

PERMIT NUMBER: B 21003387

DATE ACCEPTED: 9/3/21



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 6509 Mare Ct.		Unit:
City: DIXON	State: MD	Zip Code: 21030
Subdivision/Village/Complex Name: WILLOWSHIRE		SDP/WP/BA #:
Lot: 11	Tax Map:	Parcel:
		Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use:	Proposed Use: DECK	Estimated Cost: \$ 3500
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None 14.5' x 16' Trex deck w/ Trex railing 4' x 14' Steps		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): 7011 BRDS	Primary Residence: <input type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 7164 Columbia Gateway Dr #230	
City: Columbia	State: MD
Phone:	Zip Code: 21046
Email:	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Seneca Valley Builders	Contact Name: Kelly Fox
Street Address: 41359 Blaise Hamlet Ln	
City: Leesburg	State: VA
Phone: 240 994-8797	Zip Code: 20176
Email: Kelly@SenecaValleyBuilders.com	

CONTRACTOR INFORMATION REQUIRED

Business Name: Seneca Valley Builders	License #: 96538	exp: 11/24/22
Licensee's Name: Ray Bodner	Street Address: 2520 West Ross Hill Rd	
City: Knoxville	State: MD	Zip Code: 21158
Phone: 301-606-7195	Email: 111532@adl.com	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Zip Code:
Email:	

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input type="checkbox"/> No
Utilities: <input type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:				
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms:	# Full Baths:	# Half Baths:	# Fireplaces:	
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width:	1st Fl Depth:	2nd Fl Width:	2nd Fl Depth:	Bsmt Width:
Bsmt Depth:				
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: sq ft	Occupiable Area: sq ft	

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: Kelly Fox DATE SIGNED: 9/3/21

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:				
<input type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health U. Oswald	<input type="checkbox"/> SHA
<input type="checkbox"/> CID	SUBMITTAL FEES: 55			PAYMENT: <u>paid on line</u>
ACCEPTED BY: <u>[Signature]</u>				

From: egeiger@tollbrothers.com,

To: jbjr32@aol.com,

Subject: FW: lot 11 Willowcreek

Date: Fri, Aug 27, 2021 11:22 am

Attachments: 4520 PP Lot 11 (Signed 02-03-21).pdf (538K), 4520 Approved OSDS Lot 11 (Signed 06-30-21).pdf (8579K),

Eric Geiger

Landscape Design/Sales, D.C.Metro

Toll Brothers – Toll Landscape

4641 Sudley Road

Catharpin, VA 20143

Office: (571) 992-0411

tolllandscape@tollbrothers.com



SEPTIC TANK
INFO:

From: Ryan Ketner <rketner@eseconsultants.com>

Sent: Friday, August 27, 2021 11:20 AM

To: Eric Geiger <egeiger@tollbrothers.com>

Subject: RE: lot 11 Willowcreek

Lot 11 is a BAT System with a pump tank, essentially 2 tanks cause we have to pump the stuff up hill from the tank. You might be used to seeing the tank that says septic in it, that's a regular tank that gravities from the tank to the septic disposal area. On this one the is labeled BAT because that type of tank is called "Best Available Technology" that has cleaner stuff going into the pump tank, then the pump tank pumps that effluent to the distribution box or septic area.

Also attached is the approved septic plan so you can see. The Septic tank is the BAT tank and the Pump tank, there are 2 tanks on this Lot and any lots that have to pump.

Menu Save Reset Cancel Help

Record Detail (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21003328	09/07/2021
Description of Work		
SFD/ INSTALL (1) 1000GAL UNDERGROUND PROPANE TANK		

check spelling

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
6509	MARE	CT	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.99966	39.22797
City	State	Zip Code	Primary
DAYTON	MD	21036	Yes

Approved 9/7/21
AA

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11060769		0	0	0	0	RURAL

Legal Description

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
13	11	805101	5				

Plan Area	State Tax Id	Subdivision Name	
		Willowshire	
Section	Area	Tax Map	
		28	
Grid	Zoning District	ADC Map	
28-13	RR-DEO	4933-A4	
SDP No.	Final Plan No.	WP File No.	
	ECP-16-025		
Record Plat No.	WS Contract No.	FDP No.	Primary
25500-2550			Yes
Owner Occupied	Year Built	Historic District	
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	
Historic District Registry No.	Stat Area	Flood Plain	
	5-01	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Building No			

Owner (This section is required.)

