

# APPLICATION

## FOR PERCOLATION TESTING AND SITE EVALUATION

TEST DATE(S) \_\_\_\_\_ TEST TIME \_\_\_\_\_ AP 5/6/05 7:16  
 AGENCY REVIEW: \_\_\_\_\_ DATE \_\_\_\_\_

DO NOT WRITE ABOVE THIS LINE

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S) TO:

CHECK AS NEEDED:

- CONSTRUCT NEW SEPTIC SYSTEM(S)
- REPAIR/ADD TO AN EXISTING SEPTIC SYSTEM
- REPLACE AN EXISTING SEPTIC SYSTEM

CHECK AS NEEDED:

- NEW STRUCTURE(S)
- ADDITION TO AN EXISTING STRUCTURE
- REPLACE AN EXISTING STRUCTURE

CHECK ONE:

- CREATE NEW LOT(S)
- BUILD ON AN EXISTING LOT IN A SUBDIVISION
- BUILD ON AN EXISTING PARCEL OF RECORD

IS THE PROPERTY WITHIN 2500' OF ANY RESERVOIR?

- YES
- NO

THE TYPE OF STRUCTURE IS:

- RESIDENTIAL WITH UNKNOWN PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE (NOTE UNKNOWN IF APPROPRIATE)
- COMMERCIAL (PROVIDE DETAIL OF NUMBERS AND TYPES OF EMPLOYEES/ CUSTOMERS ON ACCOMPANYING PLAN)
- INSTITUTIONAL/GOVERNMENT (PROVIDE DETAIL OF NUMBERS AND TYPES OF EMPLOYEES/USERS ON ACCOMPANYING PLAN)

PROPERTY OWNER(S) Marty Anthony Howard 40 Land Design & Development  
 DAYTIME PHONE 443-367-0422 CELL \_\_\_\_\_ FAX 443-367-0420  
 MAILING ADDRESS 8318 Forrest Street, Suite 200, Ellicott City MD 21043  
STREET CITY/TOWN STATE ZIP

APPLICANT Robert H. Vogel Engineering, Inc.  
 DAYTIME PHONE 410-461-7666 CELL \_\_\_\_\_ FAX 410-461-8961  
 MAILING ADDRESS 8407 Main Street Ellicott City MD 21043  
STREET CITY/TOWN STATE ZIP

APPLICANT'S ROLE: DEVELOPER BUILDER BUYER RELATIVE/FRIEND REALTOR CONSULTANT

PROPERTY LOCATION  
 SUBDIVISION/PROPERTY NAME Jacks Landing LOT NO. 6  
 PROPERTY ADDRESS Thadelpria Mill Road, Clarksville, MD 21027  
STREET TOWN/POST OFFICE  
 TAX MAP PAGE(S) 34 GRID 03 PARCEL(S) 414 'B' PROPOSED LOT SIZE 54,201 SF

AS APPLICANT, I UNDERSTAND THE FOLLOWING: THE SYSTEM INSTALLED SUBSEQUENT TO THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS APPLICATION IS COMPLETE WHEN ALL APPLICABLE FEES AND A SUITABLE SITE PLAN HAVE BEEN RECEIVED. I ACCEPT THE RESPONSIBILITY FOR COMPLIANCE WITH ALL M.O.S.H.A. AND "MISS UTILITY" REQUIREMENTS. APPROVAL IS BASED UPON SATISFACTORY REVIEW OF A PERC CERTIFICATION PLAN.

TEST RESULTS WILL BE MAILED TO APPLICANT. Megan Ruggieri  
SIGNATURE OF APPLICANT

HOWARD COUNTY HEALTH DEPARTMENT, BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM  
 7178 COLUMBIA GATEWAY DRIVE COLUMBIA, MARYLAND 21046 (410) 313-2640 FAX (410) 313-2648  
 TDD (410) 313-2323 TOLL FREE 1-877-4MD-DHMH

HD-216 (2/03) PLEASE SUBMIT ORIGINALS ONLY (BY MAIL OR IN PERSON)

Please Email comments or scheduling to: jreynolds@vogeleng.com  
rvogel@vogeleng.com

A/P \_\_\_\_\_

Empty rectangular box for notes or data.

Empty rectangular box for notes or data.

Empty rectangular box for notes or data.

Large empty rectangular box for detailed notes or diagrams.

Empty rectangular box for notes or data.

Empty rectangular box for notes or data.

Empty rectangular box for notes or data.

