

Approved
 MBE
 12/18/23

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Deck	B23004403	11/03/2023
Description of Work		
SFD/build 14*16 and 20*14 with 8.5*5 corner area of deck with stairs		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
6309	KERNE	CT
Unit Type	Unit #	X Coordinate
--Select--		-76.94314
		Y Coordinate
		39.19227
City	State	Zip Code
CLARKSVILLE	MD	21029
	Primary	
	Yes	

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
923636	90	1.05	250500	1125300	874800	RURAL
Legal Description						
IMPSLOT 29 1.055 A[]6309 KERNE CT[]MACBETH FARM						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
24	29	605102	4				
Plan Area	State Tax Id	Subdivision Name					
	1405445221	Macbeth Farm					
Section	Area	Tax Map					
		34					
Grid	Zoning District	ADC Map					
34-24	RR-DEO	4933-K10					
SDP No.	Final Plan No.	WP File No.					
	F-06-101						
Record Plat No.	WS Contract No.	FDP No.		Primary			
18790-1879				Yes			
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2008	<input checked="" type="radio"/> Yes <input type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-15A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *

JAISWAL MAMTA T/E

Address Line 1

6303 Kerne

Address Line 2

Address Line 3

Mail City

Clarksville

Mail State

MD

Mail Zip Code

21029

Phone

410-919-3039

E-mail

Primary

Yes

Cell Number Fax Number

Professionals (This section is not required.)

License # * 08010109742 Business Name LEONPROSERVICES LLC
 License Type * MHIC Ind OTARI First Name Middle Name Last Name GEGESHIDZE
 Primary Yes Address Line 1 579 NOLVIEW CT
 Address Line 2 579 NOLVIEW CT
 City GLEN BURNIE State MD ZIP Code 21061-0000
 Phone 1 4437645856 Phone 2 Fax
 E-mail LEONPROSERVICES@GMAIL.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant First Name MI Last Name GEGESHIDZE
 Relationship Applicant Full Name OTARI GEGESHIDZE
 Primary Yes Organization Name LEONPROSERVICES LLC
 Street Address 579 NOLVIEW CT
 Address Line 2 579 NOLVIEW CT
 City GLEN BURNIE State MD Zip Code 21061-0000
 Phone Cell Fax
 4437645856
 E-mail * LEONPROSERVICES@GMAIL.COM

Addtl Info

Est Construction Cost * 32000 Housing Units * 0 Number of Buildings * 0 Public Owned No
 Construction Type 434 - Additions, Alterations and Conversions - Residential

MISC PERMIT INFO

MISCELLANEOUS PERMIT INFORMATION

Capital Project-No Fee * Yes No Capital Project Number Fee Exempt * Yes No Roadside Tree Project Permit * Yes No Roadside Tree Project Permit #
 Existing Use * SFD Water Private Sewage Private Expiration Date 6/15/2024