Search Reset Clear

Name *

TOLL MID ATLANTIC LP COMPANY INC

Address Line 1

250 GIBRALTAR RD

Address Line 2

Address Line 3

Mail City

HORSHAM

Mail State

PA

Mail Zip Code

19044

Phone

410-872-9105

Primary

Yes

E-mail

Cell Number

Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # *	Business Name		
20100103851	THE H.J. POIST GAS COMPANY, INC		
License Type *	First Name	Middle Name	Last Name
Propane Gs	SEAN	MICHAEL	UNDERWOOD
Primary	Address Line 1		
Yes	360 MAIN STREET		
	Address Line 2		
	City	State	ZIP Code
	LAUREL	MD	20707-0000
	Phone 1	Phone 2	Fax
	4434149582		
	E-mail		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	MICHELLE		CLANCY
Relationship	Full Name		
Applicant	MICHELLE CLANCY		
Primary	Organization Name		
Yes	APPLIED & APPROVED PERMITS LLC		
	Street Address		
	P.O. BOX 310		
	Address Line 2		
	City	State	Zip Code
	PERRY HALL	MD	21128
	Phone	Cell	Fax
	443-340-1229		
	E-mail *		
	MICHELLE@APPLIEDANDAPPROVED.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
3000	0	0	No
Construction Type			
--Select--			

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	3/6/2022	0	

PAYMENT INFORMATION

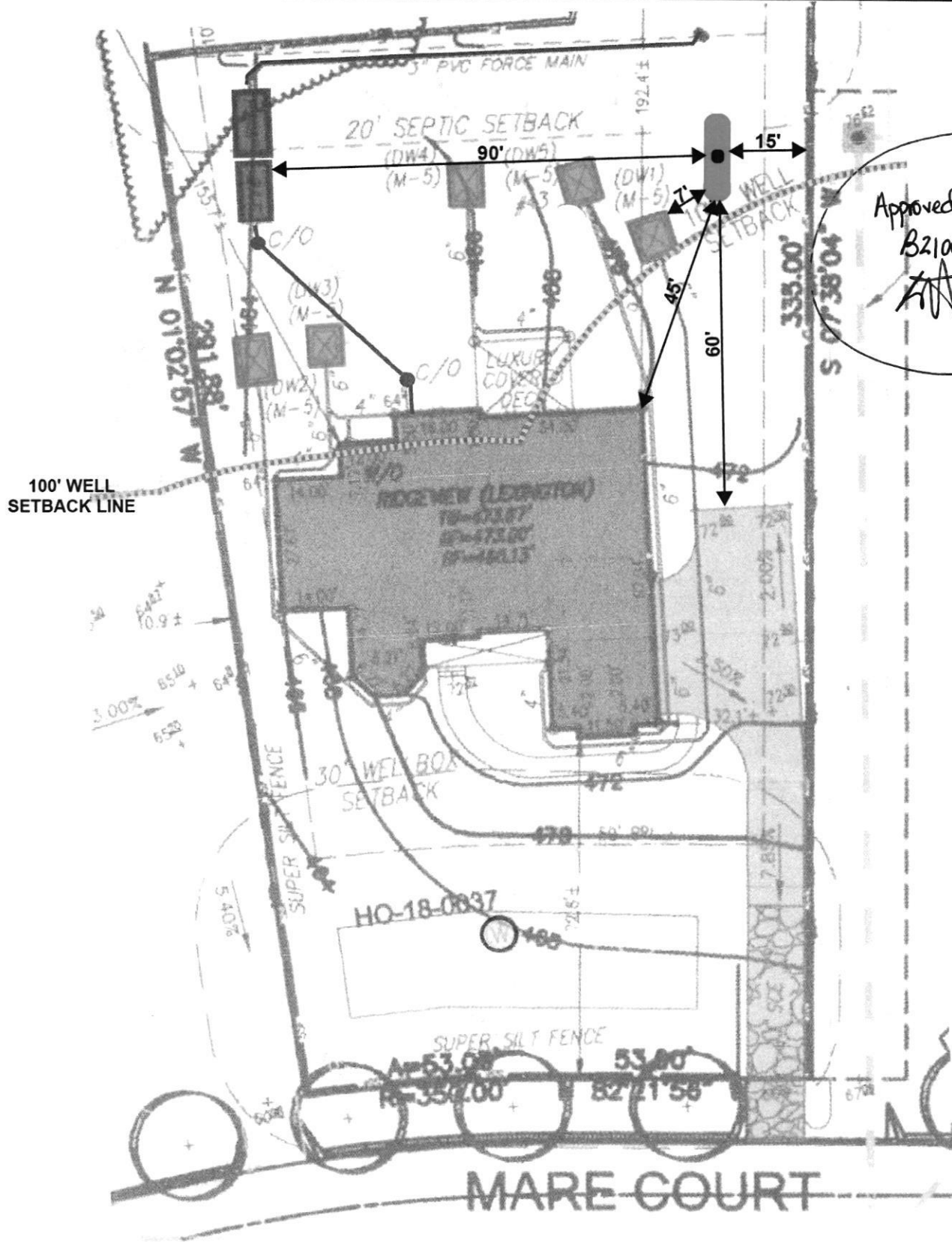
Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit Cancel



