



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-813-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: B6000245

Building Address: 11605 Log Jump Trail  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Census Tract: \_\_\_\_\_ Subdivision: The Chase  
Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: \_\_\_\_\_  
Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_  
Estimated Construction Cost: \$ \_\_\_\_\_  
Description of Work: \_\_\_\_\_  
Occupant or Tenant: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: Wilson + Coal Bradley  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**Applicant's Name & Mailing Address, (If other than stated herein)**  
Applicant's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Contractor Company: \_\_\_\_\_  
Contact Person: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
License No.: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Engineer/Architect Company: \_\_\_\_\_  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	<b>Depth</b>	<b>Width</b>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> <b>Roadside Tree Project Permit</b>	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<b>Heating System</b>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Grading Permit Number:</b>	
<b>Building Shell Permit Number:</b>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature \_\_\_\_\_

Print Name \_\_\_\_\_

Email Address \_\_\_\_\_

Date \_\_\_\_\_

Title/Company \_\_\_\_\_

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	2/28/16	H. Oswald

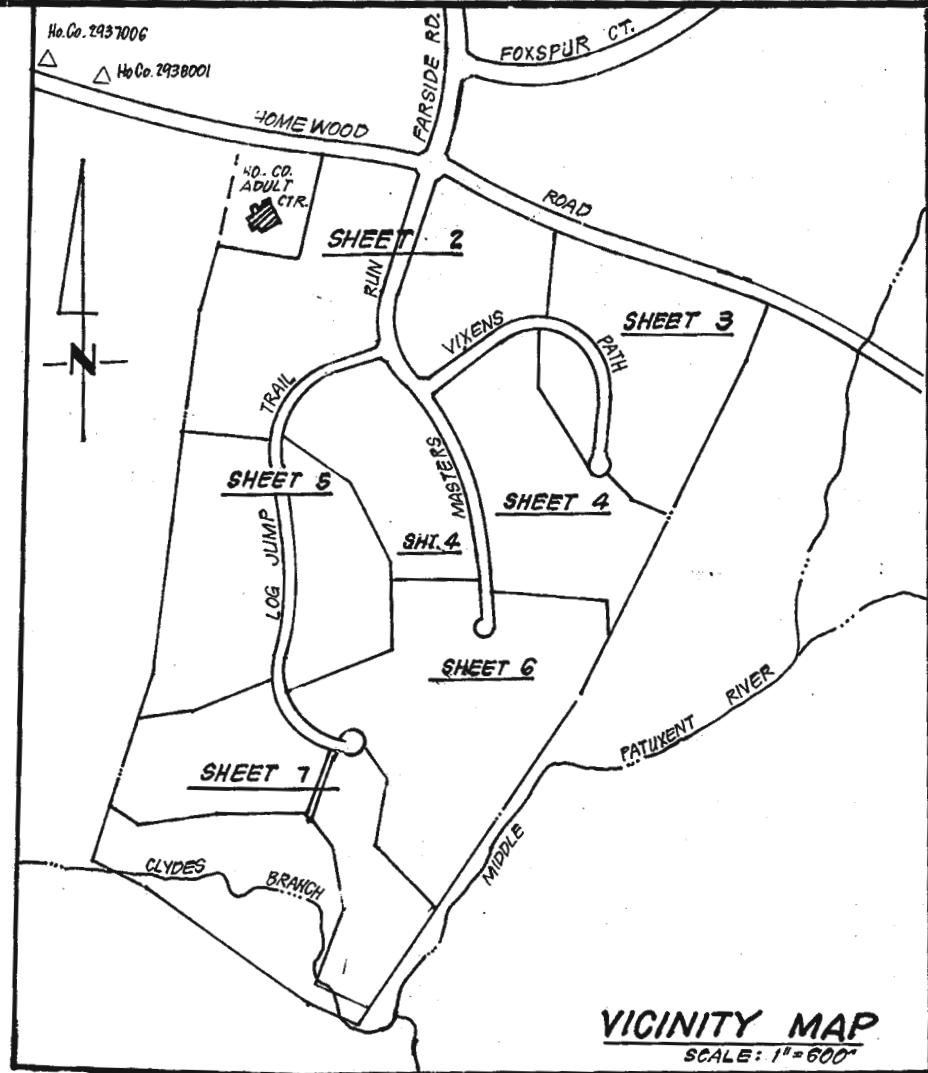
DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per-Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	#

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

### COORDINATE TABLE

NO.	NORTH	EAST	NO.	NORTH	EAST
1	514 570.34	823 068.16	83	512 883.74	822 891.49
2	514 539.68	823 375.70	84	512 281.68	822 912.51
3	514 423.14	823 759.07	85	512 040.63	822 880.78
4	514 239.32	824 104.54	86	511 867.27	822 894.71
5	514 079.42	824 512.74	87	511 598.91	823 143.80
6	514 039.49	824 664.21	88	511 606.85	823 172.43
7	514 018.21	824 736.38	89	511 526.06	823 209.80
8	513 892.36	825 121.81	90	511 532.66	823 176.88
9	513 842.84	825 251.34	91	511 552.34	823 125.59
10	513 818.51	825 245.77	92	511 886.77	822 838.04
11	513 803.88	825 240.54	93	512 047.15	822 831.21
12	513 854.34	825 109.39	94	512 298.21	822 862.24
13	513 980.19	824 723.37	95	512 873.77	822 842.49
14	514 000.81	824 654.02	96	512 980.37	822 820.81
15	514 054.17	824 451.58	97	513 500.26	823 115.59
16	514 167.99	824 158.39	98	513 576.80	823 339.01
17	514 177.27	824 140.67	99	513 613.09	823 349.48
18	514 390.08	823 734.74	100	513 916.86	823 359.36
19	514 435.90	823 634.20	101	514 445.07	823 526.98
20	514 420.87	823 603.24	102	514 475.20	823 510.35
21	513 892.67	823 435.61	103	514 498.76	823 376.56
22	513 445.40	823 520.09	104	514 532.60	823 059.56
23	513 411.52	823 547.53	105	513 611.81	825 171.89
24	513 407.82	823 582.69	106	512 730.44	824 754.99
25	513 662.72	823 897.46	107	512 821.26	824 560.23
26	513 740.57	824 127.93	108	513 294.36	824 180.49
27	513 372.40	824 467.25	109	513 250.00	824 070.00
28	513 063.73	824 451.07	110	513 207.34	823 682.34
29	513 044.68	824 458.42	111	512 140.82	824 476.08
30	512 960.35	824 433.80	112	512 319.57	824 454.96
31	512 995.67	824 375.05	113	512 414.37	823 399.03
32	513 048.17	824 391.84	114	512 791.66	823 339.79
33	513 066.34	824 401.14	115	511 851.27	824 317.77
34	513 375.02	824 417.31	116	511 265.73	823 347.11
35	513 623.86	823 928.93	117	510 743.79	823 631.40
36	513 359.53	823 602.50	118	511 060.00	823 315.00
37	513 324.19	823 599.89	119	511 385.00	823 390.00
38	512 493.20	823 894.41	120	511 550.23	823 254.63
39	512 353.21	823 895.83	121	512 069.97	823 394.20
40	512 183.28	823 897.56	122	510 028.89	823 198.98
41	512 149.10	823 891.91	123	510 239.24	823 013.08
42	512 213.33	823 829.59	124	510 334.84	822 878.31
43	512 237.41	823 847.01	125	510 791.77	822 270.01
44	512 408.12	823 845.27	126	510 962.78	821 964.97
45	512 492.69	823 844.41	127	511 713.35	822 177.20
46	513 316.40	823 573.08	128	511 720.90	822 430.50
47	513 300.67	823 553.65	129	511 896.18	822 228.90
48	513 395.05	823 457.92	130	513 148.68	822 378.99
49	513 511.67	823 385.19	131	513 110.71	822 813.40
50	513 529.64	823 349.62	132	513 442.12	822 414.15
51	513 453.10	823 132.19	133	514 067.80	822 546.12
52	512 990.84	822 869.80	134	514 005.01	822 941.16
			135	513 135.30	822 866.80



### AREA TABULATION

	SHEET 2	SHEET 3	SHEET 4	SHEET 5	SHEET 6	SHEET 7	TOTALS
TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	9	8	8	8	7	5	45
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	None	None	None	None	None	1	1
TOTAL AREA OF LOTS	31.0917 Ac.	25.5368 Ac.	28.4412 Ac.	23.0253 Ac.	30.3832 Ac.	22.2973 Ac.	165.1756 Ac.
TOTAL AREA OF OPEN SPACE	None	None	None	None	None	16.2952 Ac.	16.2952 Ac.
TOTAL AREA OF ROAD R/W TO BE DEDICATED	4.8019 Ac.	2.5084 Ac.	1.0207 Ac.	1.0867 Ac.	0.5160 Ac.	None	10.8335 Ac.
TOTAL NUMBER OF LOTS TO	9	8	8	8	7	5	48

### DENSITY TABULATION

SECTIONAL DENSITY TABULATION	THIS PLAN
GROSS AREA	192.90 Ac.
FLOOD PLAN/STEEP SLOPES AREA	22.16 Ac.
NET AREA	170.74 Ac.
NR OF DWELLING UNITS - NET AREA	56.91
FLOOD PLAN LOT ADJUSTMENT LOT ALLOWANCE	6.43
TOTAL NR OF DWELLING UNITS ALLOWED	63 or Max. 63
TOTAL NR OF DWELLING UNITS PROPOSED	47
DENSITY / ACRE	0.24

LOT NO	AREA OF LOT WITHIN FLOODPLAIN
17	0.0948 Ac.
18	0.7882 Ac.
19	0.6126 Ac.
27	1.7359 Ac.
28	3.1421 Ac.
29	0.6362 Ac.
30	0.6712 Ac.