Submit Cancel

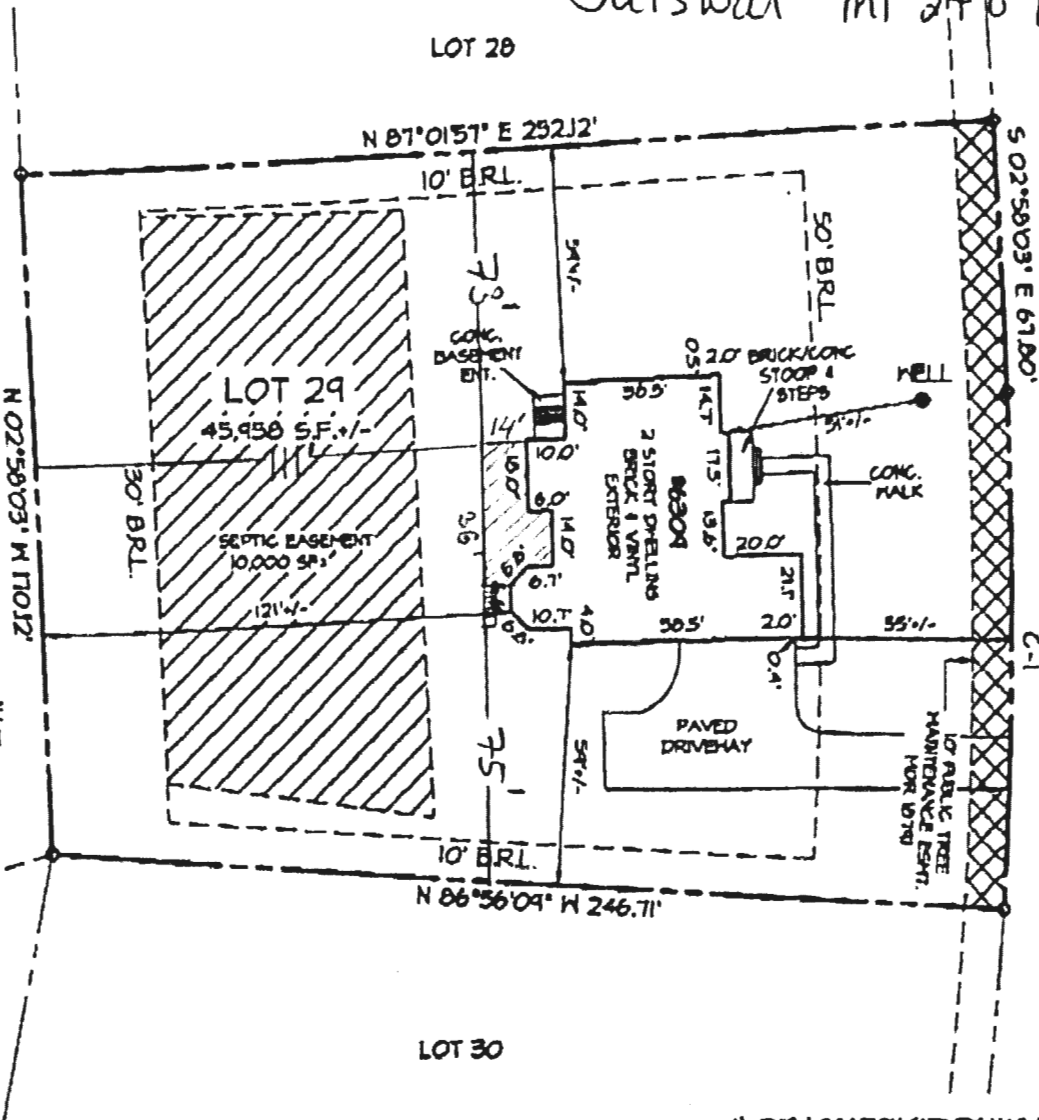
WUISWCA MT 2407

LOT 28

ROAD MARYLAND ROAD 1000'



KERNE COURT
(40' PUB. RM)



PUBLIC SEWER ACCESS DRIVEWAY UTILITY EASEMENT

NON-BUILDABLE PRESERVATION PARCEL F

ACCURACY LIMITATIONS

LOT BOUNDARY - AS CALLED
BUILDING DIMENSIONS - +/- 0.2'
BUILDING TO LOT LINE - +/- 1'



- 1) THIS LOCATION SURVEY HAS BEEN PREPARED UTILIZING DEEDS, PLATS OF RECORD AND FIELD INSPECTION OF THE SUBJECT PROPERTY ONLY.
- 2) THIS PROPERTY MAY BE SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD THAT MAY OR MAY NOT BE SHOWN HEREON.
- 3) THIS IS A LOCATION SURVEY ONLY AND DOES NOT CONSTITUTE AND IS NOT INTENDED TO BE A BOUNDARY SURVEY. THIS PLAT SHOULD NOT BE RELIED UPON FOR ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER PHYSICAL IMPROVEMENTS.
- 4) THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER FINANCING OR RE-FINANCING.