1,000-GALLON UNDERGROUND TANK LOCATION PLAN
LOT # 11 WILLOWSHIRE SUBDIVISION
6509 MARE COURT, DAYTON, MD 21036

POIST GAS COMPANY ~ 360 MAIN ST., LAUREL, MD 20707 ~ (301) 725-3232 ~ WWW.POISTGAS.COM



Approved for LP tank
 B21003328
 AA 9/7/21

SCALE 1" = 30'

Bricker, Robert

From: Michael Boyce <MBOYCE@eseconsultants.com>
Sent: Wednesday, July 14, 2021 2:20 PM
To: Bricker, Robert
Cc: Williams, Jeffrey; George Chahal; Ryan Ketner
Subject: Re: Willowcreek lots 9,10 & 11 OSDS issue

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

I am fine with you red lining the plan for this.

Get [Outlook for Android](#)

From: Bricker, Robert <RBricker@howardcountymd.gov>
Sent: Wednesday, July 14, 2021 2:18:25 PM
To: Michael Boyce <MBOYCE@eseconsultants.com>
Cc: Williams, Jeffrey <jewilliams@howardcountymd.gov>; George Chahal <gchahal@tollbrothers.com>; Ryan Ketner <rketner@eseconsultants.com>
Subject: RE: Willowcreek lots 9,10 & 11 OSDS issue

EXTERNAL EMAIL : Use caution with links and attachments

Hello Mike,

We could require a revision of these plans, but we would rather red-line an edit.

Do I have your permission to 'X' the Traffic-Bearing label and to write 'Not Traffic-bearing' next to it?

Robert Bricker, REHS/RS, L.E.H.S.

From: Ryan Ketner <rketner@eseconsultants.com>
Sent: Wednesday, July 14, 2021 12:22 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Cc: Williams, Jeffrey <jewilliams@howardcountymd.gov>; George Chahal <gchahal@tollbrothers.com>; Michael Boyce <MBOYCE@eseconsultants.com>
Subject: FW: Willowcreek lots 9,10 & 11 OSDS issue

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Robert,

Please see the below request from the PM for the Willowshire project. Can they use a non-traffic bearing tank instead of the tanks shown? These took awhile to get approved as it is, please let us know if they can make that change without a revision or if a revision is needed etc.

Thanks,

Ryan Ketner
Designer III – ESE, Survey

ESE Consultants, Inc.

7164 Columbia Gateway Drive, Suite 230, Columbia, MD 21046

P: 410-381-3052 C: 443-889-4429 Fax: 410-872-9141

rketner@eseconsultants.com www.eseconsultants.com

From: George Chahal <gchahal@tollbrothers.com>

Sent: Wednesday, July 14, 2021 12:15 PM

To: Ryan Ketner <rketner@eseconsultants.com>; Michael Boyce <MBOYCE@eseconsultants.com>