Signed 6/11/87

F-87-108

Initial

T 1 70'

T 2 73

T 3 72

T 4 74

T 5 74

363'

$$363 \times 3' = 1089 \div 150 = 7.26$$

$$S.W. = \frac{w + z}{w + 1 + z(d)} = \frac{3 + 2}{3 + 1 + 2(1.5)} = \frac{5}{7} = \boxed{.7143}$$

Tank

2000 - 17 BR's  
(Notes)

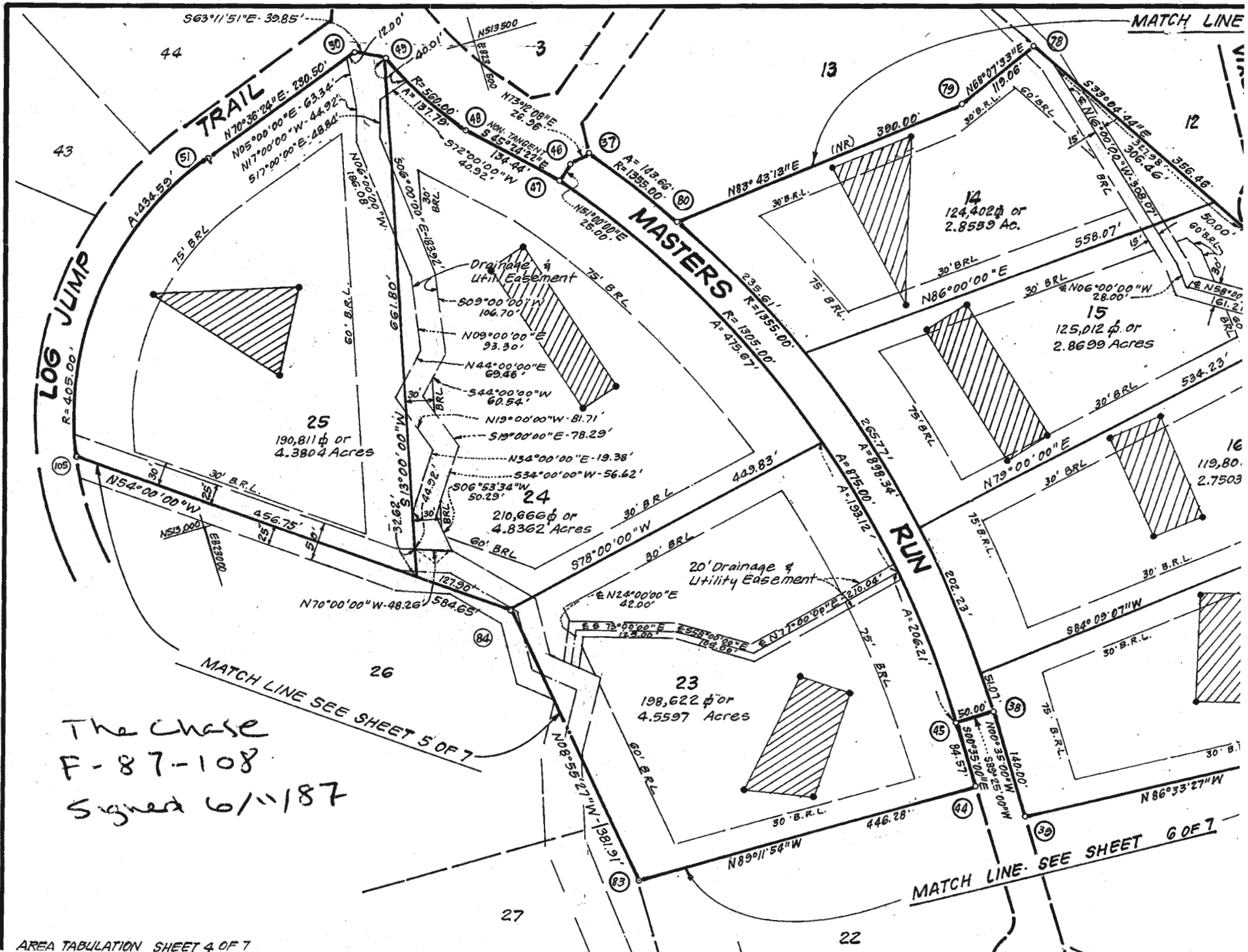
256 sq. ft

3' wide

inlet 3'

bottom 4.5'

eff bag. 3'



The Chase  
 F-87-108  
 Signed 6/1/87



February 22, 2016

Mr. Mike Davis  
Deputy Director  
Ho Co Bureau of Environmental Health  
8930 Standford Blvd  
Columbia, MD 21045

Re: **Bradley Residence**  
**Building permit application B16000445**

Mr. Davis,

I received a letter from your office requesting copies of the existing floor plans of the Bradley home and a revised site plan showing the location of the existing well. The plans and revised site plan are attached.

Additionally, the letter requested an approved percolation certification plan. I visited your office to obtain copies of your office file for the subject residence and found that the original perk test was recorded and certified on a site plan prepared by David S. Weber, P.E. in April of 1988 when the house was originally built. Subsequently, I prepared a revised site plan on April 24, 1996 when the Bradley's enlarged the house to include a total of 8 bedrooms. The site plan that I prepared records the additional perk tests that were performed in 1996 and the proposed expansion of the absorption trenches to accommodate the additional bedrooms. This site plan is in your file as well. The current building permit application is for an expansion of the master bedroom and the renovation of the master bathroom. The rest of the house is unchanged since the work done in 1996. I believe that the information already on file meets the requirements of Howard County Code Sec 3.805 and request a waiver to providing a new percolation certification plan.

If you should have any questions or concerns regarding this waiver, please give me a call so that we may discuss them.

Yours truly,

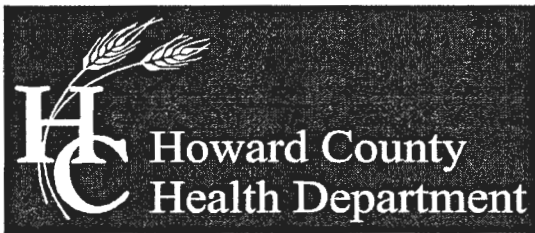
Craig L. Stewart  
Architect

Cc: Wilson Bradley

2/23/16  
Approved  
M Davis

Encl:

Revised site plan  
Floor plans of existing residence



Bureau of Environmental Health  
7178 Columbia Gateway Drive, Columbia, MD 21046-2147  
Main: 410-313-2640 | Fax: 410-313-2648  
TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)  
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

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February 23, 2016

Wilson Bradley  
11605 Log Jump Trail  
Ellicott City, MD 21042

**RE: Waiver Approval**  
11605 Log Jump Trail  
Ellicott City, MD 21042

Dear Mr. Bradley:

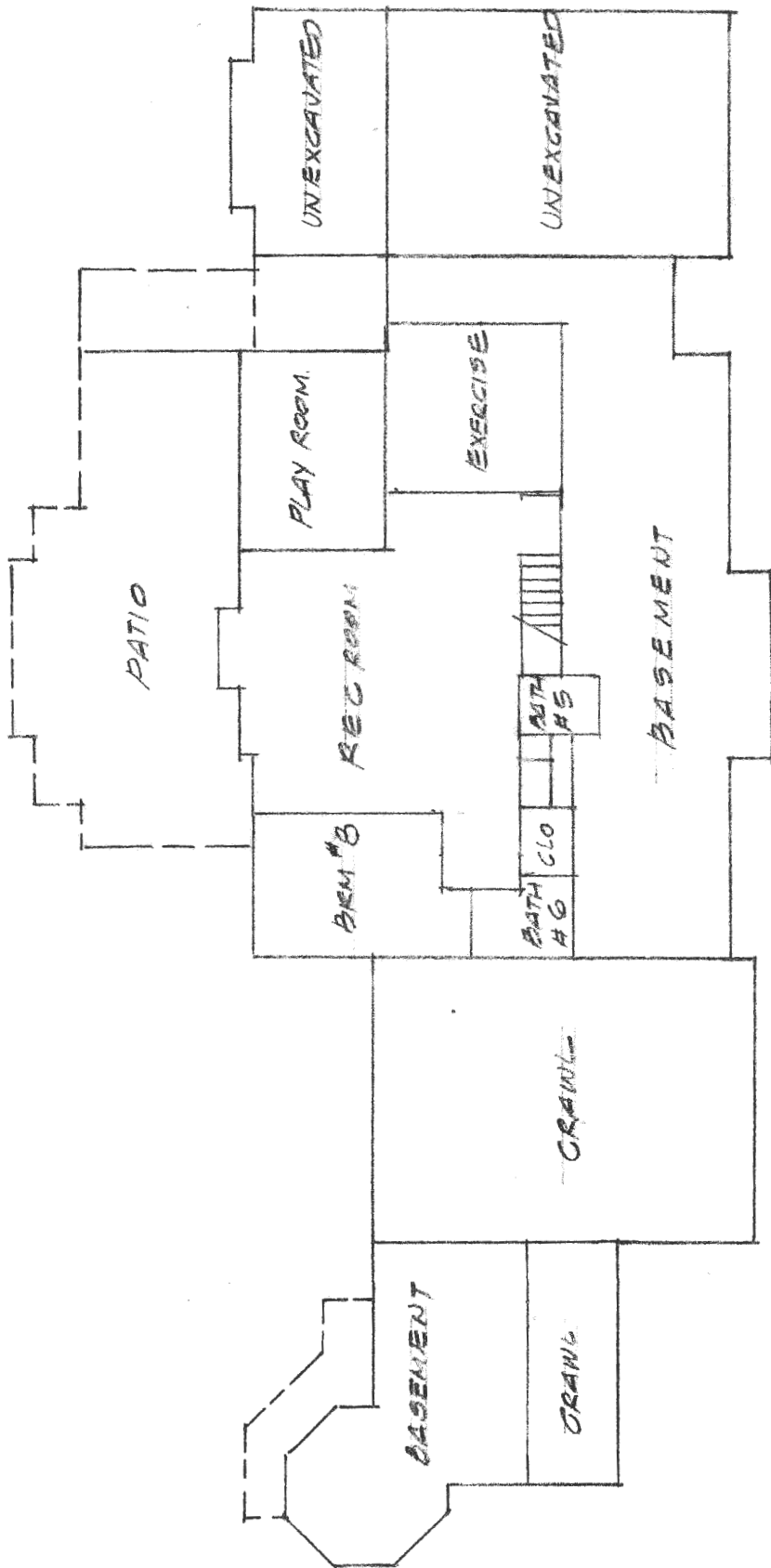
This letter is being issued in response to your waiver request. This agency has **approved** the waiver to the required Percolation Certification Plan and perc testing to establish a septic reserve area as required by the *Howard County Code, Subtitle 8, Section 3.805*. While there is no Perc Certification Plan on file for this property, there is a plan with designated disposal area and soil profiles in our records. The addition does not impact the area available for future on-site sewage disposal system repairs. Any deviations from the site plan submitted with the building permit will be subject to further review by this Department.

Any questions regarding this decision may be directed to the Well and Septic Program of the Howard County Health Department.