Kenneth L. Evans Jr.
KENNETH L. EVANS JR.
PROFESSIONAL LAND SURVEYOR
MD. REG. NO. 21085
DATE: 1/9/2008

CURVE	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C-1	6°03'14"	1216.00'	128.48'	500°03'34"74	128.42'



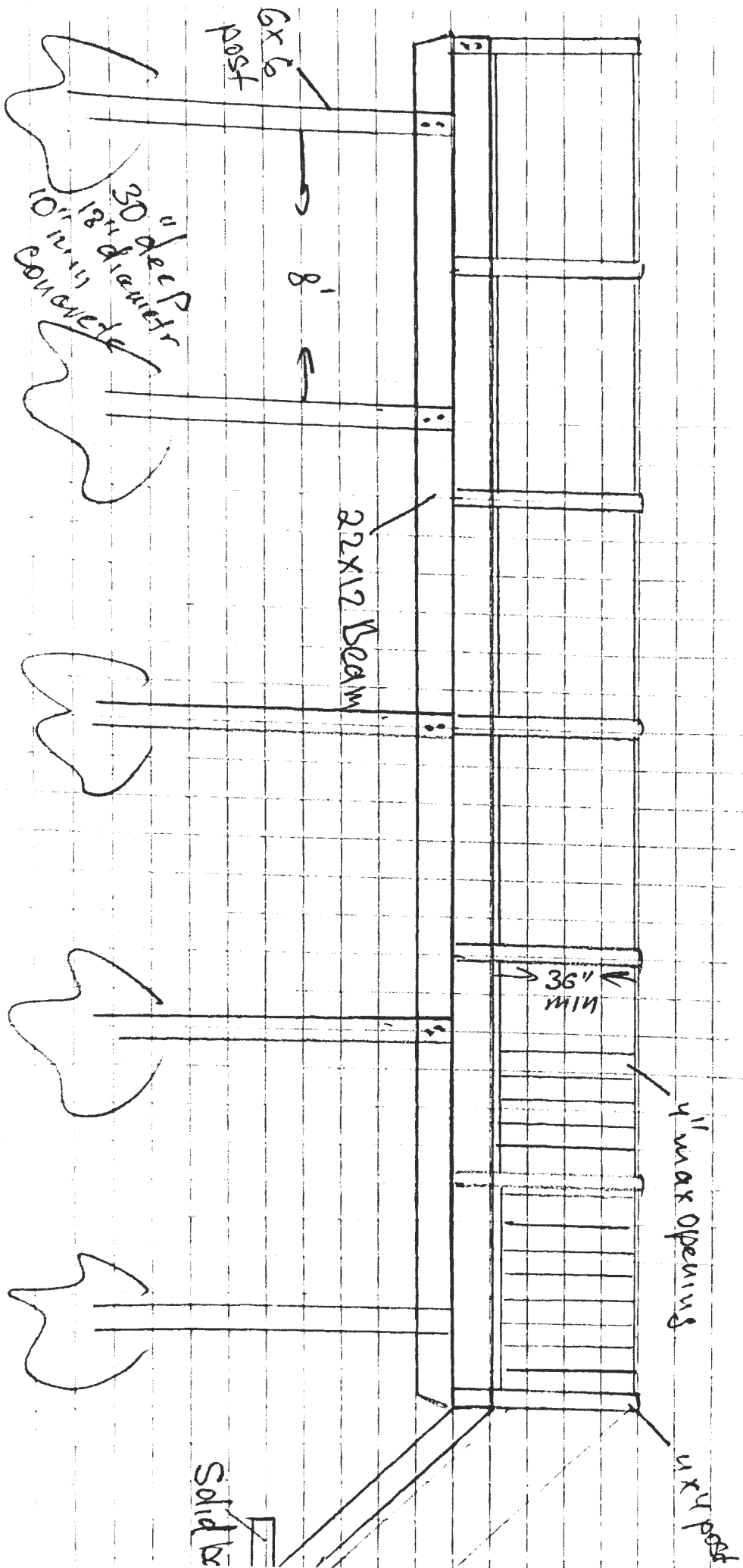
MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS, AND LANDSCAPE ARCHITECTS
14280 PARK CENTER DRIVE, SUITE A
LAUREL, MD 20707
(410) 792-4792
FAX: (410) 792-7395