Cc: Ryan Frick <ryan@chavisenterprisesllc.com>

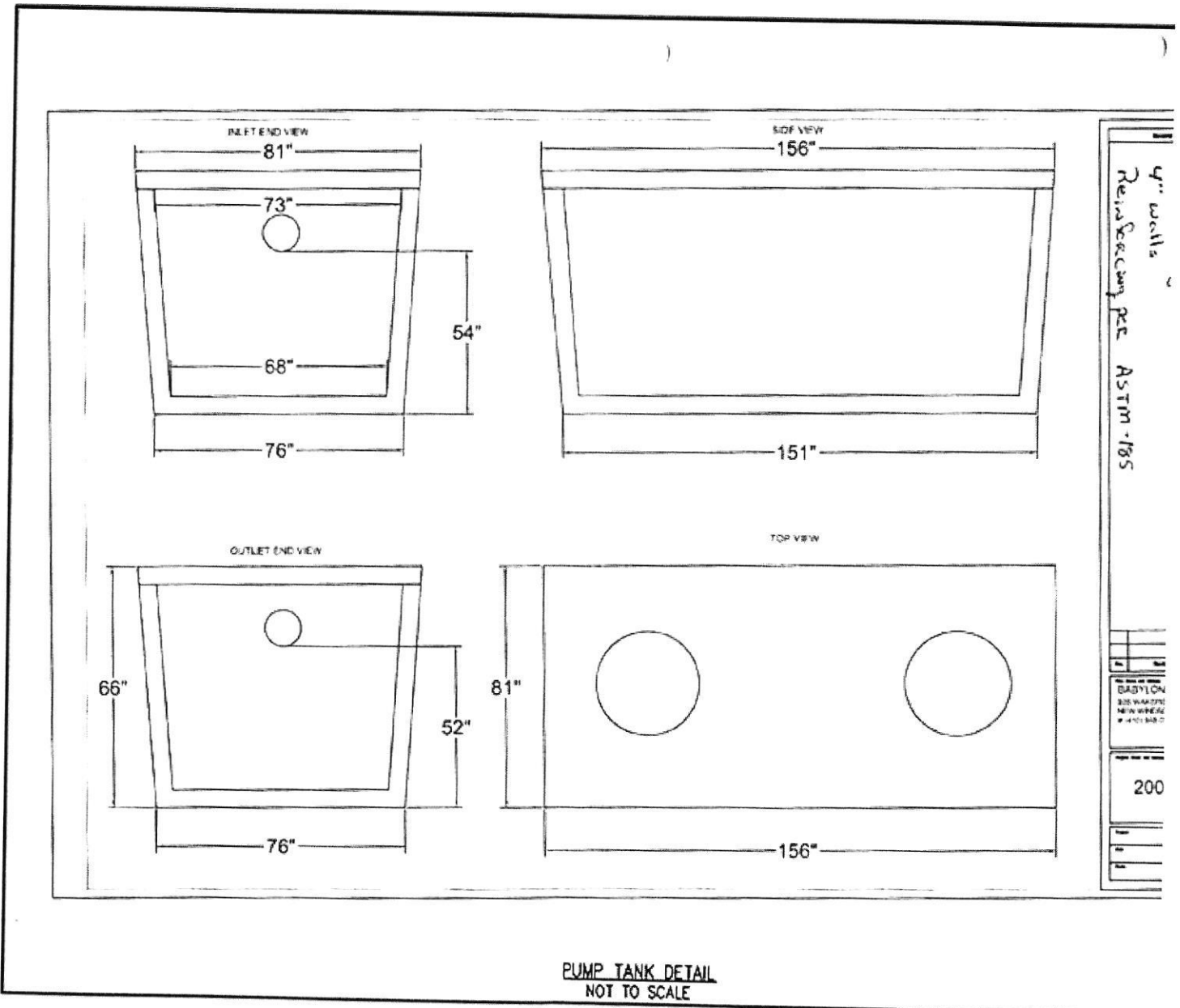
Subject: Willowcreek lots 9,10 & 11 OSDS issue

Afternoon gents, All three of these lots show the Pump Tank Detail as Traffic Bearing(see attached OSDSs and below screenshot). Can we please get verbal approval to use non-Traffic Bearing pump tanks and submit for revision? We have the standard materials and equipment on site and would like to proceed with the installs tomorrow.

Thank you(Chavis is copied)

-George

301-606-6241



PERMIT NUMBER: B 21000396

DATE ACCEPTED:

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov



BUILDING SITE ADDRESS REQUIRED

Street Address: 6509 Mare Ct.		Unit:
City: Dayton	State: MD	Zip Code: 21036
Subdivision/Village/Complex Name: Willowshire		SDP/WP/BA #:
Lot: 11	Tax Map:	Parcel:
Grading Permit #:		

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant lot	Proposed Use: SFD	Estimated Cost: \$ 300,000
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
New 2 story "Ridgeview" Lexington Elev with 3 car garage, Conservatory, Luxury outdoor living space / covered Deck and unfinished lower level		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Toll Mid Atlantic LP CO Inc.	Primary Residence: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Owner's Street Address: 250 Gibraltar Rd	Contact: Summer Riley
City: Horsham	State: PA
Phone: 410-872-9105	Zip Code: 19044
Email: sriley1@tollbrothers.com	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Donatur Building Services	Contact Name: Jim Kenun
Street Address: PO Box 552	
City: Lubbock	State: MD
Phone: 413-309-7792	Zip Code: 21797
Email: jim@donaturbuilding.com	