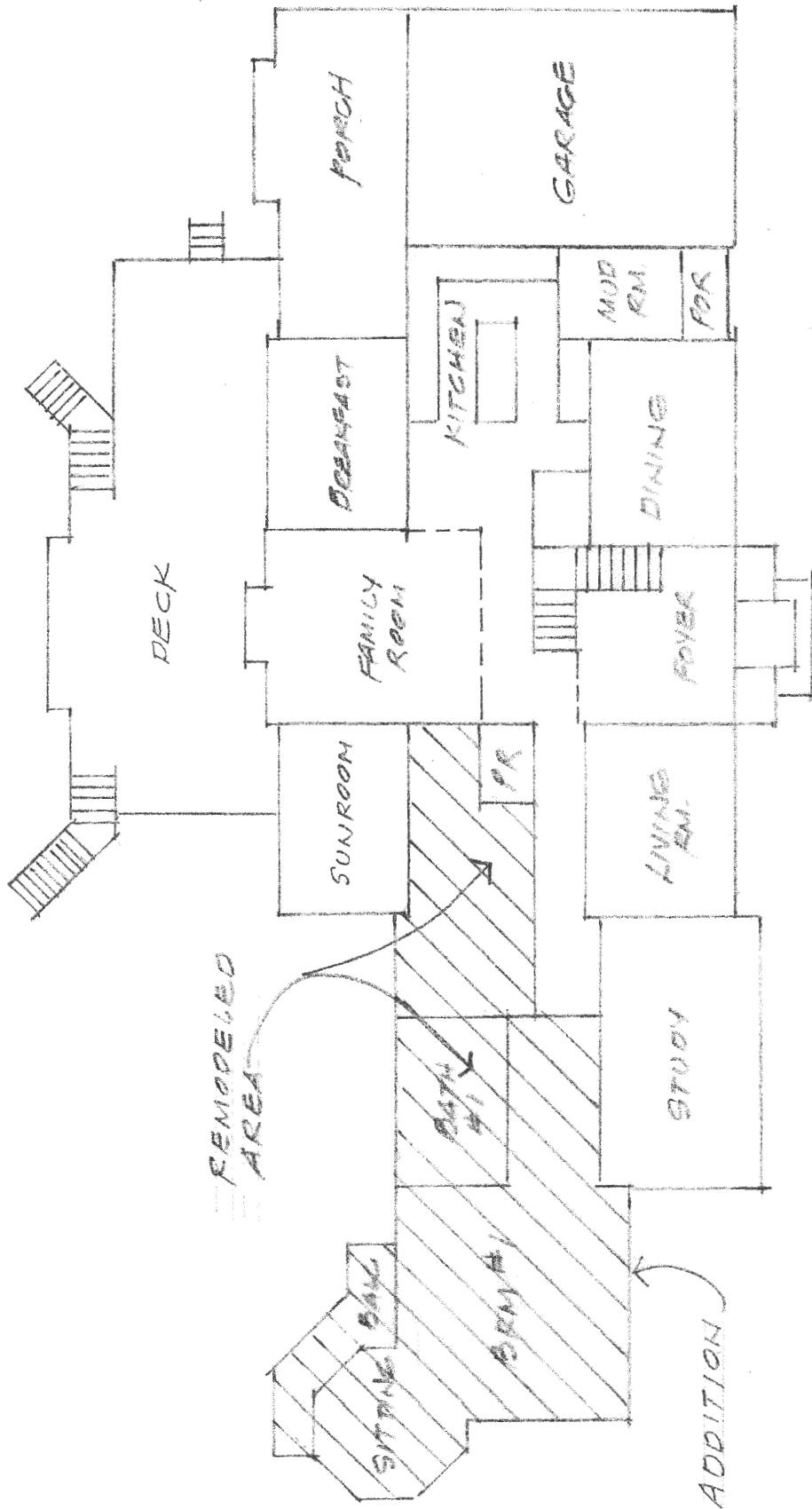
Respectfully,

A handwritten signature in black ink that reads 'Michael J. Davis'.

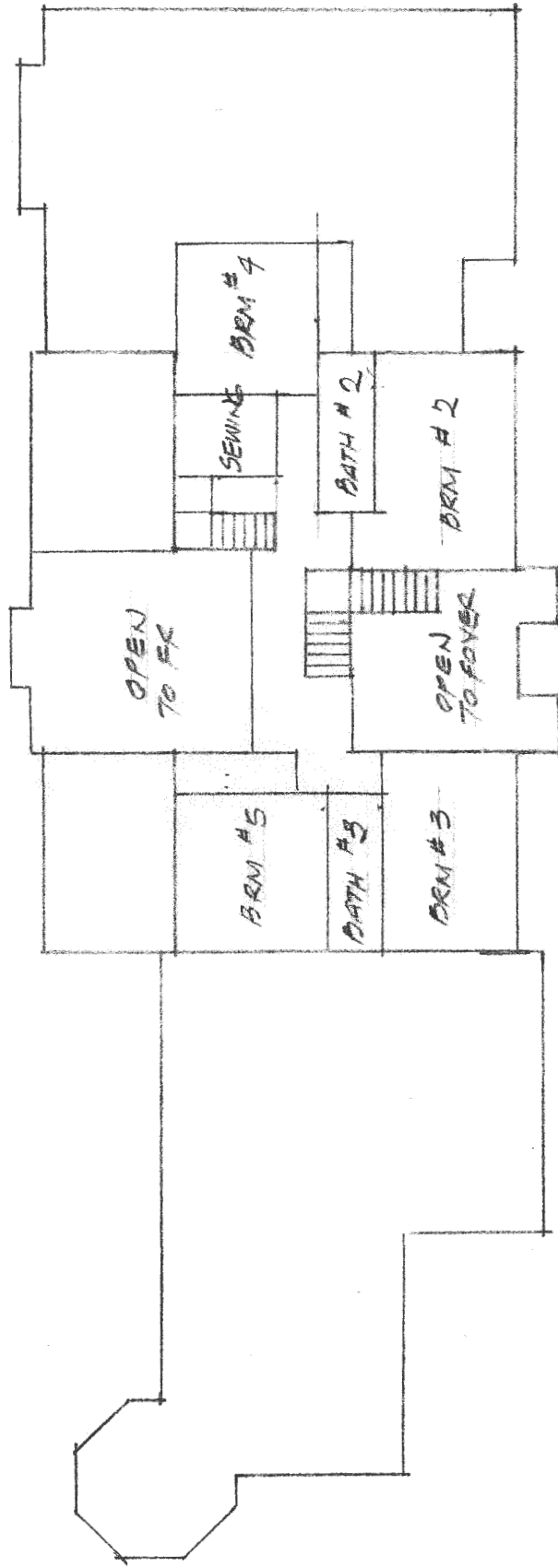
Michael J. Davis  
Assistant Director  
Bureau of Environmental Health



