

Record Detail \* (This section is required.)


Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B23000617	02/27/2023
Description of Work		
SFD//INSTALL (1) 1000 GAL UNDERGROUND PROPANE TANK FOR STUB OUT		

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
12405	KONDRUP	DR	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.94502	39.14151
City	State	Zip Code	Primary
FULTON	MD	20759	Yes

Approved 3/1/23  


Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
840456	48	0.92	264500	264500	0	RURAL
Legal Description						
LOT 12 BL C S 4 AR 2[ ]KONDRUP DR[ ]BEAUFORT PARK						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
C	12	605102	4				
Plan Area	State Tax Id	Subdivision Name					
	1405351456						
Section	Area	Tax Map					
		45					
Grid	Zoning District	ADC Map					
45-12	RR-DEO	5051-J8					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-15A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner \* (This section is required.)

Search Reset Clear

Name \*

HOBBS JEFFERY L

Address Line 1

12401 KONDRUP DR

Address Line 2

Address Line 3

Mail City	Mail State	Mail Zip Code
FULTON	MD	20759
Phone	Primary	
301-725-3232	Yes	
E-mail		
Cell Number	Fax Number	

Professionals (This section is not required.)

License # *	Business Name		
68408	HJ POIST		
License Type *	First Name	Middle Name	Last Name
Propane Gs	JEFF		WISEMAN
Primary	Address Line 1		
Yes	360 MAIN ST		
	Address Line 2		
	City	State	ZIP Code
	LAUREN	MD	20707
	Phone 1	Phone 2	Fax
	3017253232		
	E-mail		
	JEFF@HJPOIST.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	MICHELLE		CLANCY
Relationship	Full Name		
Applicant	MICHELLE CLANCY		
Primary	Organization Name		
Yes	APPLIED & APPROVED PERMITS LLC		
	Street Address		
	P.O. BOX 310		
	Address Line 2		
	City	State	Zip Code
	PERRY HALL	MD	21128
	Phone	Cell	Fax
	443-340-1229		
	E-mail *		
	MICHELLE@APPLIEDANDAPPROVED.COM		

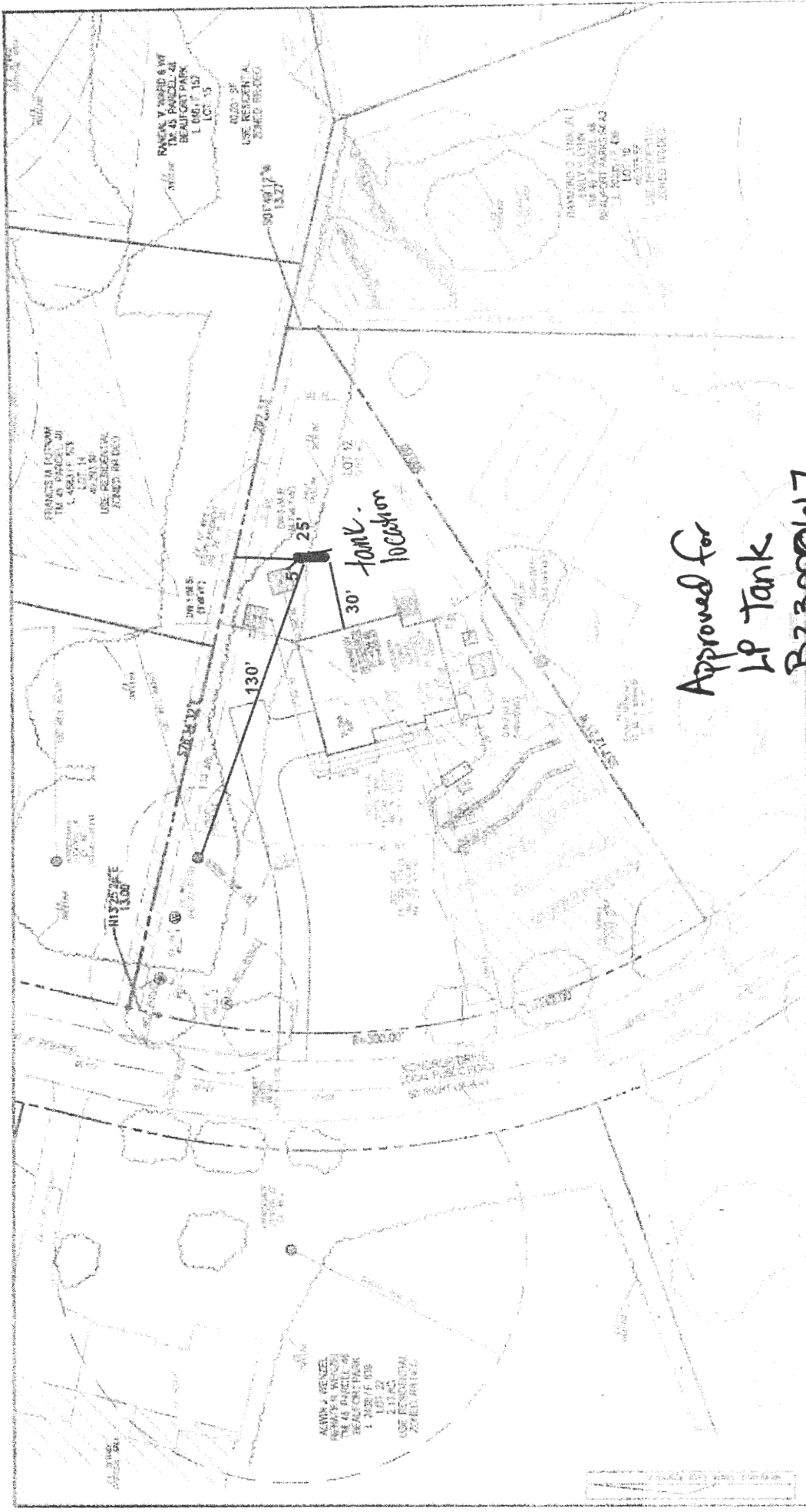
Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
1500	0	0	No
Construction Type			
329 - Structures Other Than Buildings (Retaining Walls/Tents)			