LOCATION DRAWING
6309 KERNE COURT
LOT #29
MACBETH FARMS
PLAT M.D.R. NO. 18192
5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
FOR: N.V. HOMES

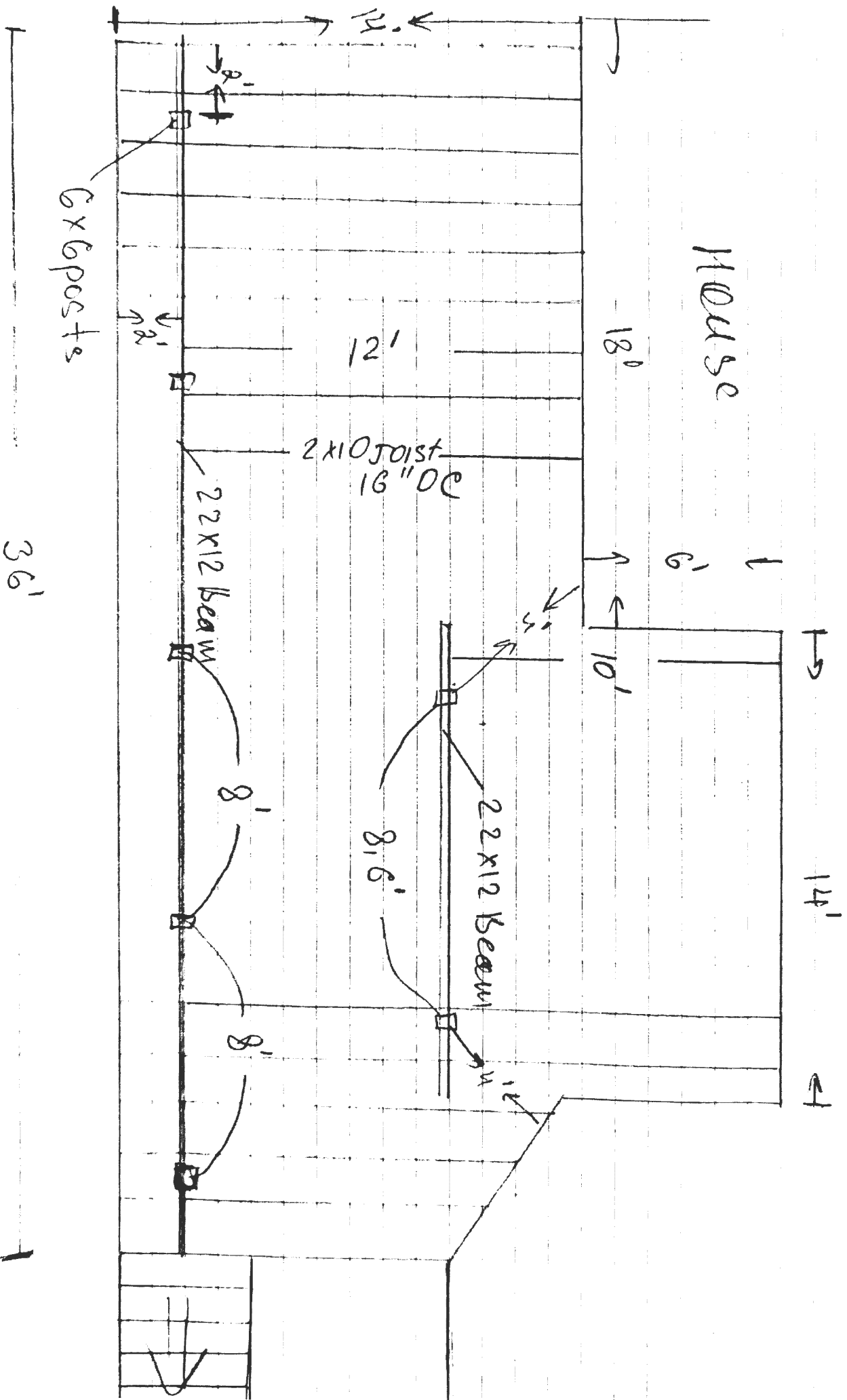
SCALE: 1" = 50'	DATE: 1/09/2008	DRAWN BY: AHB	REVIEW BY: KLE	JOB NO.: 14948
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Front view Scale 1:40