BASEMENT FLOOR PLAN 11-16-01  
BRADLEY RESIDENCE

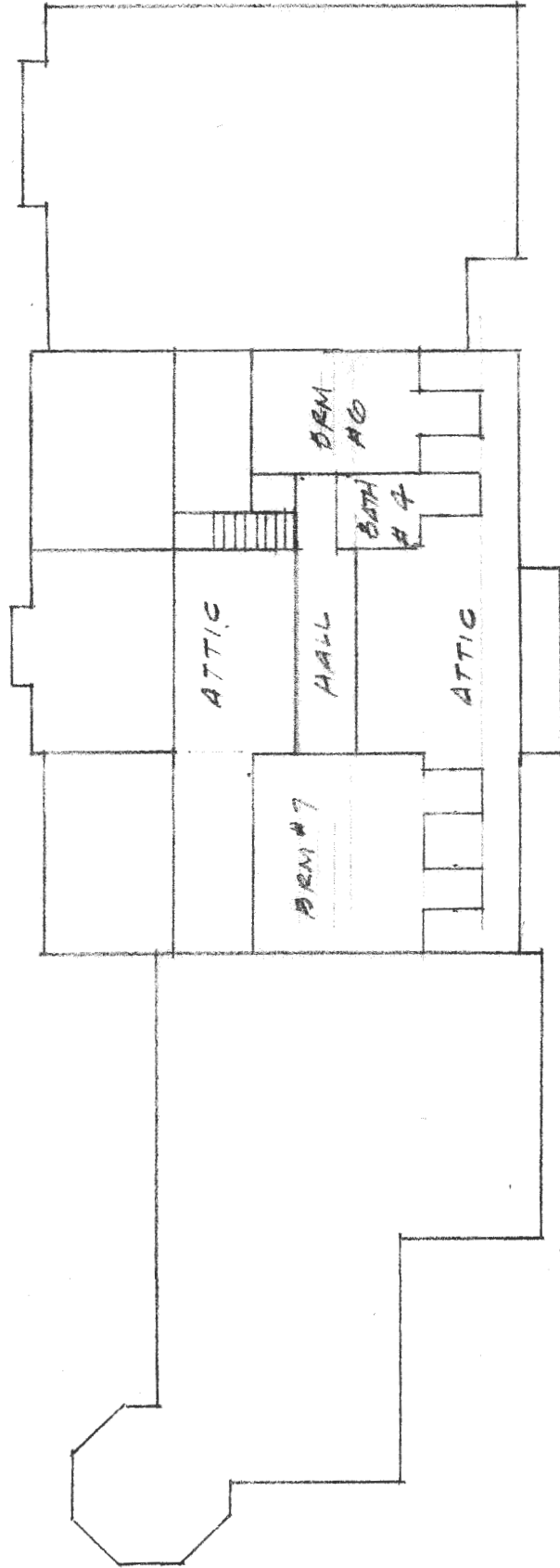


FIRST FLOOR PLAN 11-16-01  
 BRADLEY RESIDENCE

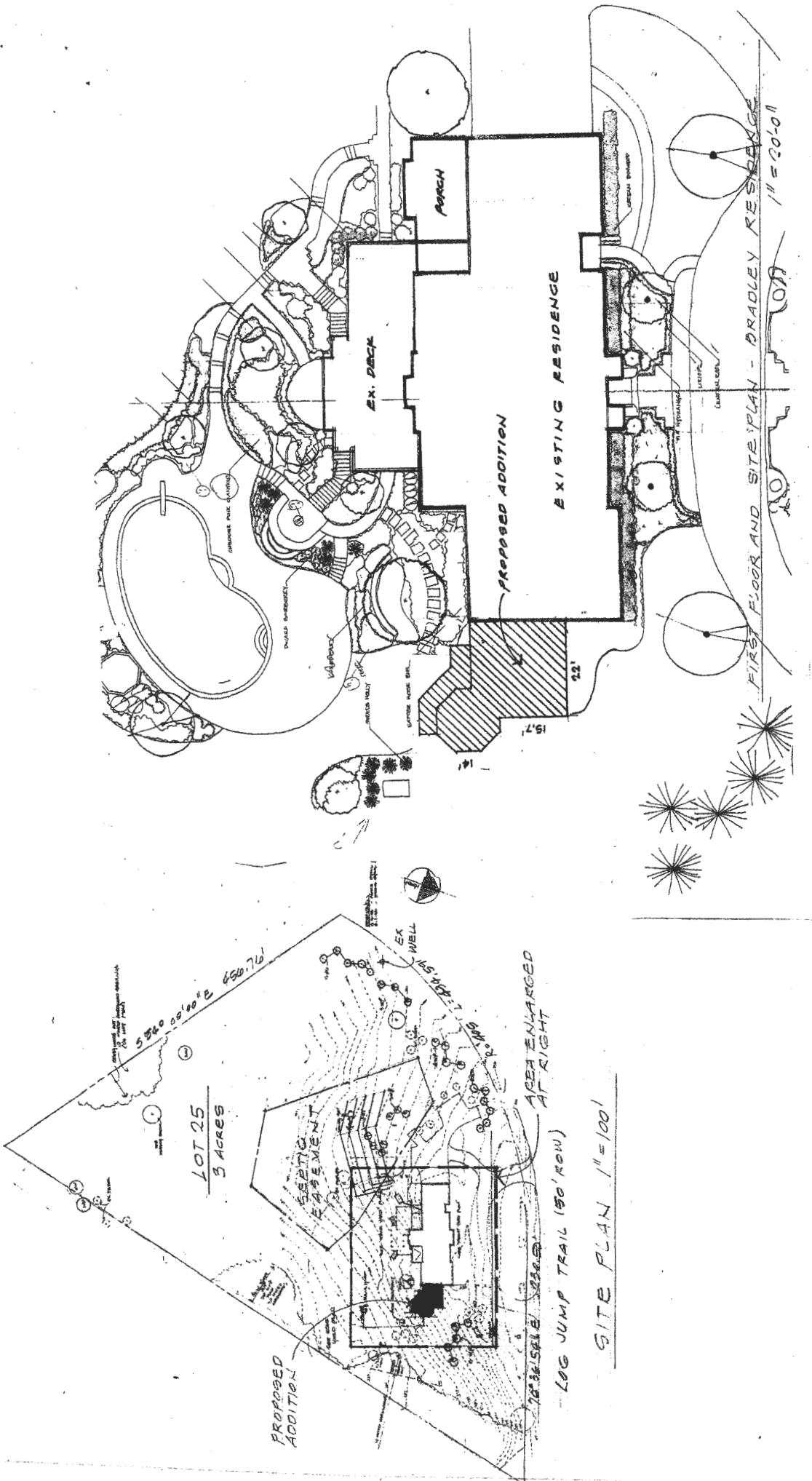


SECOND FLOOR PLAN 1" = 16'-0"  
BRADLEY RESIDENCE

2-21-16

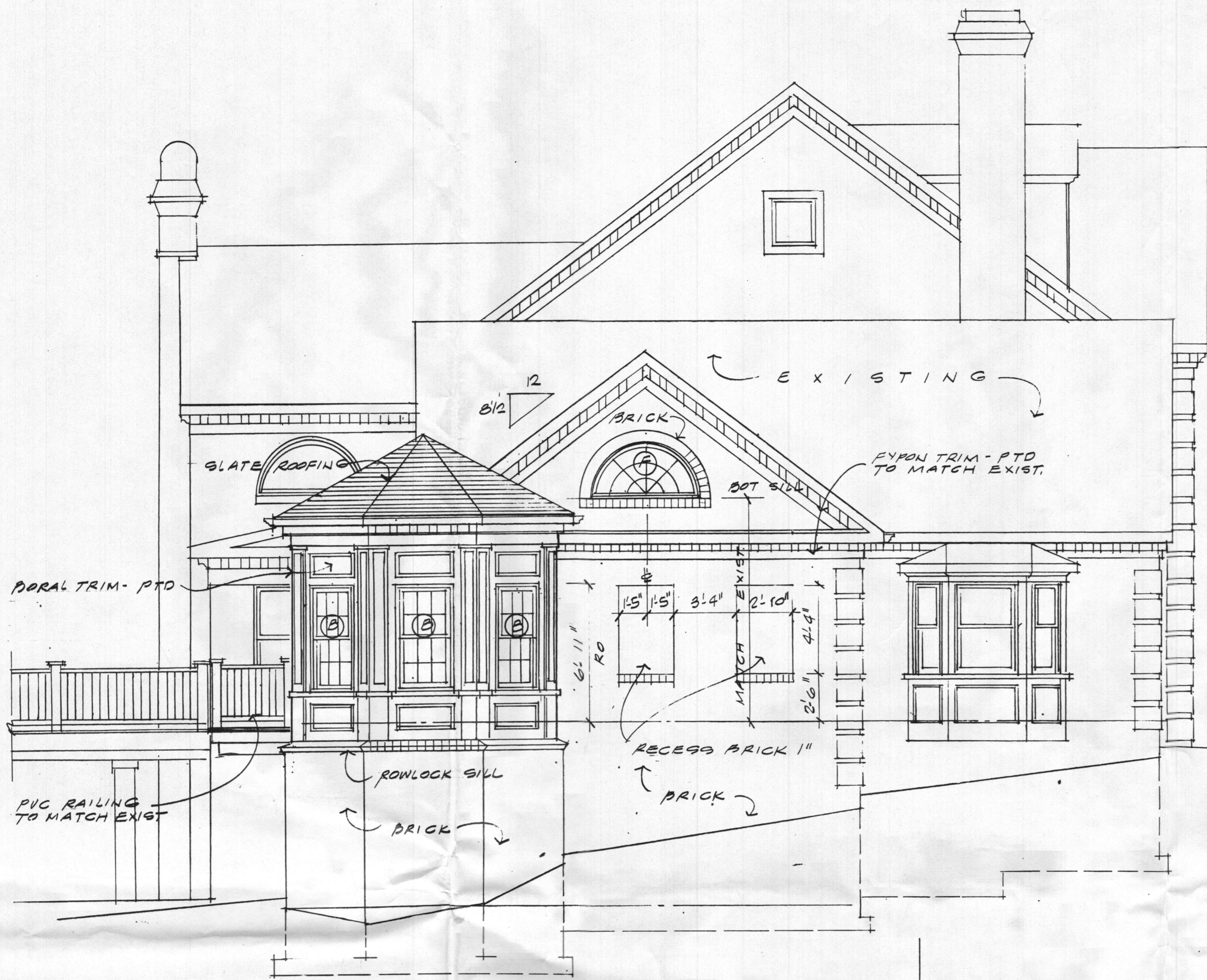


THIRD FLOOR PLAN 11-16-01  
BRADLEY RESIDENCE

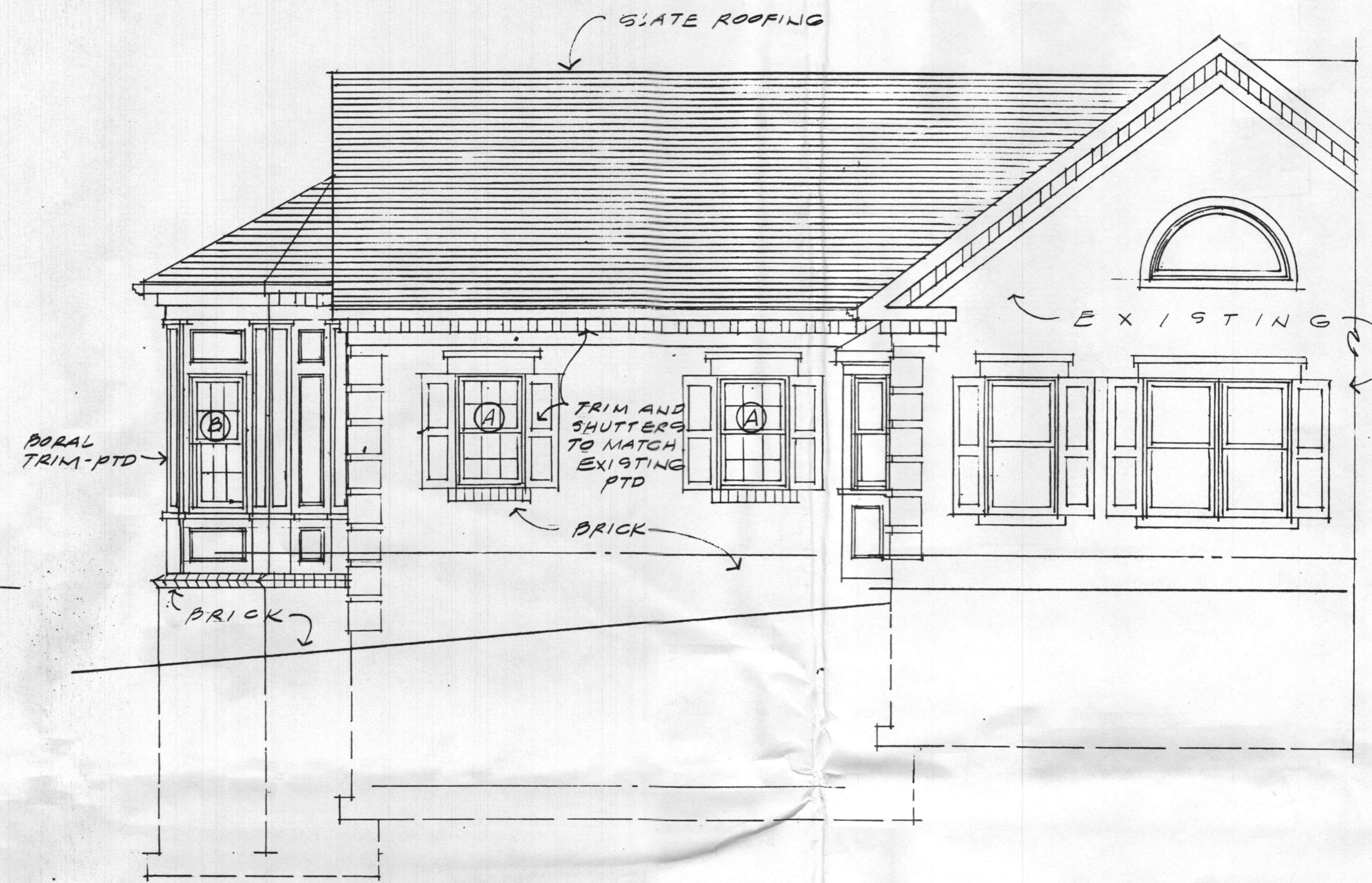