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H

REMARKS \_\_\_\_\_

SANITARIAN \_\_\_\_\_ BACKHOE \_\_\_\_\_ OTHERS \_\_\_\_\_

TEST HOLES USED IN SDA \_\_\_\_\_ AVG. PERC TIME \_\_\_\_\_ SQ. FT/BR \_\_\_\_\_

TRENCH WIDTH \_\_\_\_\_ INLET DEPTH \_\_\_\_\_ MAX. BOT DEPTH \_\_\_\_\_ EFFECTIVE S/W \_\_\_\_\_

517922

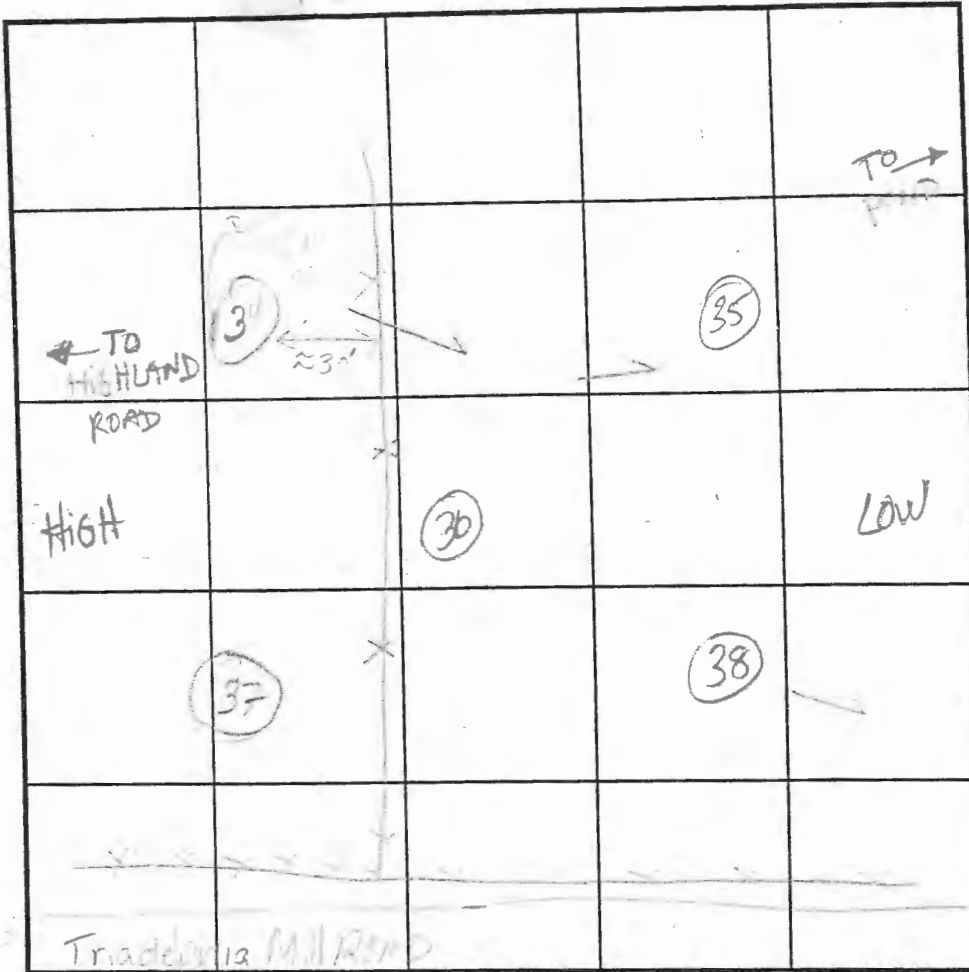
COUNTY #

SOIL PROFILE

0'  
 3'  
 15'  
 34

10%  
 loose  
 2.1M

5'  
 2'  
 2'



SOIL PROFILE

0'

INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
5-6-22	LOT 2			35		Both	OK
	36	5'S	11:35	11:37	11:37	11:41	4 OK
	34	DENSE		FROM S-			
		'S	10:55	10:58			4 OK
< 50	37	4'S	10:4				
		5'P		11:3		3:00	29 OK

REMARKS: Holes Staked and dug per plan.  
 TYPE OF SOIL: \_\_\_\_\_  
 TESTED BY: Lance ALSO PRESENT: Justin Brendel  
 TRENCH DESIGN DATA: AVERAGE PERCOLATION TIME: \_\_\_\_\_ TRENCH WIDTH: \_\_\_\_\_  
 INLET DEPTH: \_\_\_\_\_ MAXIMUM BOTTOM DEPTH: \_\_\_\_\_ SQ. FT./BEDROOM: \_\_\_\_\_

517922

COUNTY #

SOIL PROFILE

0'

8"

SLM

4 1/2'