CONTRACTOR INFORMATION REQUIRED

Business Name: Toll Brothers	Contact: Summer Riley
Licensee's Name: Toll Mid Atlantic LP CO Inc.	License #: 8220
Street Address: 7164 Columbia Gateway Dr, Ste 230	
City: Columbia	State: MD
Phone: 410-872-9105	Zip Code: 21046
Email: sriley1@tollbrothers.com	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Zip Code:
Email:	

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Ridgeview" Lexington Elev with 3 Car garage, Conservatory, Luxury living space, Luxury covered Deck				
# of Bedrooms (SF): 5	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 14	# Full Baths: 5	# Half Baths: 0	# Fireplaces: (1) and (1) outside covered back	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input checked="" type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width: 78	1st Fl Depth: 83	2nd Fl Width: 64	2nd Fl Depth: 67	Bsmt Width: 78
Bsmt Depth: 67		Gross Area: 9176 sq ft		Occupiable Area: 5882 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: *Jim Kenun* DATE SIGNED: 2/4/2021

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

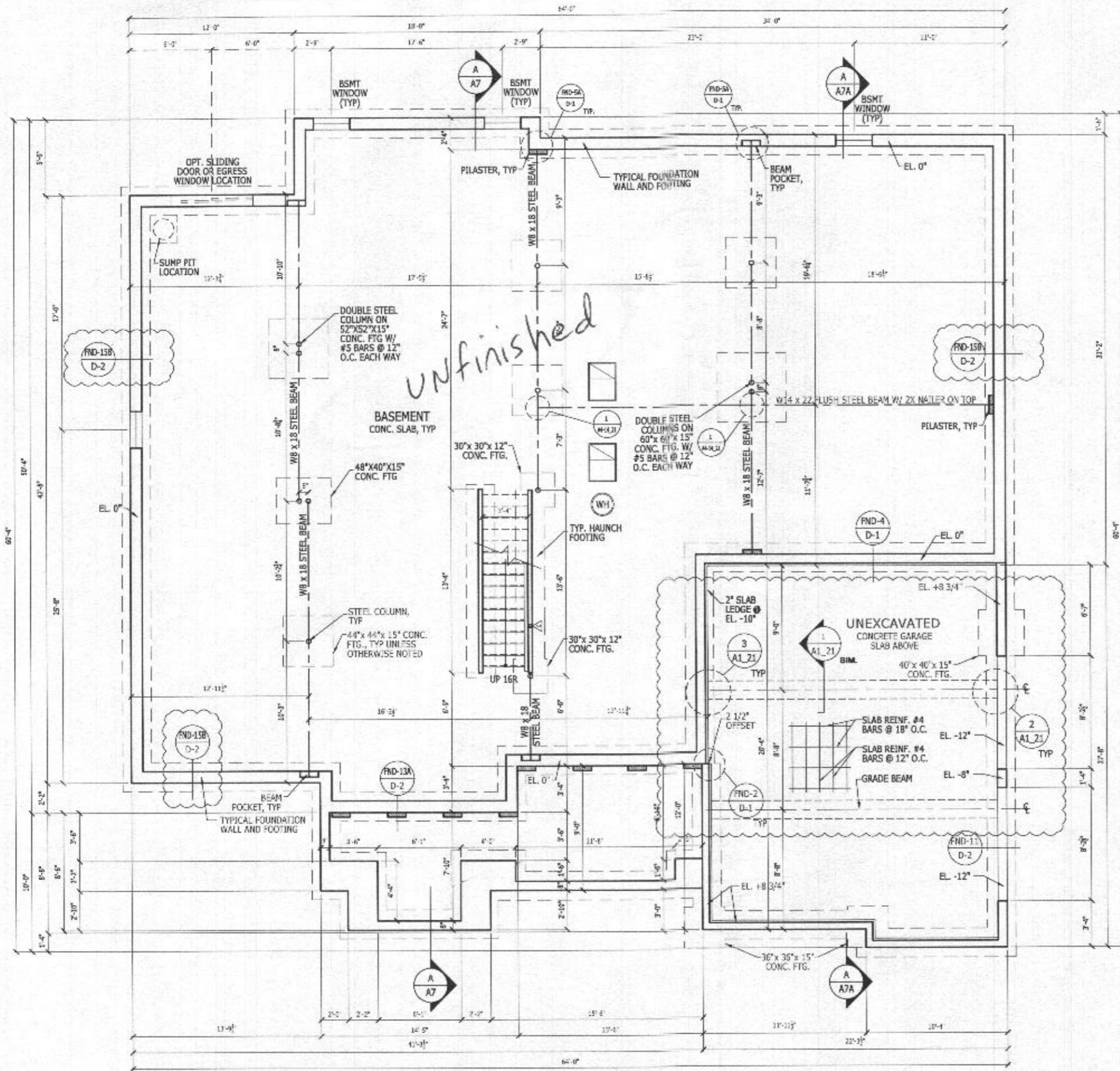
AGENCIES REQUIRED/APPROVALS:

<input checked="" type="checkbox"/> PR	<input type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health <i>R. Buck</i>	<input type="checkbox"/> SHA	<input type="checkbox"/> CID
SUBMITTAL FEES: \$150.00	PAYMENT: CK # 10599516	ACCEPTED BY: <i>DRP/BOX</i>			

6509 Mare Court Lot 11

Health Dept

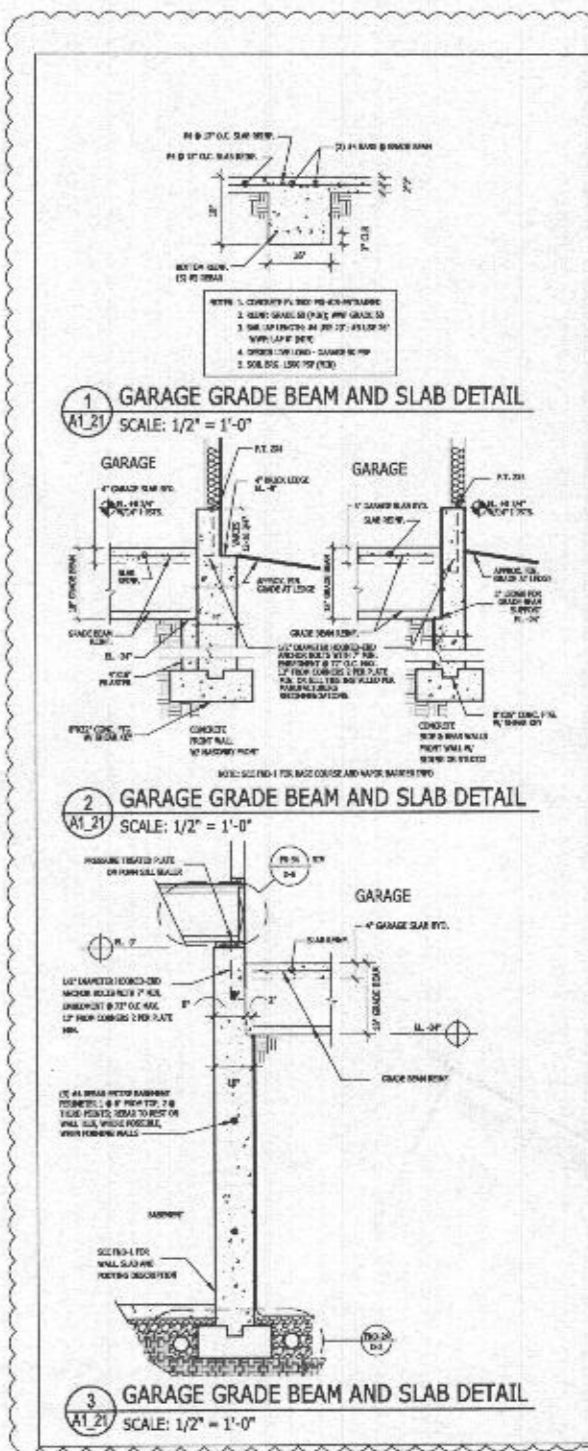
Willowshire



BASEMENT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

COUNTRY MANOR



1 GARAGE GRADE BEAM AND SLAB DETAIL

SCALE: 1/2" = 1'-0"

2 GARAGE GRADE BEAM AND SLAB DETAIL

SCALE: 1/2" = 1'-0"

3 GARAGE GRADE BEAM AND SLAB DETAIL

SCALE: 1/2" = 1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF TOLL BROTHERS, INC. AND ARE COPYRIGHTED. THEY WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF TOLL BROTHERS, INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND TOLL BROTHERS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

© TB Proprietary Corp.