PROPOSED ADDITION - BRADLEY RESIDENCE

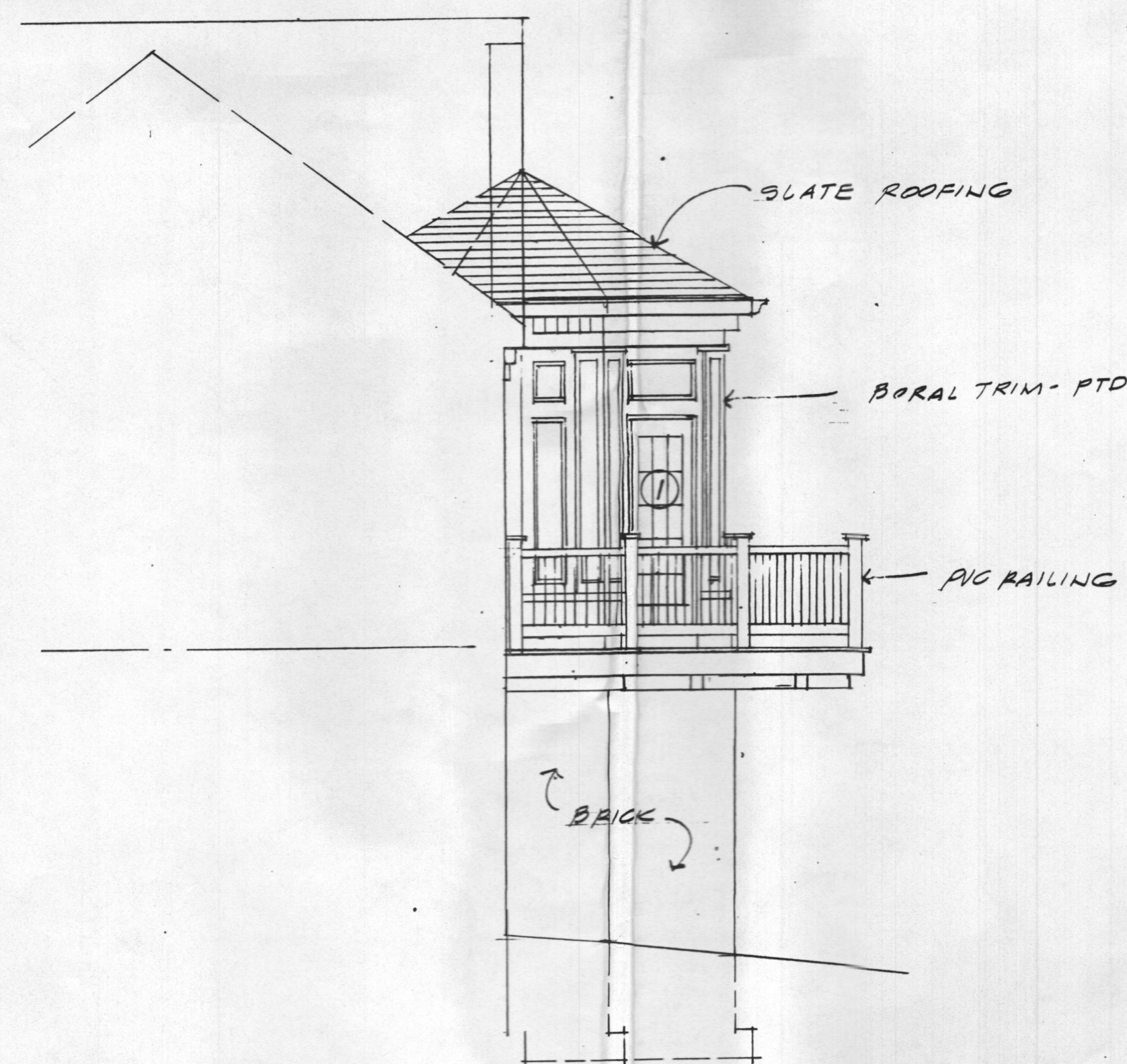
R-21-16



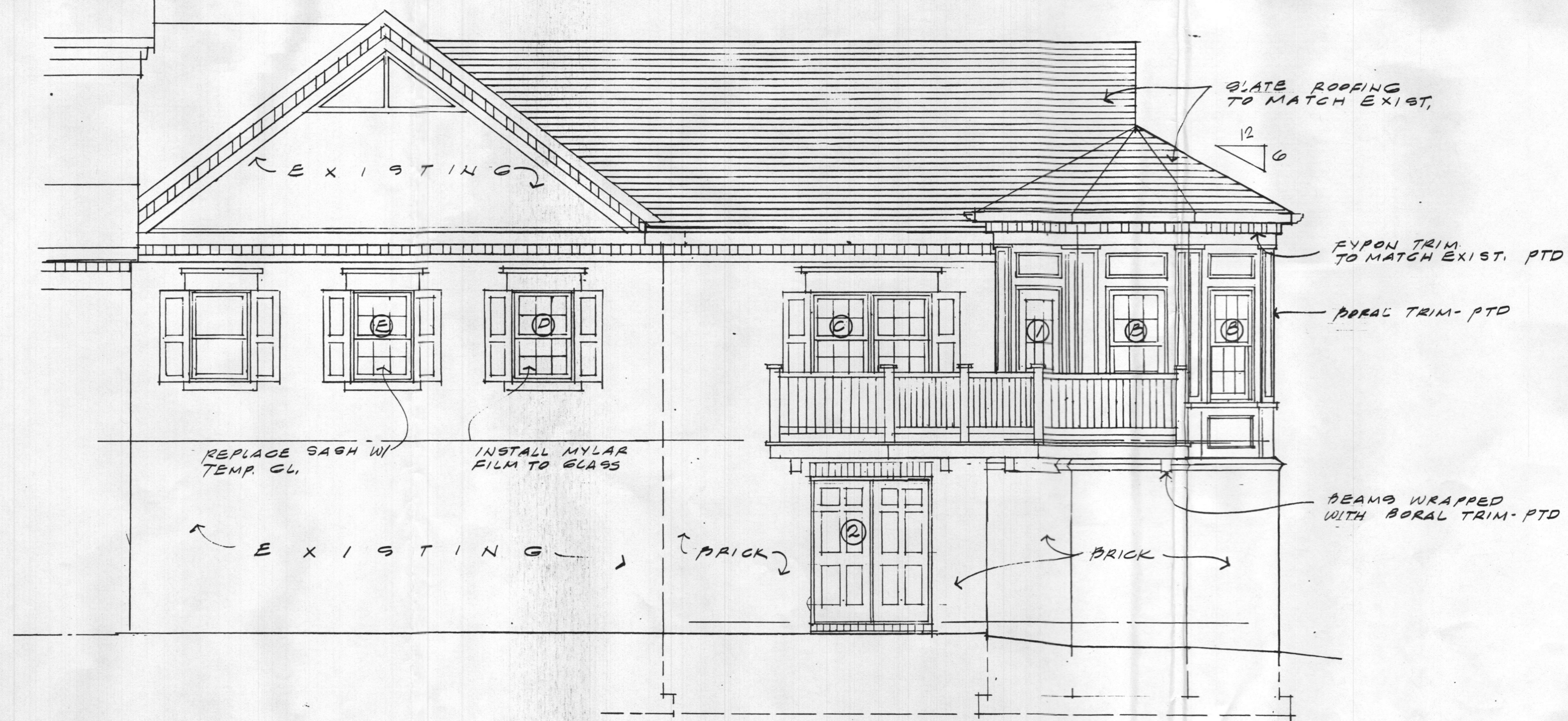
LEFT SIDE ELEV. 1/4" = 1'-0"



PARTIAL FRONT ELEV. 1/4" = 1'-0"



SIDE ELEV. 1/4" = 1'-0"



PARTIAL REAR ELEV. 1/4" = 1'-0"

NO.	DESCRIPTION

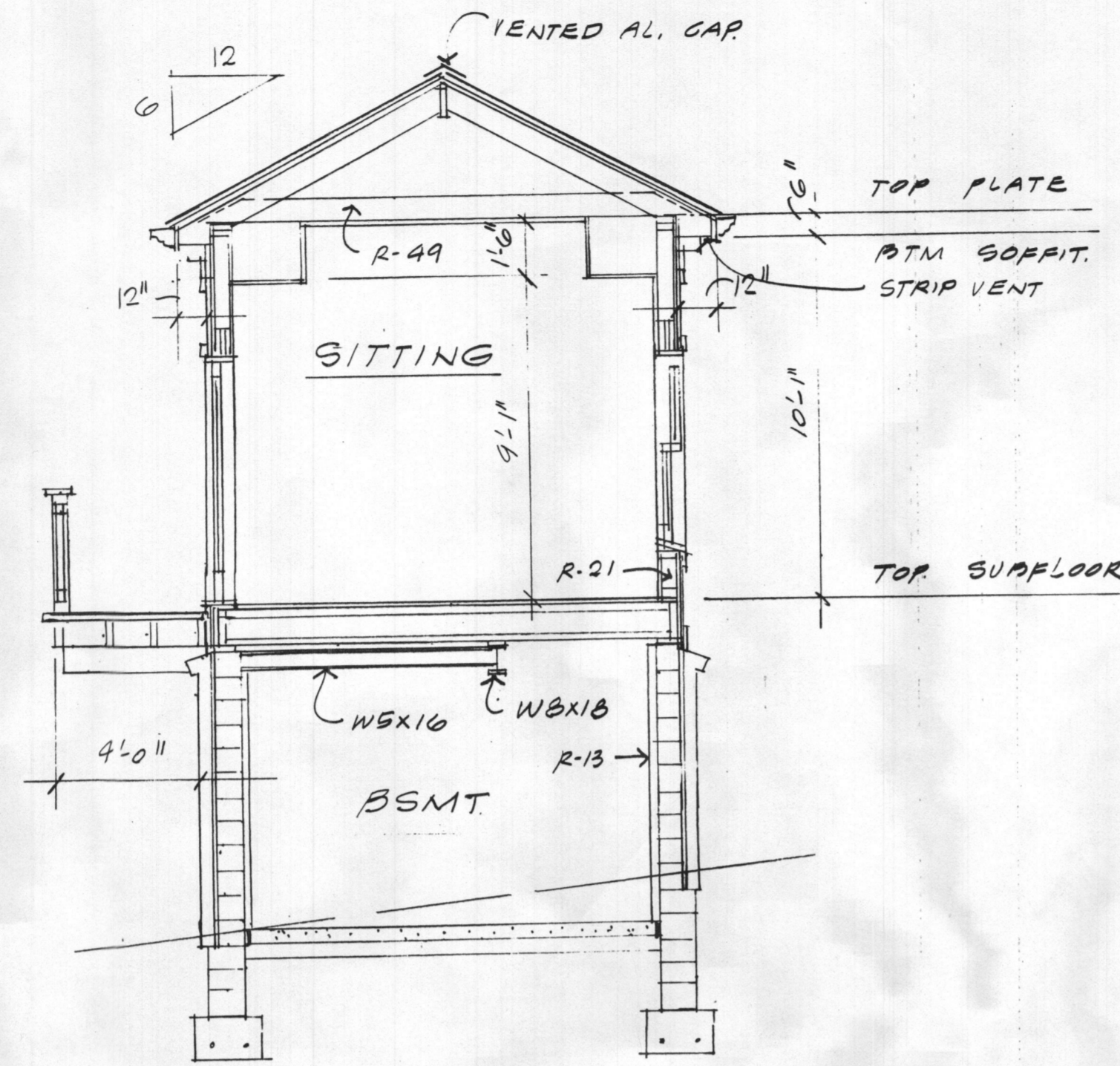
MASTER BEDROOM EXPANSION - BRADLEY RES  
 11605 LOG JUMP TRAIL - ELLICOTT CITY, MD 21042