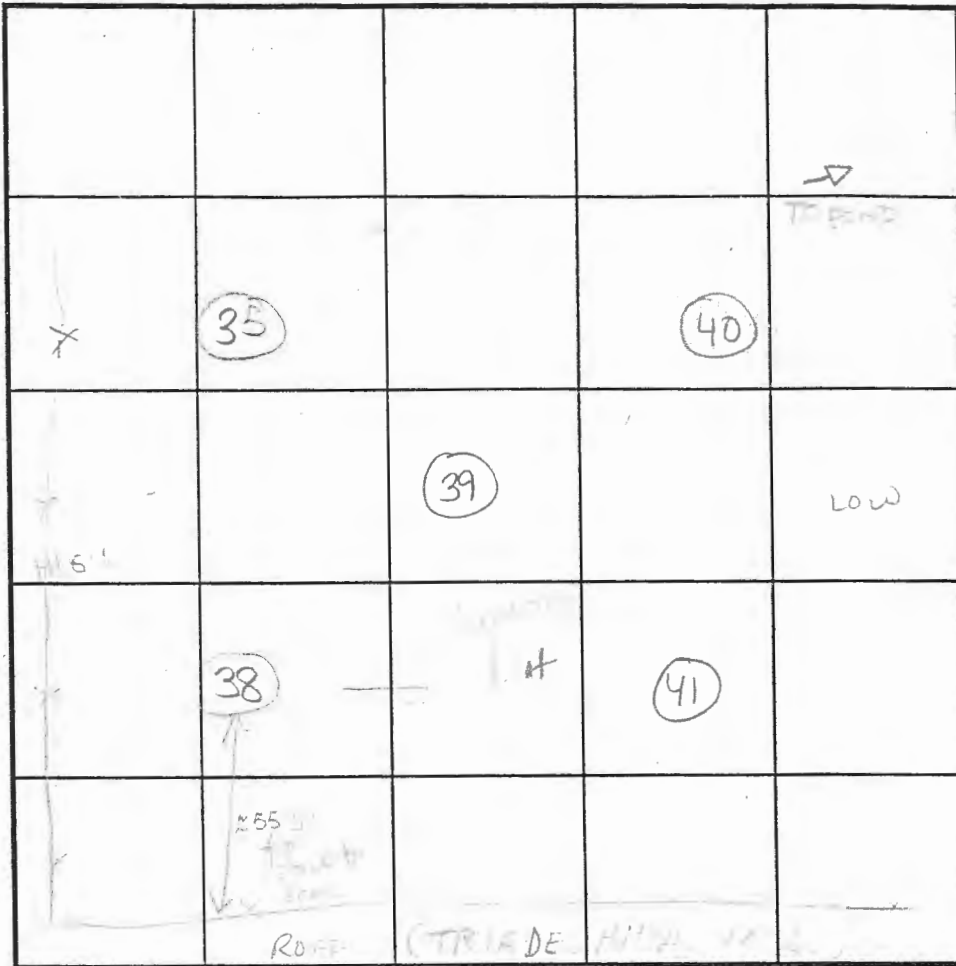
12 1/2'

3'

2'

14'

1 1/2'



SOIL PROFILE

0'

2 1/2'

Str rd in  
majenta  
& mica

1/4 wk  
p/ep  
S/m

1/2 wk  
Sap  
%  
SM frags

INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
5-1-03	35	4 1/2' M	10:37	10:38	10:38	10:40	OK
	38	4' M	10:40	10:41 <sup>20</sup>	10:41 <sup>20</sup>	10:43 <sup>50</sup>	2+OK
	40	4' M	10:45	10:45 <sup>50</sup>	10:45 <sup>50</sup>	10:50	3 1/2 OK
	40	Visual	SEES	soil frags			OK
	39	SEE S					OK

REMARKS: Holes should be dug per plan

TYPE OF SOIL: \_\_\_\_\_

TESTED BY: Kaci ALSO PRESENT: Justin Biemel

TRENCH DESIGN DATA: AVERAGE PERCOLATION TIME: \_\_\_\_\_ TRENCH WIDTH: \_\_\_\_\_

1/2 INLET DEPTH: \_\_\_\_\_ MAXIMUM BOTTOM DEPTH: \_\_\_\_\_ SQ. FT./BEDROOM: \_\_\_\_\_

A/P \_\_\_\_\_

#306

Black  
Fill  
Trash  
Paper

1.5'

Red Brown  
yellow  
SL  
very little  
mea

5.5

Red Brown  
yellow 5-10%  
R4 SL

14'