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use *	Number of Tanks Installed *	Number of Tanks Removed *		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	



Approved for  
 LP Tank  
 B23000617  
 scale - 1/40 ~~1/40~~ 3/17/23

PLOT PLAN  
 BEAUFORT PARK  
 LOT 12  
 12005 KONDORUP DRIVE  
 FULTON, MD 20759

MODEL ENGINEERING  
 TIMMONS GROUP  
 200 WOODBINE DRIVE, SUITE 104, FULTON, MD 20759  
 P: 410-271-8811 F: 410-271-8811

AKIN & RENZI  
 12005 KONDORUP DRIVE  
 BEAUFORT PARK  
 LOT 12  
 2/11/23  
 USE: RESIDENTIAL  
 ZONED: RH100

FRANKS & DENHAM  
 TR 45 PARCEL 31  
 L 4981 F 103  
 2/20/21  
 USE: RESIDENTIAL  
 ZONED: RH100

FRANKS & DENHAM & WY  
 TR 45 PARCEL 48  
 BEAUFORT PARK  
 L 0881 F 107  
 LOT 15  
 2/20/21  
 USE: RESIDENTIAL  
 ZONED: RH100

FRANKS & DENHAM  
 TR 45 PARCEL 48  
 BEAUFORT PARK  
 L 0881 F 107  
 LOT 16  
 2/20/21  
 USE: RESIDENTIAL  
 ZONED: RH100

RECEIVED

PERMIT NUMBER: B 2000-116

DATE ACCEPTED:

AUG 30 2022

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov



BUILDING SITE ADDRESS REQUIRED

Street Address: Unit: City: State: MD Zip Code: Subdivision/Village/Complex Name: SDP/WP/BA #: Lot: Tax Map: Parcel: Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Proposed Use: Estimated Cost: \$ Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None

NEW S.F.D. 2-STORY, FIN BASEMENT, 2-CAR

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Primary Residence: Yes No Owner's Street Address: City: State: Zip Code: Phone: Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Contact Name: Street Address: City: State: Zip Code: Phone: Email:

CONTRACTOR INFORMATION REQUIRED

Business Name: Licensee's Name: License #: Street Address: City: State: Zip Code: Phone: Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Name: Street Address: City: State: Zip Code: Phone: Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF\*) Condo: Yes No Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic) Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: # Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: # of Bedrooms (SF): # of efficiency units (MF\*): # of 1 BR (MF\*): # of 2 BR (MF\*): # of 3 BR (MF\*): # Rooms: # Full Baths: # Half Baths: # Fireplaces: Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial 1st Fl Width: 1st Fl Depth: 2nd Fl Width: 2nd Fl Depth: Bsmt Width: Bsmt Depth: Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: sq ft Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: DATE SIGNED:

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: SUBMITTAL FEES: PAYMENT: ACCEPTED BY:

A

DESIGN NOTES

- 1. SITE LOCATION: HOWARD COUNTY MARYLAND...
2. CODES:
A. 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
B. OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION, OSHA REGULATIONS (STANDARDS - 29 CFR)
C. MD. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...
3. RISK CATEGORY FOR FLOOD, WIND, SNOW, EARTHQUAKE AND ICE LOADS: II...
4. LIVE LOADS:
A. FLOOR = 40\_PSF
B. ROOF = 30\_PSF...
5. SNOW LOAD:
A. GROUND SNOW, P\_g = 30\_PSF
B. FLAT ROOF SNOW LOAD, P\_f = 27\_PSF...
6. WIND DATA:
A. ULTIMATE DESIGN WIND SPEED, V\_u = 115 MPH
B. EXPOSURE CATEGORY: C
C. INTERNAL PRESSURE COEFFICIENT, G\_c\_p = +/- 0.5\_PSI...
7. SOIL DATA:
A. DESIGN SOIL BEARING PRESSURE = 2,000\_PSF (ASSUMED)
8. CONCRETE DATA:
A. COMPRESSIVE STRENGTH, f'\_c = 3,000\_PSI
9. CLIMATE ZONE: 4

CONCRETE NOTES

- 1. CONTRACTOR SHALL COMPLY WITH THE LATEST PROVISIONS OR EDITIONS OF THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SHOWN OR SPECIFIED:
A. ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
B. ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" AND ACI 318R "COMMENTARY"
C. CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE"
2. REINFORCING MATERIALS:
A. REINFORCING BARS: ASTM A615, GRADE 60 DEFORMED.
B. WELDED WIRE FABRIC: ASTM A185
C. SUPPORTS FOR REINFORCEMENT: BOLSTERS, CHAIRS, SPACERS AND OTHER DEVICES FOR SPACING, SUPPORTING AND REINFORCING BARS IN PLACE. USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI SPECIFICATIONS.
D. PROVIDE 3" CLEARANCE FOR ALL REINFORCING, UNLESS NOTED OTHERWISE.
E. ALL CONCRETE REINFORCING BARS SPLICES SHALL BE ACI CLASS "B" LAP SPLICES UNLESS NOTED OTHERWISE. CONCRETE REINFORCING SHALL BE SPLICED ONLY AS SHOWN OR NOTED. BAR SPLICES AT OTHER LOCATIONS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
F. PRIOR TO ANY FABRICATION, CONTRACTOR SHALL SUBMIT FABRICATION DRAWINGS (2 COPIES) SHOWING REBAR PLACEMENT, LENGTHS, LAPS, SPLICES, QUANTITIES, SIZES, ETC., FOR REVIEW BY THE PROJECT ENGINEER.
3. CONCRETE MATERIALS:
A. PORTLAND CEMENT: ASTM C150, TYPE 1
B. NORMAL WEIGHT AGGREGATES: ASTM C33
C. LIGHTWEIGHT AGGREGATES: ASTM C330
D. WATER: POTABLE
E. AIR-ENTRAINING ADMIXTURE: ASTM C260, CERTIFIED BY THE MANUFACTURER TO BE COMPATIBLE WITH OTHER REQUIRED ADMIXTURES. PROVIDE 5% PLUS OR MINUS 1% POINT OF DELIVERY FOR 1-INCH NOMINAL MAXIMUM AGGREGATE SIZE.
4. DESIGN MIX SHALL PROVIDE NORMAL CONCRETE WITH THE FOLLOWING PROPERTIES:
A. ALL CONCRETE SHALL BE READY MIX ASTM C94 WITH MINIMUM COMPRESSIVE STRENGTH AS INDICATED UNDER "CONCRETE DATA" OF THE "DESIGN NOTES" AT 28 DAYS. ALL CONCRETE SHALL CONTAIN AN AIR-ENTRAINING ADMIXTURE MEETING THE REQUIREMENTS OF ASTM C260.
5. IF UNSUITABLE SOILS ARE ENCOUNTERED, CONTRACTOR SHALL EMPLOY A GEOTECHNICAL ENGINEER LICENSED IN THE STATE INDICATED UNDER "SITE LOCATION" OF THE "DESIGN NOTES", TO OBSERVE AND APPROVE ALL EXCAVATION FOR FOUNDATIONS. THE GEOTECHNICAL ENGINEER SHALL VERIFY THE ADEQUACY OF THE EXPOSED SOILS TO SUPPORT THE ASSUMED FOUNDATION DESIGN SOIL BEARING PRESSURE AS INDICATED UNDER "SOIL DATA" OF THE "DESIGN NOTES".
6. NO UNBALANCED BACKFILLING SHALL BE DONE AGAINST FOUNDATION WALLS UNLESS WALLS ARE SECURELY BRACED AGAINST OVERTURNING EITHER BY TEMPORARY BRACING OR BY PERMANENT CONSTRUCTION.
7. CONTRACTOR SHALL FURNISH AND INSTALL ALL EMBEDDED ITEMS, INCLUDING (BUT NOT LIMITED TO):
A. ANCHOR BOLTS, THREADED ROD, ASTM F1554, GR. 36
8. ALL ANCHOR BOLTS TO HAVE A MINIMUM OF 4" THREADED PROJECTION ABOVE BASE PLATE UNLESS NOTED OTHERWISE.
9. PROVIDE 3/4"x3/4", 45° CHAMFER ALONG ALL EXPOSED EDGES, AS PERMITTED BY CODE.
10. TOP OF ALL CONCRETE SURFACES SHALL HAVE A HARD TROWELED FINISH, UNLESS NOTED OTHERWISE.