**CRAIG STEWART**  
 ARCHITECT  
 3805 OLD COLUMBIA PIKE  
 ELLICOTT CITY, MD 21042  
 (410) 485-7827

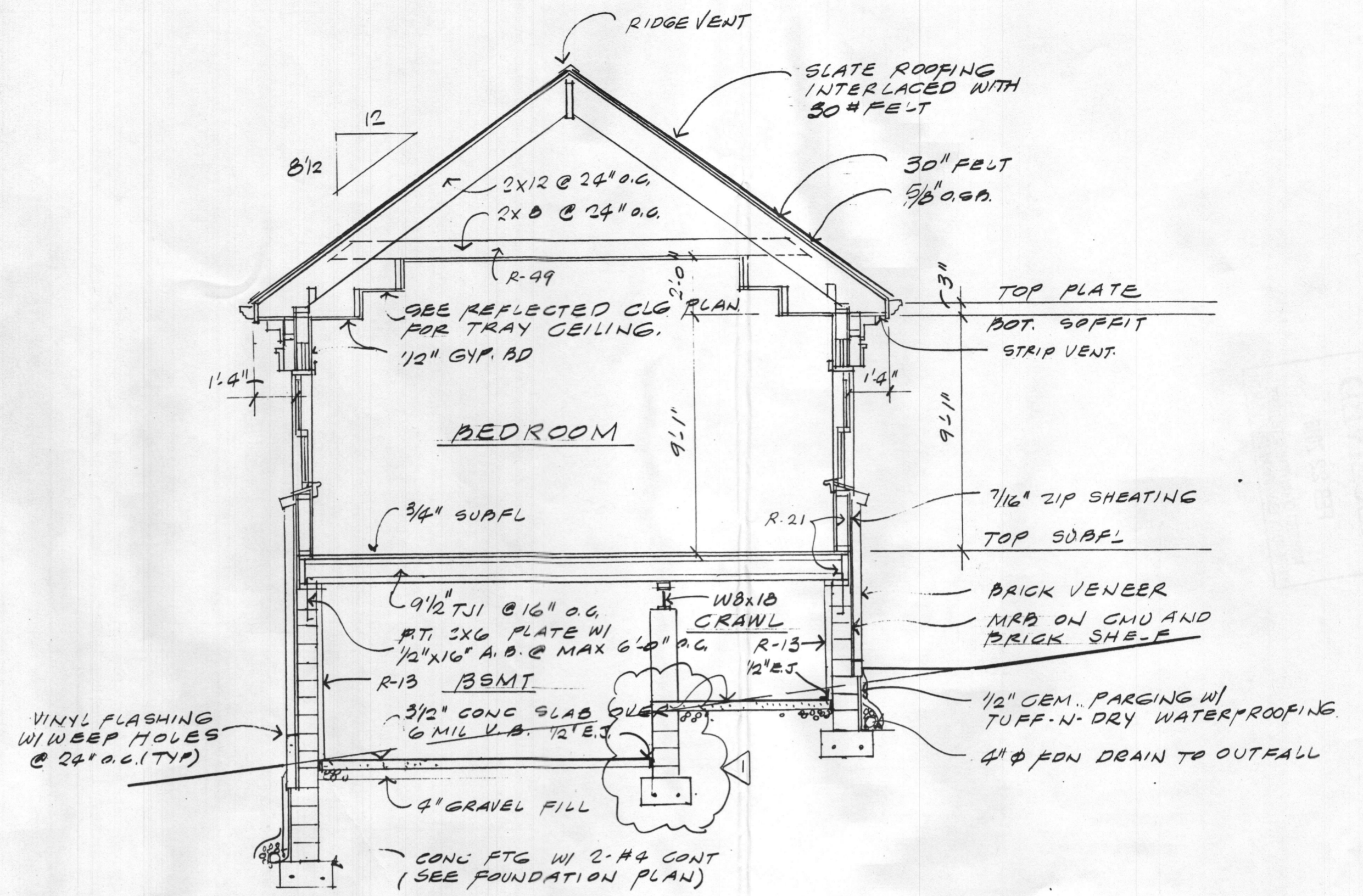
DATE: 2-5-16  
 SCALE:  
 JOB NO: 22-15  
 SHEET  
 1  
 OF 4 SHEETS

PRINT-STAT

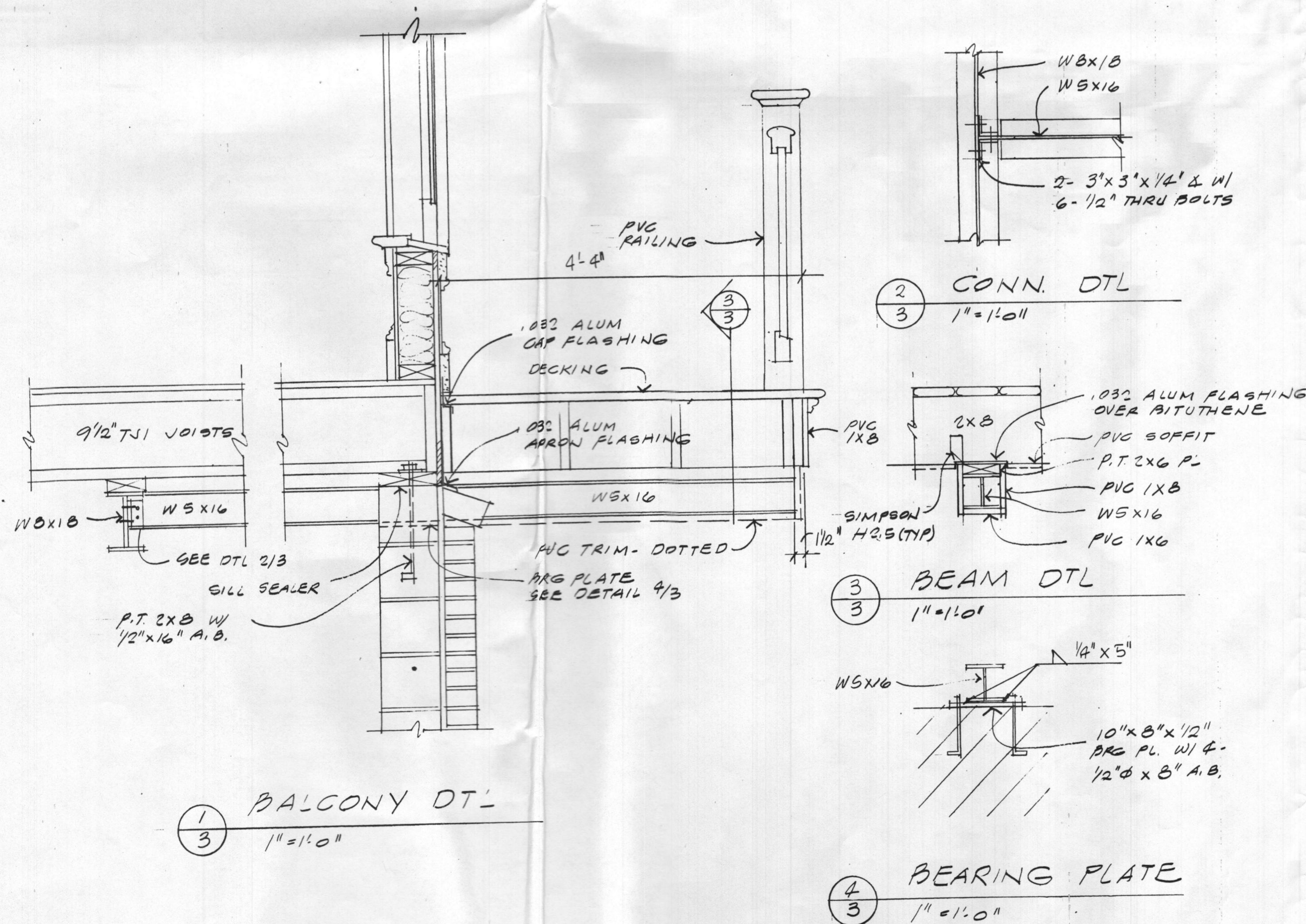




SECTION A' 1/4" = 1'-0"



SECTION B' 1/4" = 1'-0"



1/3 BALCONY DTL 1/4" = 1'-0"

2/3 CONN. DTL 1/4" = 1'-0"

3/3 BEAM DTL 1/4" = 1'-0"