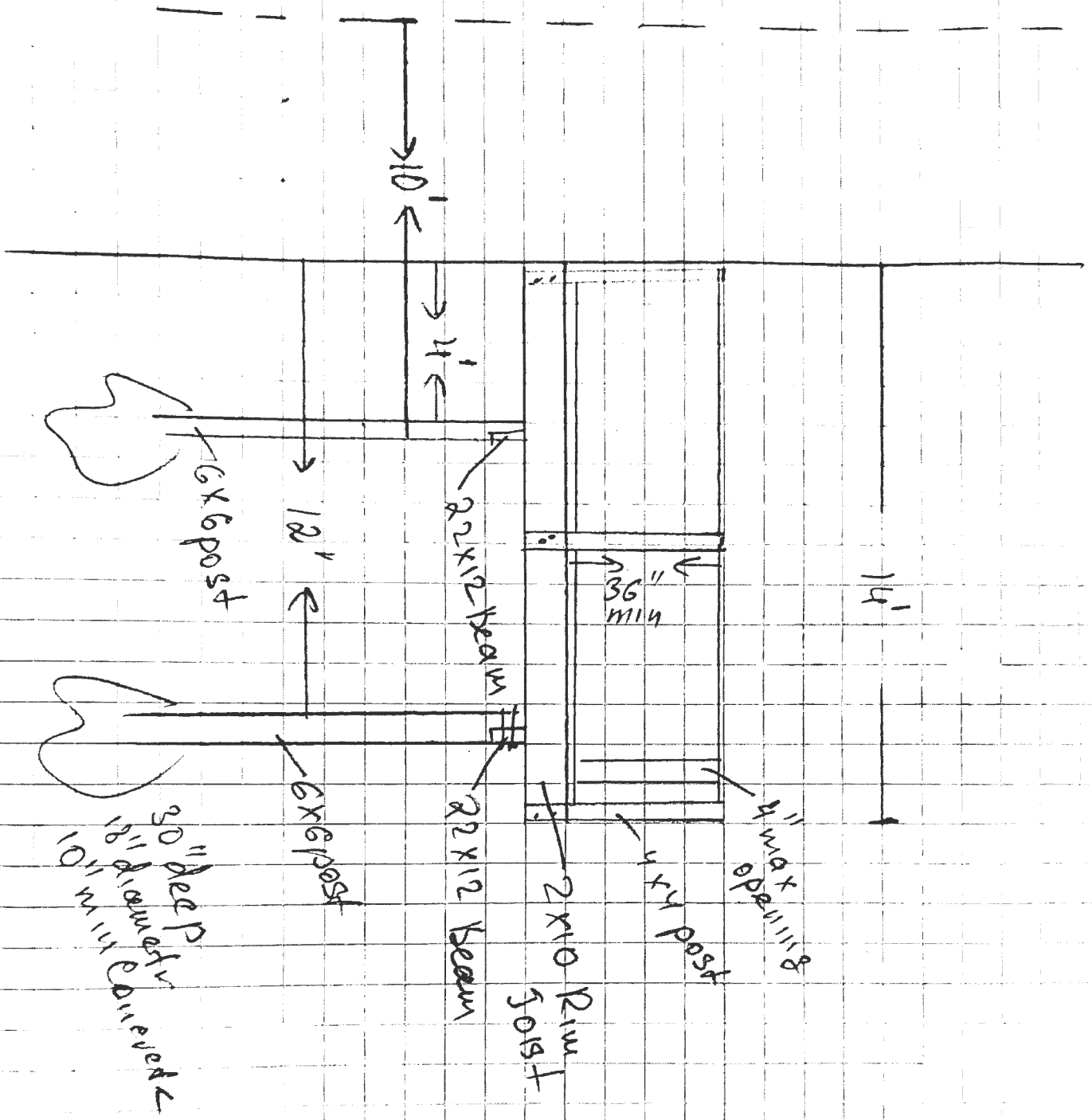
36'