PLYWOOD SHEATHING NOTES

- 1. ALL PLYWOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "AMERICAN PLYWOOD ASSOCIATION" (APA) SPECIFICATIONS.
2. ALL PLYWOOD PANELS SHALL BE 1/2" OR 5/8" (NOM.) TYPE CDX, EXP. 1, APA RATED. SUITABLE EDGE SUPPORT SHALL BE PROVIDED BY USE OF PANEL CLIPS OR BLOCKING BETWEEN FRAMING. UNLESS OTHERWISE NOTED CONNECT ROOF PLYWOOD WITH 8d COMMON NAILS AT 6" ON CENTER AT INTERMEDIATE SUPPORTS.
3. INSTALL ALL PLYWOOD WITH THE LONG DIMENSION OF THE PANEL ACROSS SUPPORTS AND WITH PANEL CONTINUOUS OVER TWO OR MORE SPANS. STAGGER PANEL END JOINTS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY THE PLYWOOD MANUFACTURER.

B

GENERAL NOTES

- 1. CONTRACTOR SHALL CHECK AND FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO BEGINNING ANY WORK. ANY DISCREPANCIES OR INTERFERENCES SHALL BE REPORTED TO OWNERS REPRESENTATIVE.
2. CONTRACTOR SHALL PREPARE AND SUBMIT TO OWNER AS-BUILT, MARKED-UP DRAWINGS FOR ALL APPLICABLE CHANGES OR DEVIATIONS FROM THESE CONSTRUCTION DRAWINGS.
3. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL ESTABLISH A DATUM ELEVATION OF 0'-0" IT SHALL BE THE TOP OF THE FIRST FLOOR.
4. CONTRACTOR SHALL NOT DISCONNECT ANY MECHANICAL OR ELECTRICAL SYSTEMS WITHOUT WRITTEN APPROVAL FROM THE OWNER. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH SITE PERSONNEL TO MINIMIZE OPERATIONAL DISRUPTIONS.
5. UPON COMPLETION OF WORK, CONTRACTOR SHALL RESTORE THE SITE TO ORIGINAL CONDITION PRIOR TO START OF CONSTRUCTION.
6. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED BY FIELD MEASUREMENT AND FROM PREVIOUS DESIGN DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH CONSTRUCTION.
7. THE CONTRACTOR AND HIS SUBCONSULTANTS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK.
8. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY NORTH AND INFORM ENGINEER OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
9. ALL BIDDERS ARE REQUIRED TO VISIT THE WORKSITE BEFORE PREPARING THEIR BIDS IN ORDER TO OBSERVE EXISTING CONDITIONS AND TO IDENTIFY POTENTIAL HAZARDS AND OBSTACLES WHICH MIGHT AFFECT THE PERFORMANCE OF CONTRACT WORK. BID PRICES SHALL TAKE INTO ACCOUNT THESE OBSERVATIONS.
10. CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, LABOR AND SERVICES NECESSARY TO SUCCESSFULLY COMPLETE ALL WORK INDICATED OR SPECIFIED ON THE CONTRACT DRAWINGS. ALL WORK SHOWN ON THE DRAWINGS IS NEW UNLESS SPECIFICALLY NOTED AS EXISTING. SUCCESSFUL COMPLETION OF ALL WORK MEANS THAT ALL INSTALLED SYSTEMS SHALL BE COMPLETE AND READY FOR OPERATION.
11. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE LATEST EDITIONS OF OSHA AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
12. CONTRACTOR SHALL ADHERE AT ALL TIMES TO ALL SAFETY REGULATIONS AND PROCEDURES REQUIRED BY THE OWNER. ALL CONTRACTOR PERSONNEL WORKING ON SITE SHALL FIRST COMPLETE THE NECESSARY SAFETY TRAINING SESSION CONDUCTED BY THE OWNER, IF APPLICABLE.
13. THE OWNER OR HIS REPRESENTATIVE SHALL HAVE THE FINAL DETERMINATION IN CLARIFICATIONS AND INTERPRETATIONS REGARDING THE REQUIREMENTS OF THE CONTRACT DRAWINGS. ANY DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED IN WRITING BY THE OWNER OR HIS REPRESENTATIVE.
14. ALL EQUIPMENT AND MATERIALS WHICH ARE INDICATED TO BE RELOCATED OR REUSED SHALL BE STORED AND PROTECTED BY THE CONTRACTOR AFTER REMOVAL. CONTRACTOR SHALL ALSO PROTECT EXISTING WORK TO REMAIN. ANY EXISTING WORK TO BE RELOCATED OR TO REMAIN WHICH IS DAMAGED DUE TO CONTRACTOR'S WORK SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