#307

Red Brown  
yellow  
SL

5.5

Red Brown  
yellow  
very little  
mea  
5-10%  
R4  
Fsh

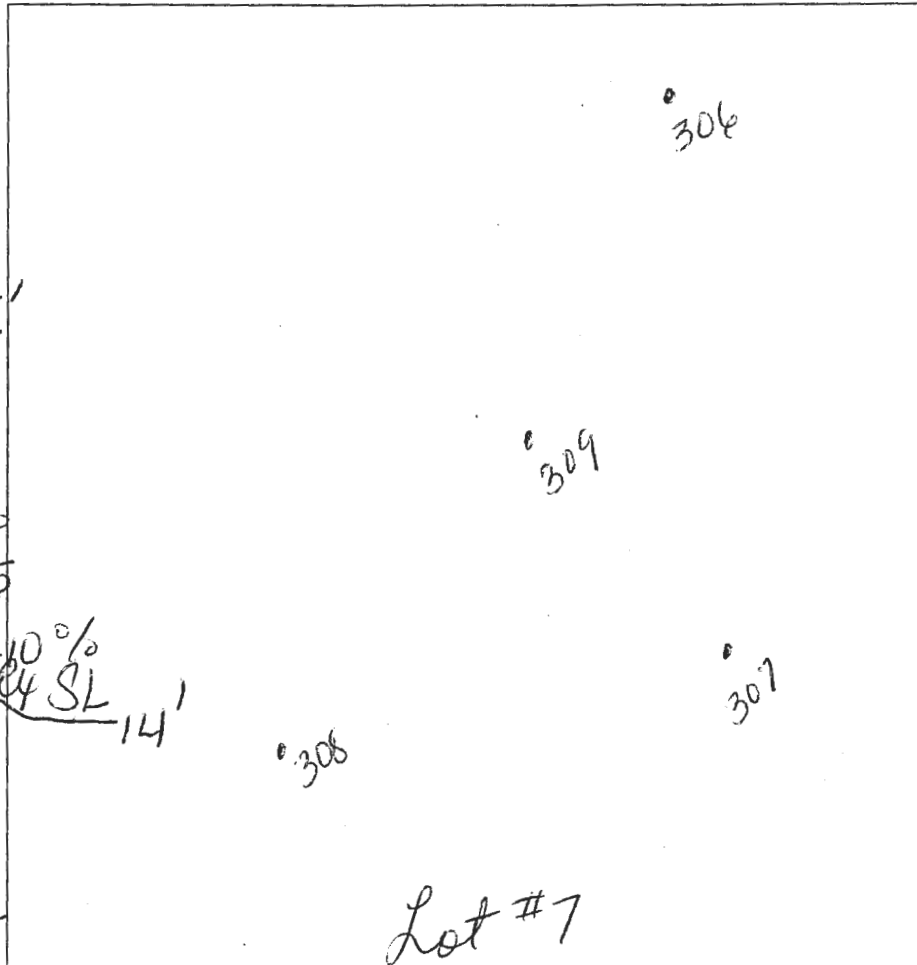
14

#308

Trash  
Debris  
Trees  
Black  
Fill



-9'



#309  
Trash  
Debris  
Trees  
Black  
Fill



-9'

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
4-26-17	306	6/14	11:13	11:18	11:25	7min	P
4-26-17	307	6/14	11:28	11:31	11:35	4min	P
4-26-17	308	9'	Cannot Use Soil				F
4-26-17	309	9'	Cannot Use Soil				F

REMARKS Overcast

SANITARIAN Bernard BACKHOE Branden OTHERS Mr. Green

TEST HOLES USED IN SDA \_\_\_\_\_ AVG. PERC TIME \_\_\_\_\_ SQ. FT/BR \_\_\_\_\_

TRENCH WIDTH \_\_\_\_\_ INLET DEPTH \_\_\_\_\_ MAX. BOT DEPTH \_\_\_\_\_ EFFECTIVE SW \_\_\_\_\_

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
4/6/22							

REMARKS Evaluate site for possible trench fill  
 SANITARIAN Kawolf / R. Braker BACKHOE \_\_\_\_\_ OTHERS \_\_\_\_\_  
 TEST HOLES USED IN SDA \_\_\_\_\_ AVG. PERC TIME \_\_\_\_\_ SQ. FT/BR \_\_\_\_\_  
 TRENCH WIDTH \_\_\_\_\_ INLET DEPTH \_\_\_\_\_ MAX. BOT DEPTH \_\_\_\_\_ EFFECTIVE SW \_\_\_\_\_

# Jack's Landing

A/P \_\_\_\_\_

# ~~1375~~ 402

Red Brown  
SCL

5.5  
Red Brown  
yellow  
many  
mica  
manganese  
Deposits

↓ SCL

# 401

Red Brown (Large  
Brown) Yellow  
SCL (Buried  
grad)