Top view Scale 1:40



Side View
Scale 1:10



LAYOUT 12/27/07 (KWS) INSP 4 _____
 INSP 2 _____ INSP 5 _____
 INSP 3 _____ INSP 6 _____

ISSUE DATE: 12/26/06

P 528419

APPROVAL DATE: 1/3/08

A 518543

PERMIT

TAX ID # 05-445221

**ON-SITE SEWAGE DISPOSAL SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT
 BUREAU OF ENVIRONMENTAL HEALTH**

Stormwater Facilities _____ IS PERMITTED TO INSTALL ALTER

ADDRESS: 848 Swift Road, Pasadena, 21122 PHONE NUMBER: 410-439-9496

SUBDIVISION: Clarksville Overlook (Macbeth Farm) LOT NUMBER: 29

ADDRESS: 6309 Kerne Court PROPERTY OWNER: NVR Inc

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): N/A COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4

SQUARE FEET PER BEDROOM: _____

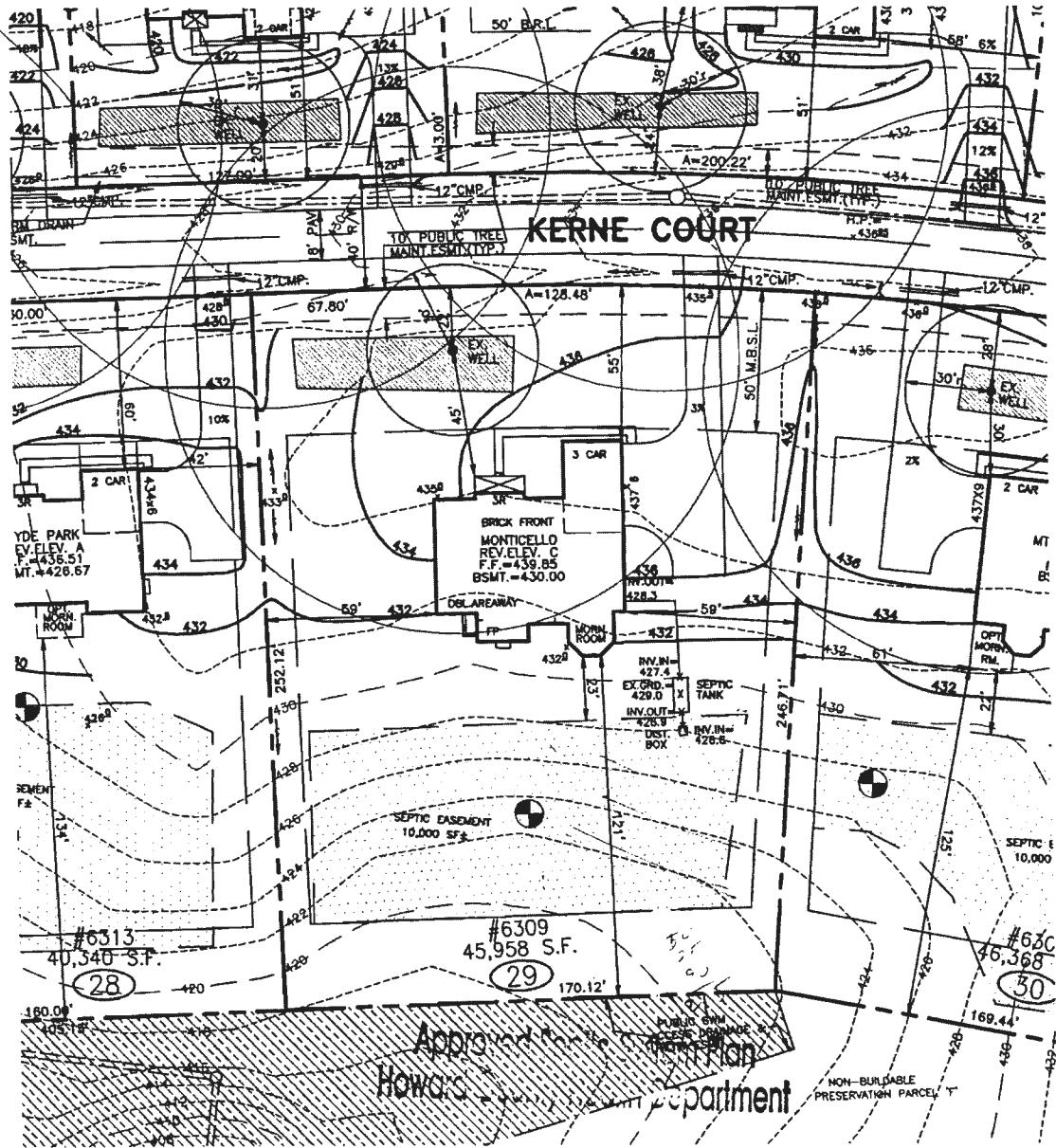
LINEAR FEET OF TRENCH REQUIRED: 210

TRENCHES:	Trench to be 3.0 feet wide. Inlet 3.0 feet below original grade. Bottom maximum depth 5.0 feet below original grade. Effective area begins at 4.0 feet below original grade. 2.0. feet of stone below distribution pipe.
LOCATION:	