WOOD FRAMING NOTES

- 1. ALL STRUCTURAL FRAMING LUMBER SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE "AMERICAN FOREST AND PAPER ASSOCIATION" (AF&PA) OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", LATEST EDITION. ALL TIMBER SIZES USED ON THESE DRAWINGS ARE NOMINAL.
2. ALL WOOD FRAMING MATERIAL SHALL BE SURFACED DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT.
3. ALL STUD AND WALL FRAMING SHALL BE EITHER OF THE FOLLOWING, BETTER, OR AN APPROVED EQUAL:
A. NO. 2 GRADE SOUTHERN YELLOW PINE (SYP)
B. NO. 2 GRADE SPURCH-PINE-FIR (SPF)
4. ALL ROOF FRAMING WOOD SHALL BE HEIM-FIR (NORTH) NO. 1, BETTER OR AN APPROVED EQUAL WITH THE FOLLOWING MINIMUM ALL OWABLE STRESS:
A. EXTREME FIBER IN BENDING STRESS, F\_b = 1,200 PSI
B. HORIZONTAL SHEAR STRESS, F\_v = 145 PSI
C. MODULES OF ELASTICITY, E = 1,700,000 PSI
5. THE CONTRACTOR SHALL CAREFULLY SELECT LUMBER TO BE USED IN LOAD BEARING APPLICATIONS. THE LENGTH OF SPLIT ON THE WIDE FACE OF 2" (NOMINAL) LOAD BEARING FRAMING SHALL BE LIMITED TO LESS THAN 1/2 OF THE WIDE FACE DIMENSION. THE LENGTH OF SPLIT ON THE WIDE FACE OF 3" (NOMINAL) AND THICKER LUMBER SHALL BE LIMITED TO 1/2 OF THE NARROW FACE DIMENSION.
6. ALL FRAMING EXPOSED TO THE WEATHER OR IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESURE-TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION SPECIFICATIONS. WHERE POSSIBLE, ALL CUTS AND HOLES SHOULD BE COMPLETED BEFORE TREATMENT. CUTS AND HOLES DUE TO ON-SITE FABRICATION SHALL BE BRUSHED WITH 2 COATS OF COPPER NAPHTHETENE SOLUTION CONTAINING A MINIMUM OF 2% METALLIC COPPER IN SOLUTION PER THE "AMERICAN WOOD PROTECTION ASSOCIATION" (AWPA) STANDARD M4.
7. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS WHICH RUN PARALLEL WITH JOISTS AND UNDER ALL CONCENTRATED LOADS FROM FRAMING ABOVE.
8. PROVIDE DOUBLE HEADER BEAMS OF THE SAME SIZE AS JOIST OR RAFTERS TO FRAME AROUND OPENINGS IN THE PLYWOOD DECK UNLESS OTHERWISE INDICATED.
9. STRUCTURAL STEEL PLATE CONNECTORS SHALL CONFORM TO ASTM A36 SPECIFICATIONS AND BE 1/4" THICK UNLESS OTHERWISE INDICATED. BOLTS CONNECTING WOOD MEMBERS SHALL BE PER ASTM A307 AND BE 3/4" DIAMETER UNLESS OTHERWISE INDICATED. PROVIDE WASHERS FOR ALL BOLT HEADS AND NUTS IN CONTACT WITH WOOD SURFACES.
10. BOLT HOLES SHALL BE CAREFULLY CENTERED AND DRILLED NOT MORE THAN 1/16" LARGER THAN THE BOLT DIAMETER. BOLTED CONNECTIONS SHALL BE SNUGGED TIGHT, BUT NOT TO THE EXTENT OF CRUSHING WOOD UNDER WASHER.
11. PREFABRICATED METAL JOINT HANGERS, HURRICANE CLIPS, HOLD DOWN ANCHORS, AND OTHER ACCESSORIES SHALL BE AS MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY", TEL 800-999-5099, OR APPROVED EQUAL. INSTALL ALL ACCESSORIES PER THE MANUFACTURER'S REQUIREMENTS. ALL STEEL SHALL HAVE A MINIMUM THICKNESS OF 0.04 INCHES (PER ASTM A446, GRADE A) AND BE GALVANIZED (COATING G60).
12. HOLES OR NOTCHES DRILLED OR CUT INTO WOOD FRAMING SHALL NOT EXCEED THE REQUIREMENTS OF THE IBC EDITION INDICATED UNDER "CODES" OF THE "DESIGN NOTES".
13. ALL PLATES, ANCHORS, NAILS, BOLTS, NUTS, WASHERS, AND OTHER MISCELLANEOUS HARDWARE SHALL BE HOT DIPPED GALVANIZED.