TOLL ARCHITECTURE

PHILADELPHIA · ORLANDO
 DALLAS · LOS ANGELES · SEATTLE
 250 Gibraltar Road, Horsham, PA 19044
 P 215-293-5300 | F 215-293-5314
 A Division of Toll Brothers

SHEET REVISION INFO
AO 211064

SET REVISION INFO
 ECR_166420 01/29/18
 D.BUTARU7.VOICHECK

PRODUCT LINE
ESTATE

MODEL/PROJECT NAME
RIDGEVIEW
 ELEVATION NAME
 COUNTRY MANOR

DRAWN BY - R. DAUTRICH
CHECKED BY - R. DASILVA

SHEET DATE - 06/08/17

SHEET DESCRIPTION
BASEMENT FOUNDATION FLOOR PLAN (BASE HOUSE)

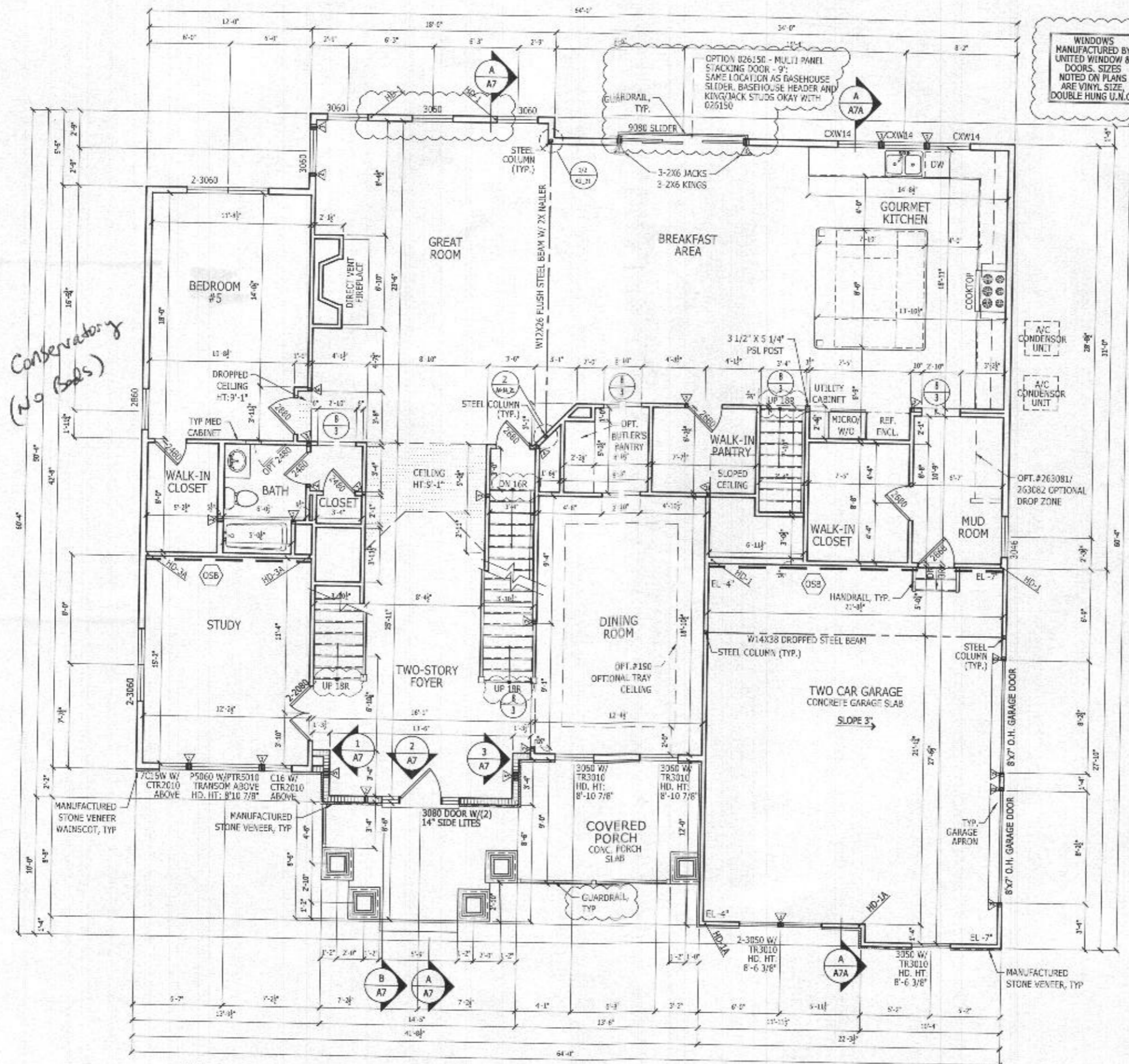
SHEET NUMBER
1015.1

RIGHT HAND SET

A1 21

062100128

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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