NOTES:	Set distribution box at top center of easement (or easement corner near Sewer Out). Install 3 x 70' trenches on contour. Call for Layout Inspection.

PLANS APPROVED: Robert Bricker DATE: 8/29/2007

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM



R. Bucher

8/29/2007

Date

THE EXISTING WELL SHOWN ON THIS PLAN, WELL TAG #HO-95-0296 HAS BEEN FIELD LOCATED BY MORRIS & RITCHE ASSOC. INC, PROFESSIONAL LAND SURVEYORS, AND IS ACCURATELY SHOWN.

DIRT IMPORT REQUIRED: 240 CYS.±
DIRT EXPORT REQUIRED: 000 CYS.±

SETBACKS: RR-DEQ
FRONT YARD: 50' MIN.
SIDE YARD: 10' MIN.
REAR YARD: 30' MIN.

BUILDER
N.V.HOMES
6085 MARSHALEE DRIVE, SUITE 130
ELKRIDGE, MARYLAND 21075
PH.:410-379-5956

T. Smith 8/2/07



MORRIS & RITCHE ASSOCIATES, INC.
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS, & LANDSCAPE ARCHITECTS
3445-A Box Hill Corporate Center Drive
Abingdon, Maryland 21009
(410) 515-9000
Fax: (410) 515-9002

SITE & GRADING PLAN
FOR
CLARKSVILLE OVERLOOK
(A.K.A. MACBETH FARMS)
LOT 29 #6309 KERNE COURT
4TH ELECTION DISTRICT HOWARD CO., MARYLAND