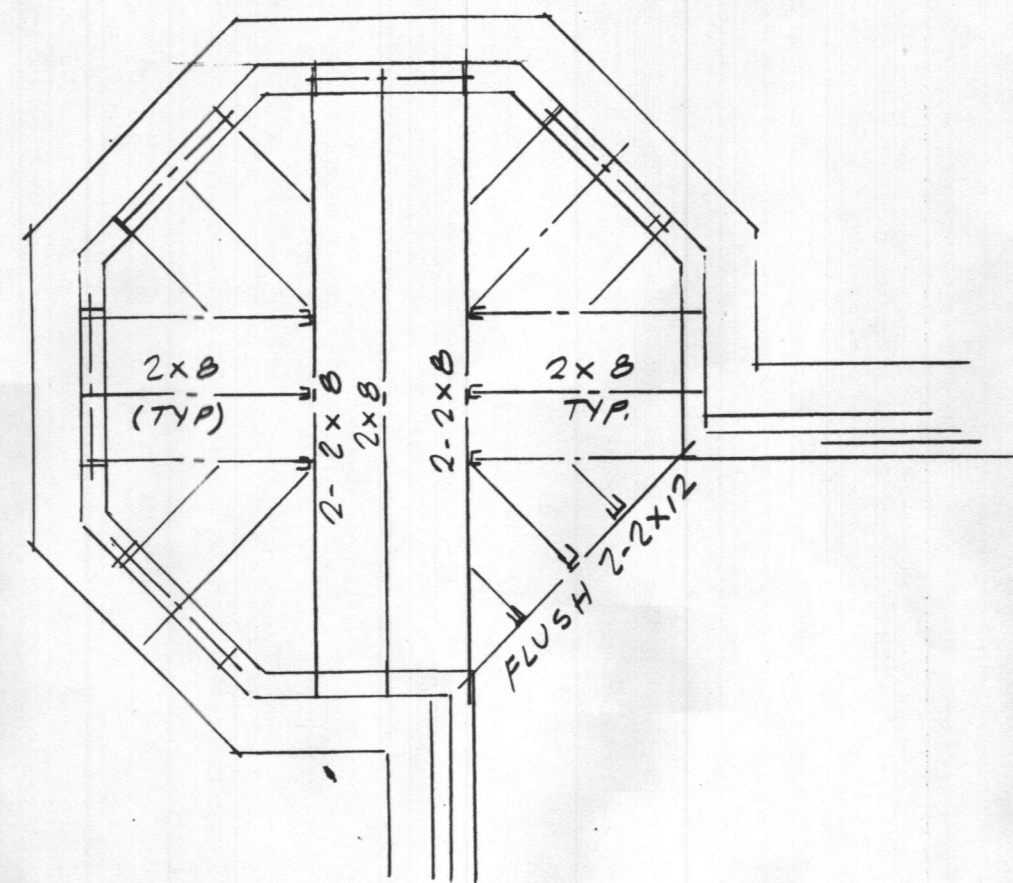
4/3 BEARING PLATE 1/4" = 1'-0"

REVISIONS  
 1 2-10-16 CRAWL SPACE

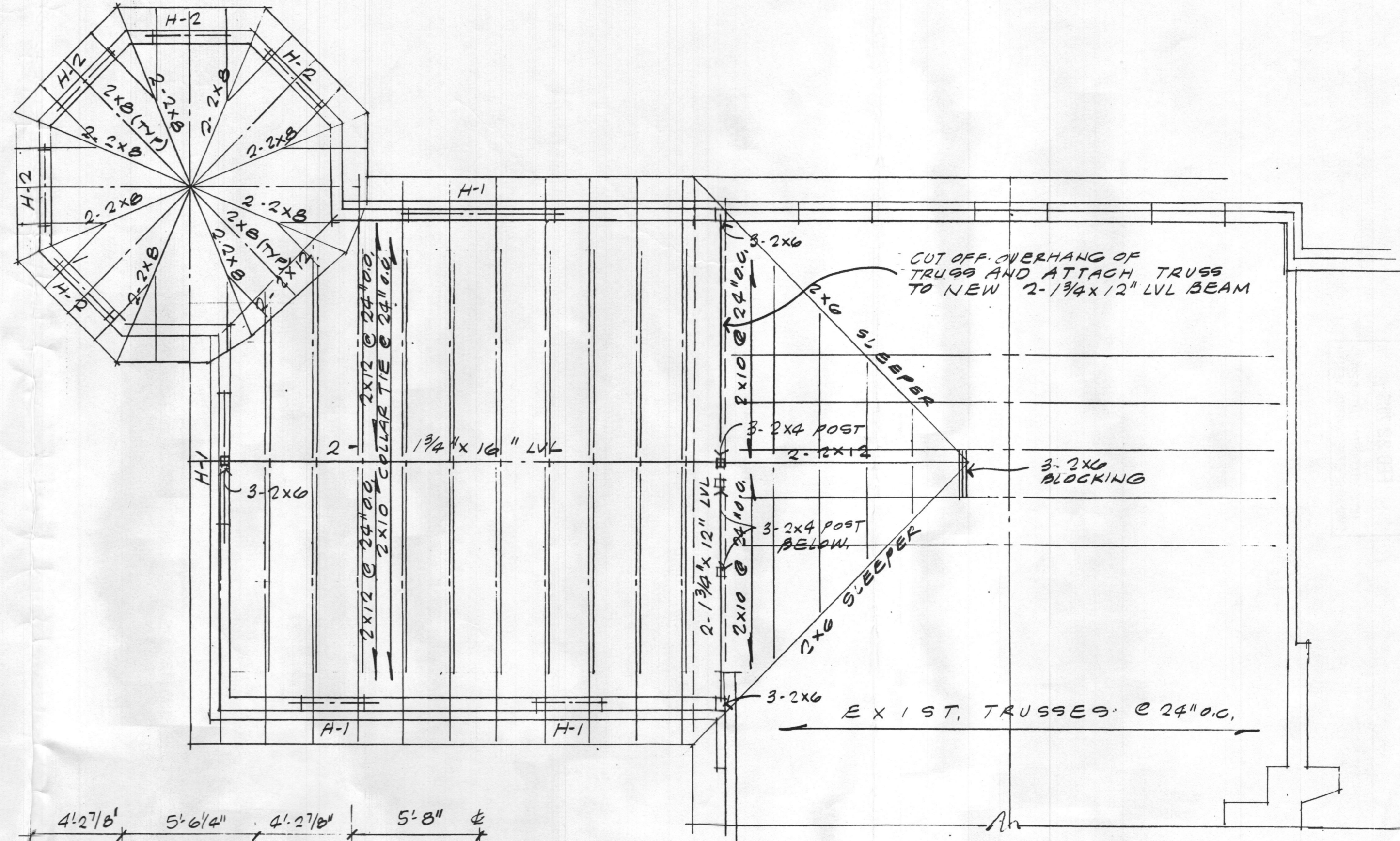
MASTER BEDROOM EXPANSION - BRADLEY RES  
 11605 LOG JUMP TRAIL - ELLICOTT CITY, MD 21042



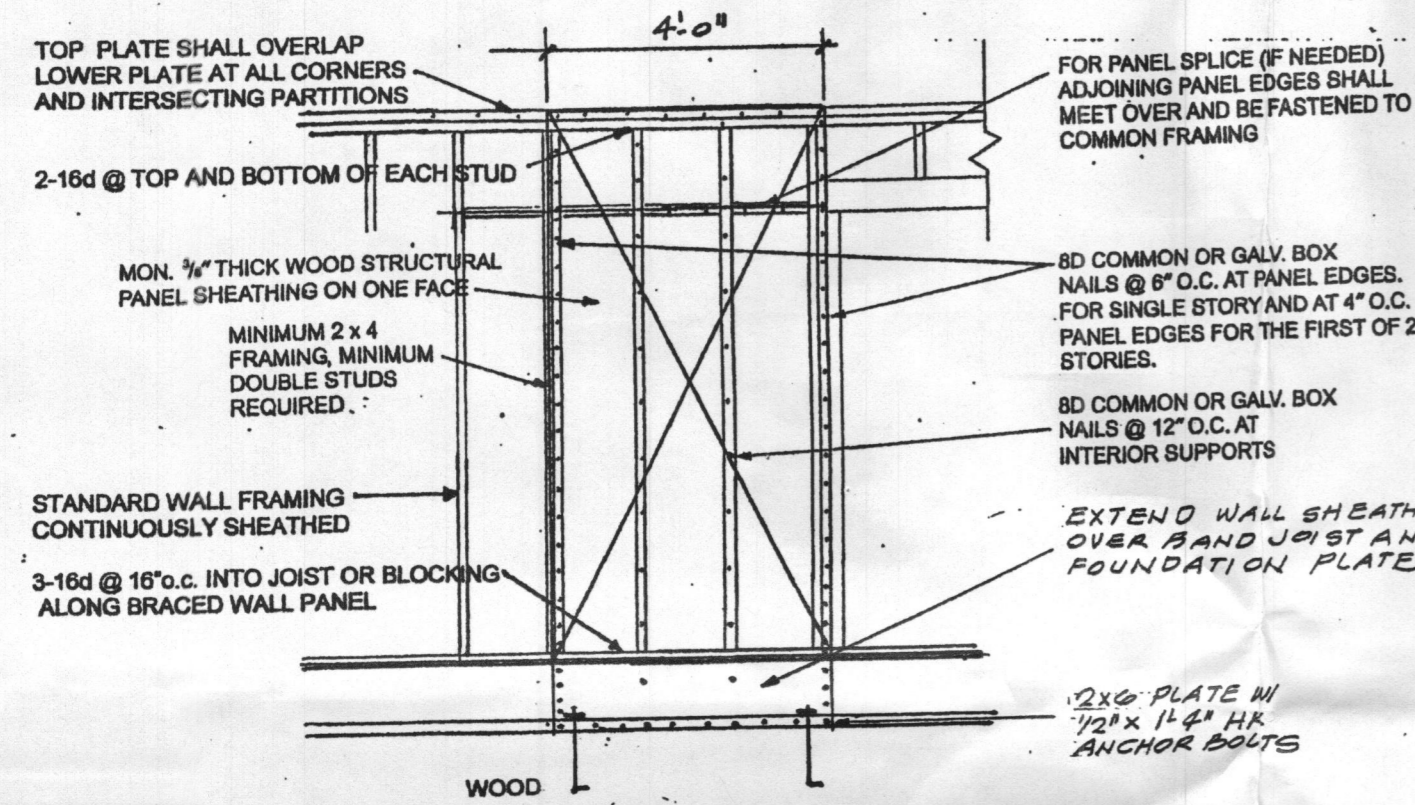
DATE: 2-5-16  
 SCALE:  
 JOB NO: 22-15  
 SHEET  
 3  
 OF 4 SHEETS



