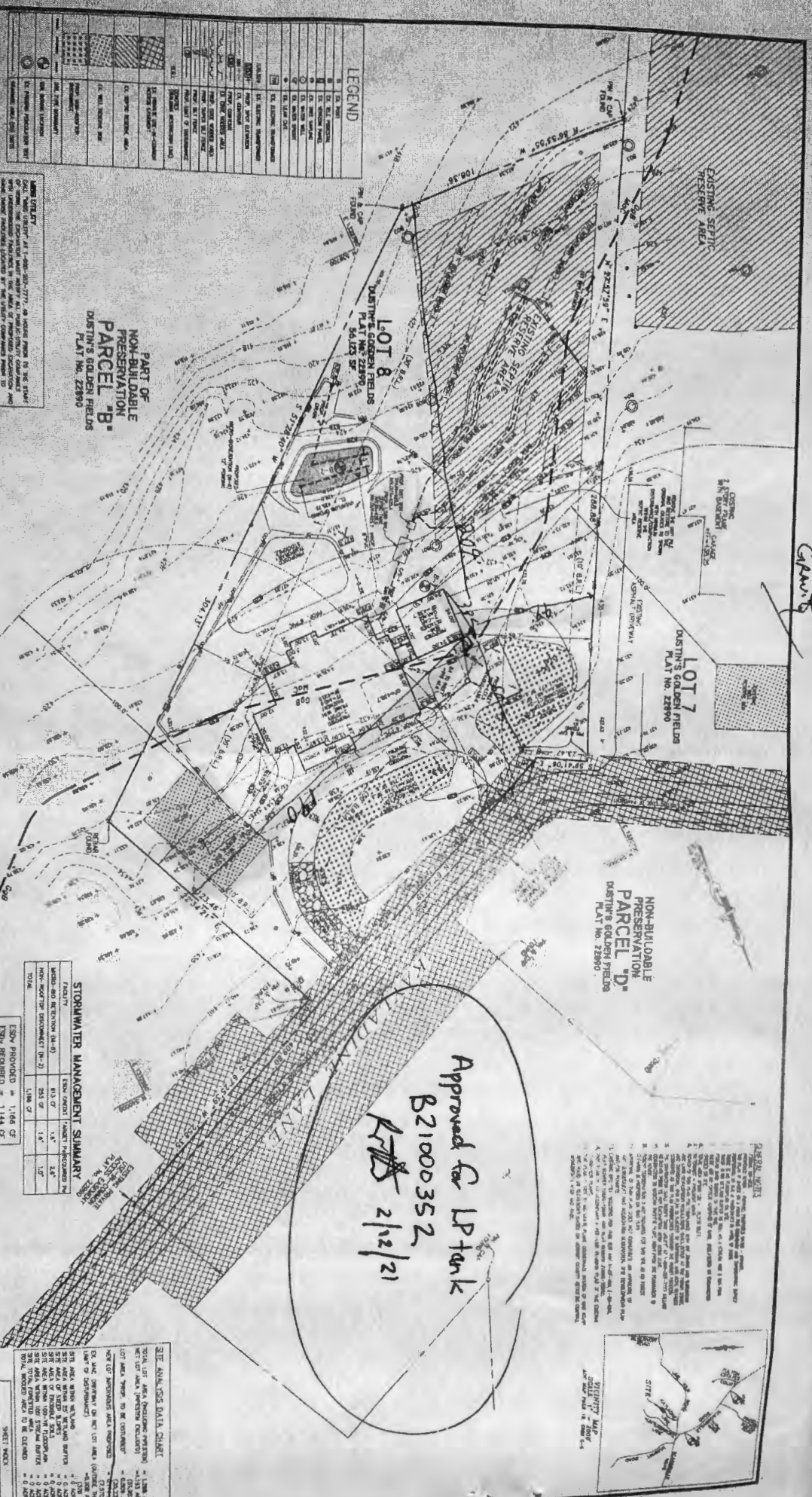
PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit    Cancel



Garrett



LEGEND

Table with 2 columns: Symbol and Description. Includes items like 1. 1/2\"/>

PART OF NON-BUILDABLE PRESERVATION PARCEL "B" DUSTIN'S GOLDEN FIELDS PLAT NO. 22890

NON-BUILDABLE PRESERVATION PARCEL "D" DUSTIN'S GOLDEN FIELDS PLAT NO. 22890

- 1. THE DEVELOPER SHALL... 2. THE DEVELOPER SHALL... 3. THE DEVELOPER SHALL... 4. THE DEVELOPER SHALL... 5. THE DEVELOPER SHALL... 6. THE DEVELOPER SHALL... 7. THE DEVELOPER SHALL... 8. THE DEVELOPER SHALL... 9. THE DEVELOPER SHALL... 10. THE DEVELOPER SHALL...

Approved for LP tank  
B21000352  
RHS 2/12/21

STORMWATER MANAGEMENT SUMMARY

Table with 2 columns: Product and Quantity. Includes rows for Stormwater Detention (14.5), Stormwater Treatment (14.5), and Total (14.5).

SITE ANALYSIS DATA CHART

Table with 2 columns: Item and Value. Includes rows for Total Area (1.146 CF), ESDY Provided (1.146 CF), and ESDY Required (1.144 CF).

NJR & ASSOCIATES  
Land Surveying and Planning  
7777 STATE ROUTE 137  
MILFORD, OHIO 45130

PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THE ENGINEER HAS REVIEWED THE PLANS AND SPECIFICATIONS AND IS OF THE OPINION THAT THEY COMPLY WITH THE REQUIREMENTS OF THE OHIO ENGINEERING BOARD.

DEVELOPER'S CERTIFICATE  
I, THE DEVELOPER, HEREBY CERTIFY THAT THE INFORMATION PROVIDED ON THESE PLANS IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

RECORDED  
2120 BALDWIN AVENUE, N.W. - 2ND FLOOR  
ATLANTA, GEORGIA 30329  
(404) 525-8877

SITE GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN  
DUSTIN'S GOLDEN FIELDS  
PLAT NO. 22890  
SHEET NO. 1 OF 3

8921 Kavadin Ln, Fulton, MD