Red Brown  
yellow  
white  
many  
mica  
FSH

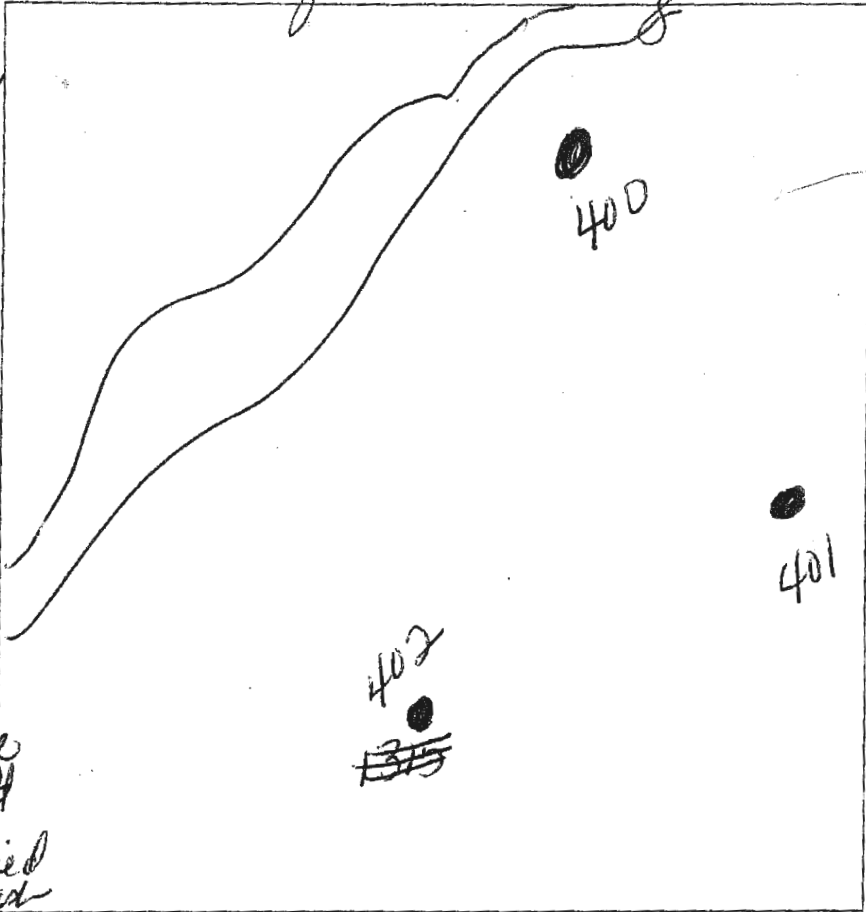
↓

402 / 400

Red Brown  
yellow  
SCL

6.2  
Red Brown  
yellow  
5-10%  
R4  
FSH

↓



DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
11-2-17	<del>1375</del> 402	6.5 / 13	10:30	10:33	10:37	4min	P
11-2-17	401	6.7 / 14	10:43	10:46	10:50	4min	P
11-2-17	400	6.5 / 14.5	10:53	10:55	11:00	5min	P

REMARKS \_\_\_\_\_  
 SANITARIAN D. Bernard BACKHOE \_\_\_\_\_ OTHERS \_\_\_\_\_  
 TEST HOLES USED IN SDA \_\_\_\_\_ AVG. PERC TIME \_\_\_\_\_ SQ. FT/BR \_\_\_\_\_  
 TRENCH WIDTH \_\_\_\_\_ INLET DEPTH \_\_\_\_\_ MAX. BOT DEPTH \_\_\_\_\_ EFFECTIVE SAW \_\_\_\_\_

14'