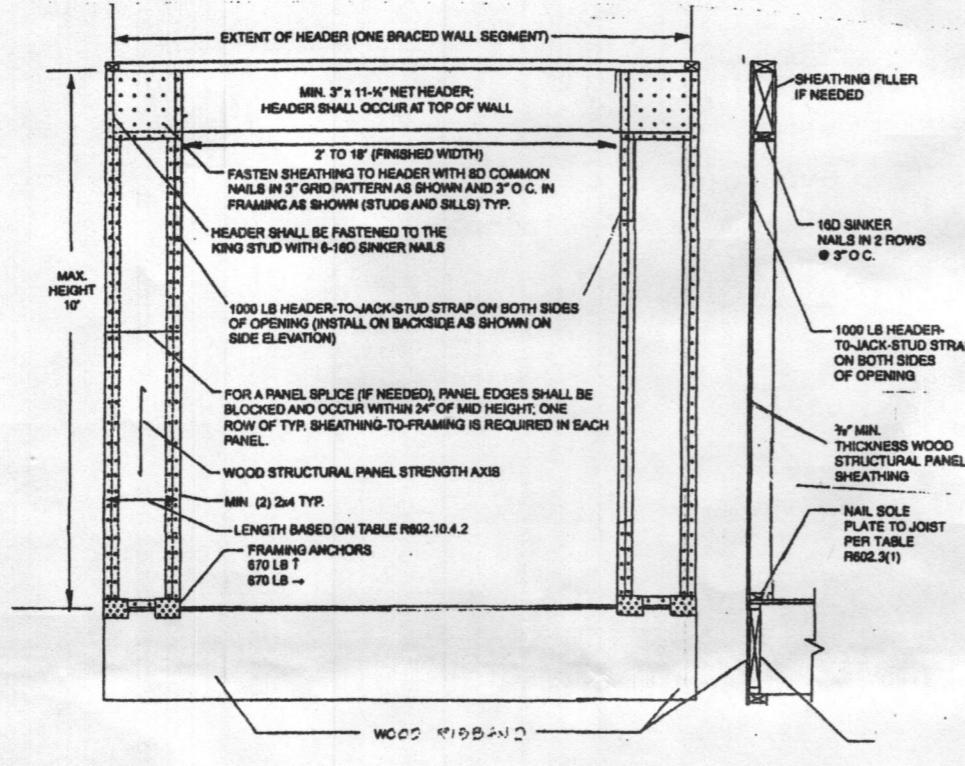
SITTING ROOM  
CEILING FRAMING  
1/4" = 1'-0"



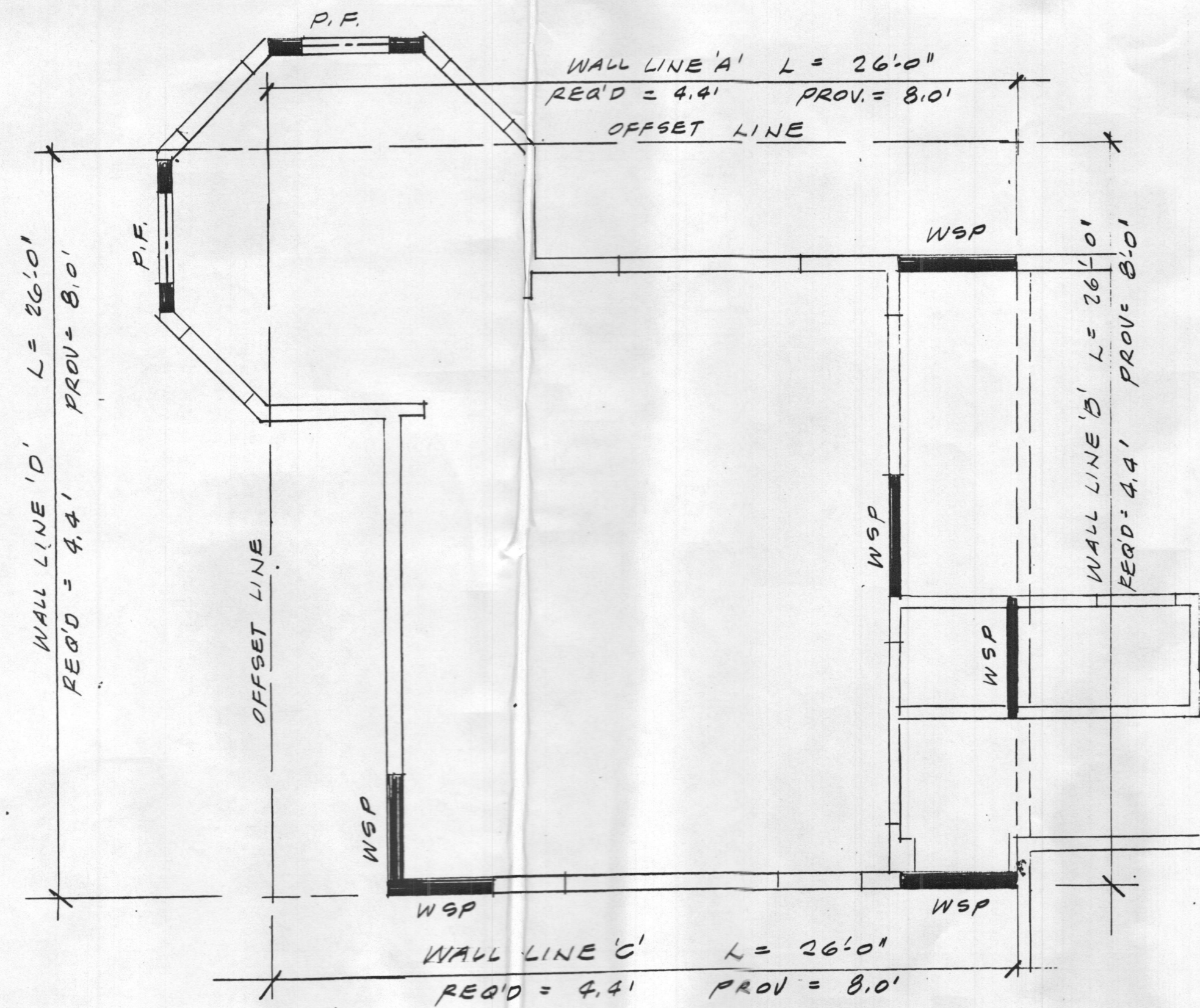
ROOF FRAMING PLAN 1/4" = 1'-0"



(WSP) STANDARD BRACED WALL PANEL



ELEVATION (PF) PORTAL FRAME

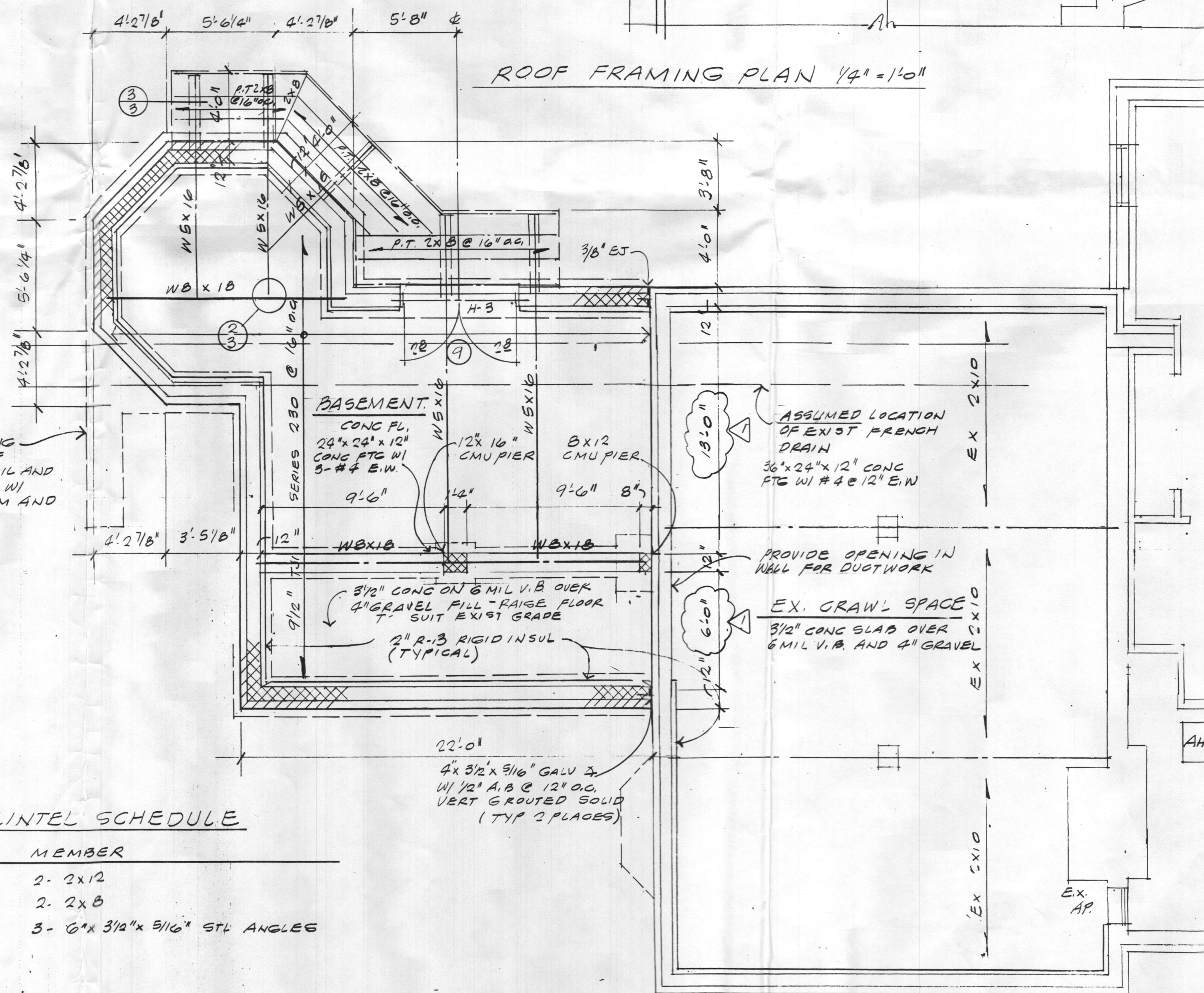


WALL BRACING PLAN 1/4" = 1'-0"

EXTEND FOOTING ONTO MIN. 48" OF UNDISTURBED SOIL AND REINF FOOTING W/ 4-H #4 AT BOTTOM AND AT TOP

LINTEL SCHEDULE

MARK	MEMBER
H-1	2 - 2x12
H-2	2 - 2x8
H-3	3 - 6"x 3 1/2"x 5/16" STL ANGLES



FOUNDATION AND FIRST FLOOR FRAMING PLAN 1/4" = 1'-0"

REVISIONS  
1 2-18-16 CHANGE CRAWL SPACE

MASTER BEDROOM EXPANSION - BRADLEY RES  
11605 LOG JUMP TRAIL ELLICOTT CITY, MD 21042



DATE: 2-5-16  
SCALE:  
JOB NO: 22-15  
SHEET