C

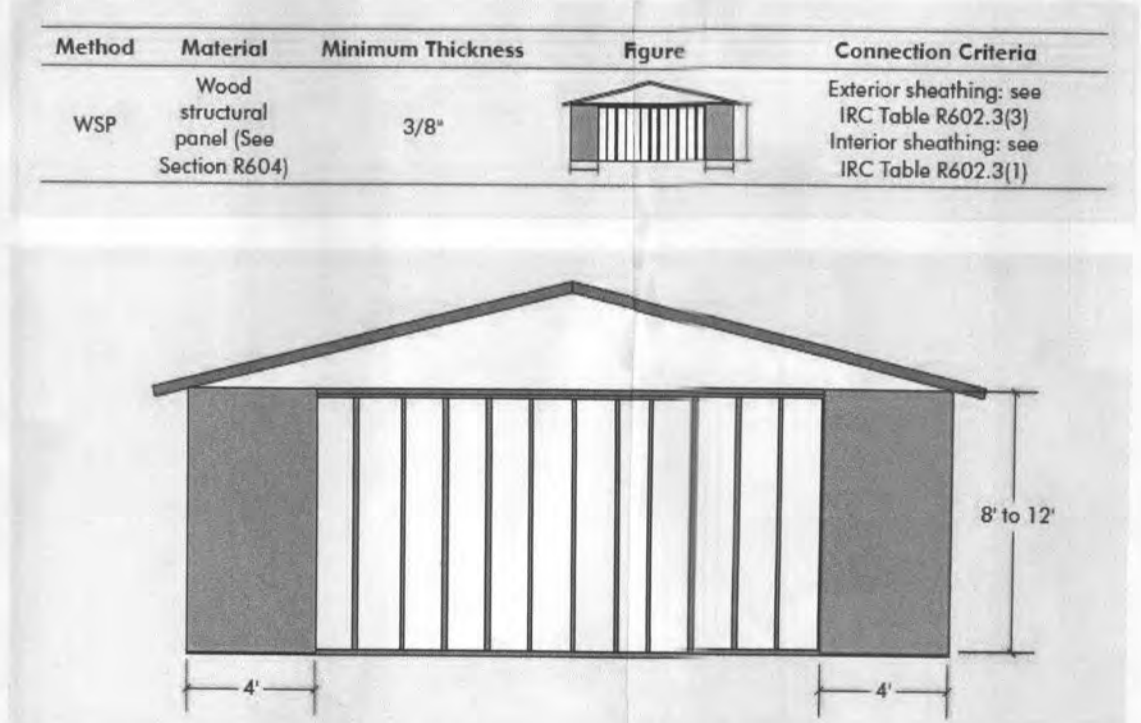
GYPSON WALLBOARD AND ACCESSORIES NOTES

- 1. GYPSUM WALLBOARDS SHALL BE FIRE-SHIELD GYPSUM WALLBOARD OR FIRE-SHIELD BOARD.
2. ACCESSORIES:
A. CORNER BEADS SHALL BE GALVANIZED STEEL 1"x1/4" FOR 1/2" OR 5/8" BOARD.
B. CASING BEADS AND TRIM SHALL BE GALVANIZED STEEL.
C. PERF-A-TAPE REINFORCING TAPE, READY-MIXED JOINT COMPOUND DRYWALL ADHESIVE AND SEALANT SHALL BE USED.
3. TOLERANCES FOR DRYWALL WORK: DO NOT EXCEED A VARIATION OF 3/16" IN 8'-0" AND 1/8" IN 4'-0" FROM PLUMB, LEVEL AND FLAT (ALL DIRECTIONS), AND DO NOT EXCEED 1/16" OFFSET OF PLANES AT JOINTS BETWEEN PANELS. SHIM PANELS AS NECESSARY TO COMPLY WITH TOLERANCES.
4. GYPSUM WALLBOARD SHALL BE INSTALLED AT RIGHT ANGLE TO THE FRAMING MEMBERS. BOARDS OF MAXIMUM PRACTICAL LENGTH SHALL BE USED SO THAT AN ABSOLUTE MINIMUM NUMBER OF END JOINTS OCCUR. BOARD SHALL BE BROUGHT INTO CONTACT WITH EACH OTHER, BUT SHALL NOT BE FORCED INTO PLACE. WALLBOARD JOINTS AT THE OPENINGS SHALL BE LOCATED SO THAT NO END JOINT WILL ALIGN WITH THE EDGES OF THE OPENING. END JOINTS SHALL BE STAGGERED, AND JOINTS ON OPPOSITE SIDES OF A PARTITION SHALL NOT OCCUR ON THE SAME STUD. GYPSUM WALLBOARD SHALL BE HELD IN FIRM CONTACT WITH THE FRAMING MEMBERS WHILE FASTENERS ARE BEING DRIVEN.
5. A UNIFORMLY THIN LAYER OF JOINT COMPOUND SHALL BE APPLIED OVER THE JOINT APPROXIMATELY 4" WIDE. THE REINFORCING TAPE SHALL BE CENTERED OVER THE JOINT AND EMBEDDED INTO THE COMPOUND LEAVING SUFFICIENT JOINT COMPOUND UNDER THE TAPE TO PROVIDE PROPER BOND.
6. AFTER COMPOUND IS THOROUGHLY DRY, THE TAPE SHALL BE COVERED WITH A COAT OF JOINT COMPOUND SPREAD OVER THE TAPE APPROXIMATELY 3" ON EACH SIDE OF THE TAPE, AND FEATHERED OUT AT THE EDGE. THE THIRD COAT OF JOINT COMPOUND SHALL BE SMOOTH AND THE EDGES FEATHERED APPROXIMATELY 3" BEYOND THE PRECEDING COAT WITH A SLIGHT UNIFORM CROWN OVER THE JOINT. ALL JOINTS AND FASTENER HEADS SHALL BE SANDED IF NECESSARY.