**BUILDABLE PRESERVATION PARCEL A**  
13.19 AC.

PRIVATELY OWNED WITH THE JACK'S LANDING HOMEOWNERS ASSOCIATION AND HOWARD COUNTY, MD AS THE BASEMENT HOLDERS

EX. 40' PRIVATE USE-IN-COMMON ACCESS EASEMENT FOR THE BENEFIT OF LOTS 1-5

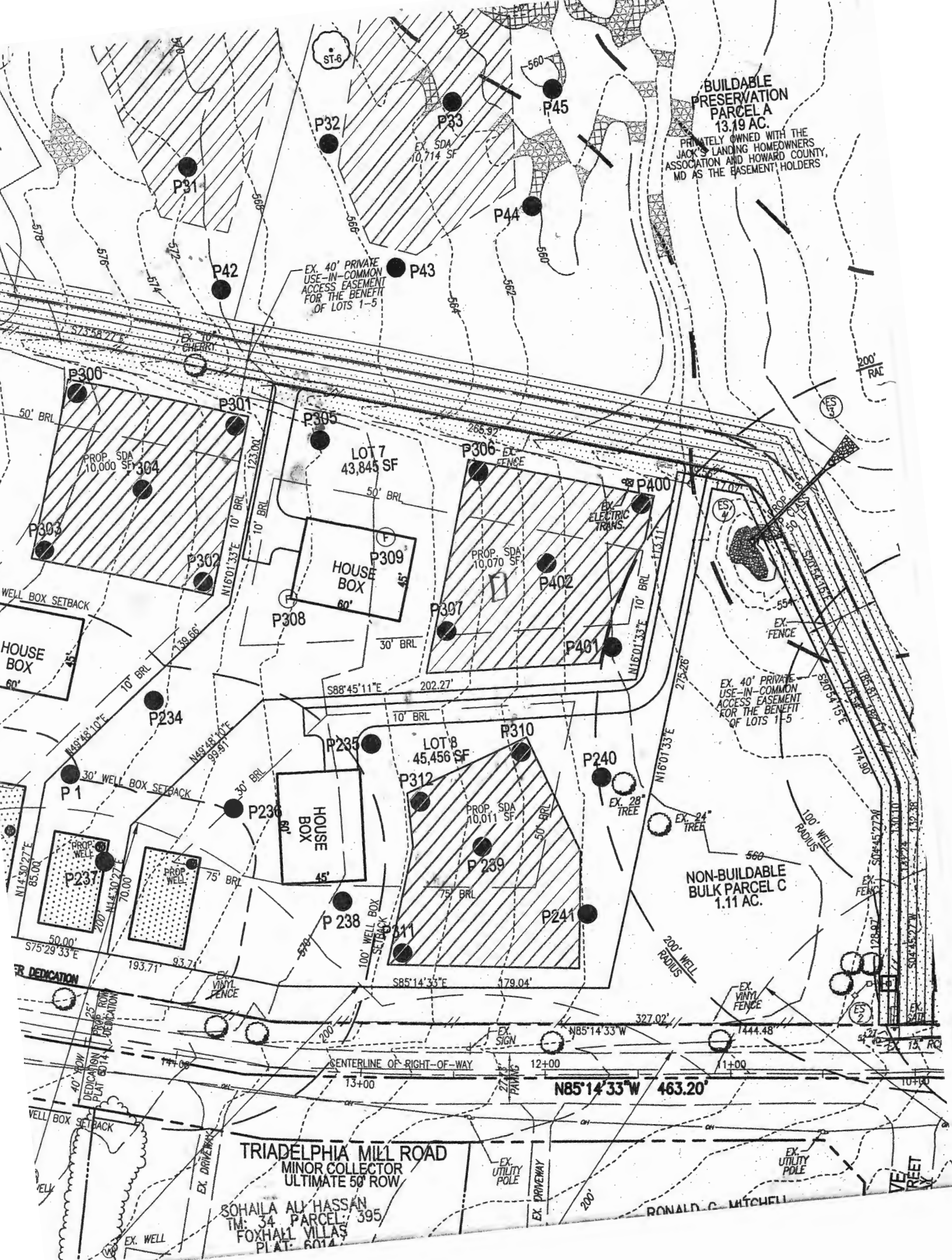
EX. 40' PRIVATE USE-IN-COMMON ACCESS EASEMENT FOR THE BENEFIT OF LOTS 1-5

**NON-BUILDABLE BULK PARCEL C**  
1.11 AC.

**TRIADELPHIA MILL ROAD**  
MINOR COLLECTOR  
ULTIMATE 50' ROW

SOHAILA ALI HASSAN  
TM: 34 PARCEL: 395  
FOXHALL VILLAS  
PLAT: 6014

RONALD C MITCHELL





Received From

HOWARD COUNTY HEALTH DEPARTMENT

DATE  
3/11/10

60576

CASH  
 CHECK

NO.