Table with 4 main sections: MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALL, MINIMUM VERTICAL REINFORCEMENT HT-BAR SIZE AND SPACING (Inches), MINIMUM VERTICAL REINFORCEMENT HT-BAR SIZE AND SPACING (Inches), and MINIMUM VERTICAL REINFORCEMENT HT-BAR SIZE AND SPACING (Inches).

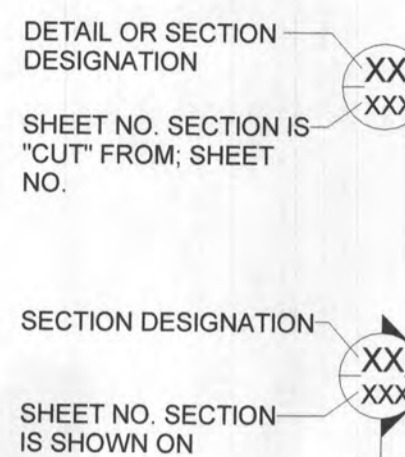
Table with 10 columns: CLIMATE ZONE, FENESTRATION (F/FACTOR), SKYLIGHT (F/FACTOR), GLAZED FENESTRATION (F/FACTOR), CEILING (F/FACTOR), WOOD FRAME WALL (F/FACTOR), MASS WALL (F/FACTOR), FLOOR (F/FACTOR), BASEMENT WALL (F/FACTOR), SLAB (F/FACTOR), and CRAWL SPACE (F/FACTOR).

Method WSP (wood structural panel)



D

SYMBOLS



LEGEND

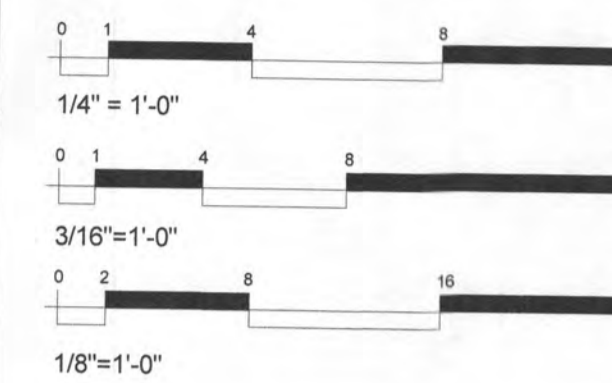
- DEMOLITION
--- EXISTING
--- EXISTING WORK (HIDDEN)
--- NEW WORK
--- NEW WORK (HIDDEN)
--- HANDRAIL OF PROPERTY LINE