1033

PHONE #

430-0425

\$ 515.00

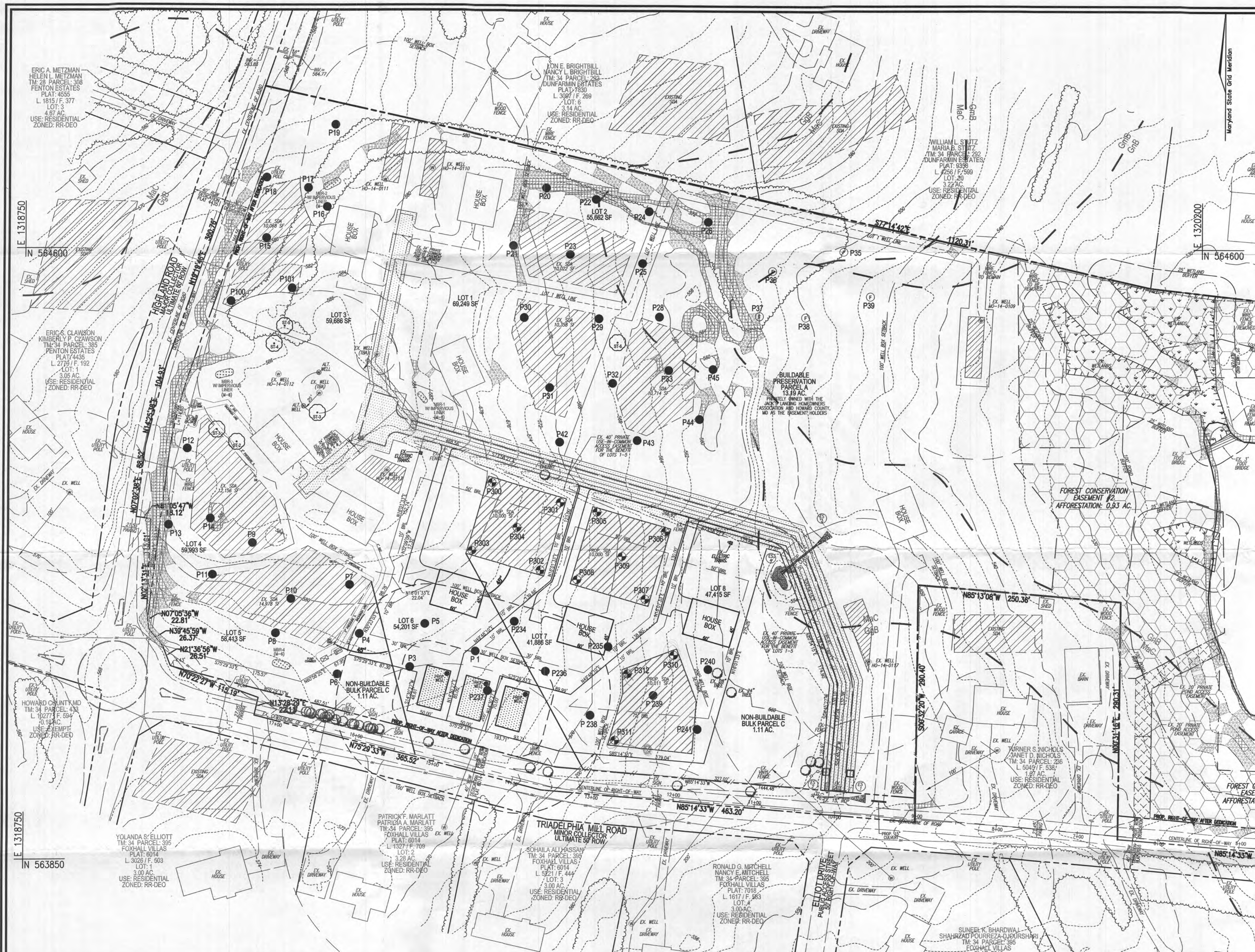
Received By

Dr. [Handwritten Name]

Boilers

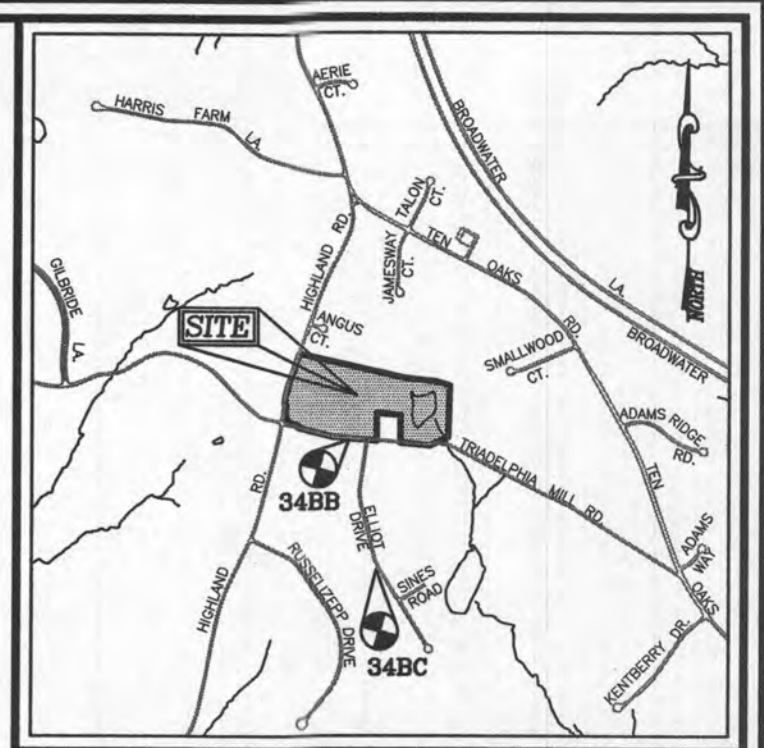
22

For [Handwritten: Home (4000) (3) Vaccines]  
[Handwritten: The children's health department]  
[Handwritten: 1033]



**BENCHMARKS**

HOWARD COUNTY BENCHMARK 34BB (CONC. MON.)  
 N 563,899.232 E 1319560.973 ELEV. 559.29  
 SOUTH SIDE TRADELPHIA MILL ROAD, APPROX. 13' EAST  
 OF CENTERLINE OF DRIVEWAY FOR HOUSE # 13295.  
 HOWARD COUNTY BENCHMARK 34BC (CONC. MON.)  
 N 562,546.600 E 1,319,851.319 ELEV. 529.572  
 SOUTH SIDE OF ELLIOTT DRIVE, EAST OF CENTERLINE  
 FOR THE DRIVEWAY FOR HOUSE NUMBER 13318.



**VICINITY MAP**  
 SCALE: 1"=2,000'  
 ADC MAP COORDINATE: PAGE 24 GRID EB

**LEGEND:**

- PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVING
- EXISTING TREELINE
- EXISTING TREES
- EXISTING SPECIMEN TREE
- EXISTING WOOD FENCE
- EXISTING METAL FENCE
- EX. USE-IN-COMMON ACCESS EASEMENT
- EXISTING UTILITY POLE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING STEEP SLOPES
- EXISTING MODERATE SLOPES
- PROPOSED PERC. TEST
- PASSED PERC. TEST
- FAILED PERC. TEST
- PROPOSED WELL LOCATION
- EXISTING WELL LOCATION
- EXISTING APPROVED WELL BOX AREA
- EXISTING APPROVED SEWAGE DISPOSAL AREA
- PROPOSED SDA (SEWAGE DISPOSAL AREA)
- PROPOSED NEW WELL BOX AREA

**GENERAL NOTES**

1. THIS SUBJECT PROPERTY IS ZONED RR-DEO.
2. PROPERTY OUTLINE SHOWN HEREON IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED NOVEMBER, 2013.
3. DEED REFERENCES: LIBER 3172 FOLIO 336
4. THE EXISTING TOPOGRAPHY IS TAKEN FROM CURRENT HOWARD COUNTY GIS DATA AND FIELD VERIFIED TO BE ACCURATE.
5. SOIL TYPES SHOWN HEREON ARE FROM THE USDA WEB SOIL SURVEY.
6. ALL WELLS AND SEPTIC SYSTEMS WITHIN 100' FROM THE PROPERTY BOUNDARIES HAVE BEEN SHOWN.
7. ANY CHANGE TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
8. ADJUSTMENT TO THE SEPTIC EASEMENT AREA IS NOT PERMITTED WITHOUT ADDITIONAL TESTING.
9. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
10. EXISTING WELLS AND/OR SEWERAGE EASEMENTS WITHIN 100 FEET OF THE PROPERTY HAVE BEEN SHOWN FROM THE BEST AVAILABLE INFORMATION.
11. ALL BUILDING SITES SHOWN COMPLY WITH MINIMUM BUILDING RESTRICTION REGULATIONS.
12. THE PURPOSE OF THIS PERCOLATION TEST PLAN IS TO CREATE AND DEFINE AN PRIVATE SEPTIC EASEMENT FOR THE PROPERTY/PROJECT IN ACCORDANCE WITH THE STATE AND COUNTY CODES.
13. THE PREVIOUSLY DUG WELLS ON NON-BUILDABLE BULK PARCEL B MUST BE PROPERLY ABANDONED PRIOR TO HEALTH SIGNATURE OF THE RECORD PLAT.
14. ALL NEW WELLS MUST BE DRILLED PRIOR TO HEALTH DEPARTMENT SIGNATURE OF THE RECORD PLAT.

**PLAN SCALE**  
 SCALE: 1"=60'

THIS AREA DESIGNATES A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE AREA. REORDINATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.

**SOILS LEGEND**

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES	B	.20	NO
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	.20	NO
GmB	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	C	.37	YES
GnB	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	C	.37	YES
MaC	MANOR LOAM, 8 TO 15 PERCENT SLOPES	C	.24	NO

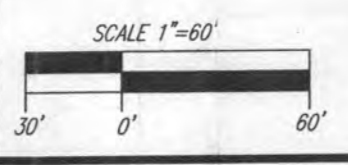
SOILS INFORMATION FROM USDA WEB SOIL SURVEY WEBSITE.  
 NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS.

COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

PERCOLATION CERTIFICATION:  
 I CERTIFY THAT THE LOCATIONS SHOWN HEREON ARE BASED ON FIELD LOCATIONS DONE UNDER MY DIRECT SUPERVISION, AND ARE CORRECT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

THOMAS M. HOFFMAN, JR. \_\_\_\_\_ DATE \_\_\_\_\_  
 PROFESSIONAL LAND SURVEYOR No. 267



NO. \_\_\_\_\_ REVISION \_\_\_\_\_ DATE \_\_\_\_\_

**PERCOLATION TEST PLAN**

**JACK'S LANDING**  
 LOTS 6-8, & NON-BUILDABLE BULK PARCEL 'C',  
 A RE-SUBDIVISION OF NON-BUILDABLE BULK PARCEL 'B'

5TH ELECTION DISTRICT PARCEL: 414  
 TAX MAP: 34 GRID: 03 ZONED: RR-DEO  
 HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET TEL: 410.461.7666  
 ELLIOTT CITY, MD 21043 FAX: 410.461.8961

DESIGN BY: RHY  
 DRAWN BY: JMR  
 CHECKED BY: RHY  
 DATE: MARCH 2017  
 SCALE: AS SHOWN  
 W.O. NO.: 13-31

PROFESSIONAL CERTIFICATE  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2018.

1 SHEET OF 1



# HOWARD COUNTY HEALTH DEPARTMENT

60576

DATE 3/17/17

Received From

Real Properties LLC

PHONE #

413-307-0425

For

Permit apps (3) Lacks  
Landfill Lot 1978  
Washington Mill Rd.  
Line Howard Greenhandedays

CASH

CHECK

NO.

1033

Dollars

\$ 1518.00

Received By

[Signature]