ABBREVIATIONS

- A.F.F. ABOVE FINISH FLOOR
A.B. ANCHOR BOLT
ANG./L. ANGLE
BL. BASE LINE
BRG./BRGS. BEARING/ BEARINGS
BOT. BOTTOM
BLDG. BUILDING
C.S. CARBON STEEL
C/C. CENTER-TO-CENTER
CL. CENTERLINE
C/L.C/L.R. CLEAR
C.J./CONSTR. JT. CONSTRUCTION JOINT
COL. COLUMN
CONC. CONCRETE
CONN. CONNECTION
CMU. CONCRETE MASONRY UNIT
CONSTR./CONSTR. CONSTRUCTION
CONT. CONTINUOUS
DET. DETAIL
DIA. DIAMETER
DIM. DIMENSION
DWLS. DIMENSIONS
DWG. DRAWING
EA. EACH
E.F. EACH FACE
E.S. EACH SIDE
E.W. EACH WAY
E/L/ELEV. ELEVATION
EMBED. EMBEDMENT
EQ. EQUAL
EQUIP. EQUIPMENT
(E), EX., EXIST. EXISTING
EXP. EXPANSION
E.J./EXP. JT. EXPANSION JOINT
EXT. EXTERIOR
F.S. FAR SIDE
FT. FEET
FIN. FINISH
F.F. FINISH FLOOR
FL. FLOOR
F.S. FAR SIDE
GALV. GALVANIZED
GA. GAGE
H.P. HIGH POINT
HT. HEIGHT
H.S. HIGH STRENGTH
HR. HORIZONTAL
HR. HOUR
IN. INCH
INT. INTERIOR
INTERM. INTERMEDIATE
INV. INVERT
K. KIPS
ksi. KIPS PER SQUARE INCH
K.B. KNEE BRACE
LBS. POUNDS
LG. LONG
LLH. LONG LEG HORIZONTAL
LLV. LONG LEG VERTICAL
LONG. LONGITUDINAL
M.H./M.H. MANHOLE
MFR. MANUFACTURER
M.O. MASONRY OPENING
MATL. MATERIAL
MAX. MAXIMUM
MECH. MECHANICAL
M.P.H./MPH. MILES PER HOUR
MIN. MINIMUM
NEAR. NEAR SIDE
NEW. NEW
N/A. NEUTRAL AXIS
NOM. NOMINAL
N.S. NEAR SIDE
NIA. NOT APPLICABLE
N.I.C. NOT IN CONTRACT
N.T.S. NOT TO SCALE, NO SCALE
NO.#. NUMBER
O.C. ON CENTER
OPNG. OPENING
O/O. OUT TO OUT
O/H. OVERHEAD
PLCS. PLACES
PL. PLATE
PCC. PORTLAND CEMENT CONCRETE
PVC. POLYVINYL CHLORIDE
PSF. POUNDS PER SQUARE FOOT
PSI. POUNDS PER SQUARE INCH
P.T. PRESSURE TREATED
R. RADIUS
RAD./R. REQUIRED/REQUIRED
REF. REFERENCE
REIN. REINFORCEMENT
RM. ROOM
R.O. ROUGH OPENING
SCH. SCHEDULE
SECT. SECTION
SHT./SHTS. SHEET/SHEETS
SIM. SIMILAR
SPA./SPCG. SPACES, SPACING
SQ. SQUARE/SQUARES
S.S. STAINLESS STEEL
STD. STANDARD
STA. STATION
STL. STEEL
SYM. SYMMETRICAL
TEMP. TEMPORARY
THK. THICK
THRU. THROUGH
T&B. TOP AND BOTTOM
T.O. TOP OF
T.O.C./T.C. TOP OF CONCRETE
T.O.S./T/S. TOP OF STEEL
TYP./TYP. TYPICAL
U.N.O. UNLESS NOTED OTHERWISE
V.I.F. VERIFY IN FIELD
VERT. VERTICAL
W.W.F./WWF. WELDED WIRE FABRIC
W. WIDE
W/ WITH
W/O. WITHOUT

E

Table with 2 columns: Sheet Number and Sheet Name. Rows include A0.00 General Notes / Project Notes, A1.00 Front Elevation, A1.10 Right Elevation, A1.20 Rear Elevation, A1.30 Left Elevation, A2.00 Foundation Plan, A2.05 Finished Basement Plan, A2.10 Main Floor Plan, A2.20 Second Floor Plan, A3.00 Building Sections and Details, A4.00 Braced Wall Panel Locations, and A5.00 Area Plans and Roof Plan.



THIS BORDER IS FULL SIZED AT 24"x36". VERIFY SCALE WITH GRAPHIC. DO NOT SCALE DRAWING

Handwritten signature: HEALTH & DEPT

Professional Certification
I certify that this document was prepared or reviewed by me and that I am a duly licensed Professional Engineer under the laws of the State of Maryland
License 34723 Exp 7-5-2023

Revision Information:

Table with 3 columns: No., Description, and Date. The table is currently empty.

Kennedy Residence

STATUS: Issued for Permit
ADDRESS: Lot 12 Krondrup
CLIENT NAME: Greenleaf Builders
SHEET TITLE: General Notes / Project Notes

Project number: 8/23/2022
Date: 8/23/2022
Drawn by: TCK
Checked by: NA

A0.00

Scale: As indicated