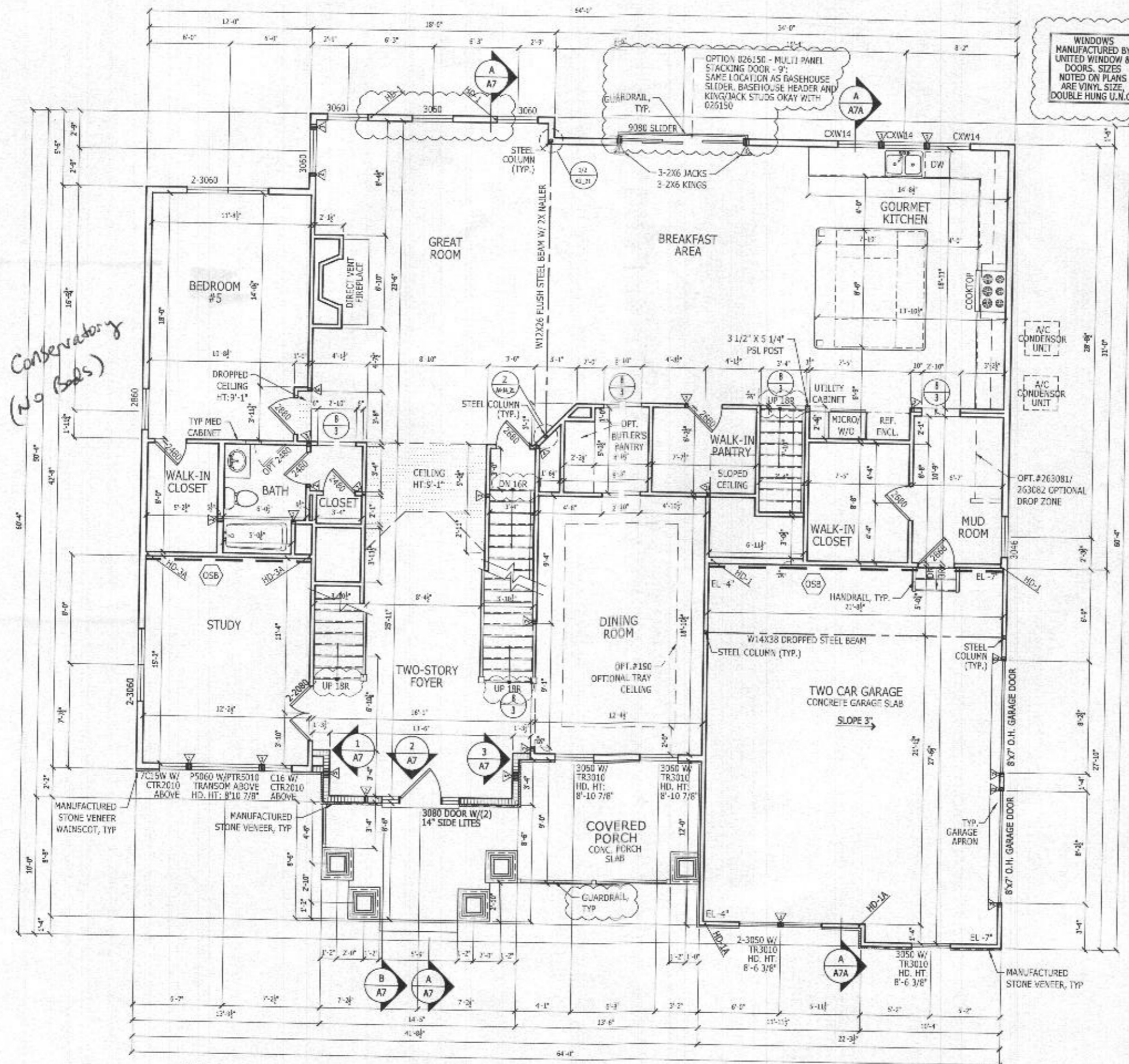
COUNTRY MANOR

RIGHT HAND SET

TOLLARCHITECTURE	
PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE	
250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300 F 215-298-5314 A Division of Toll Brothers	
SHEET REVISION INFO	AO 211064
PRODUCT LINE	ESTATE
MODEL/PROJECT NAME	RIDGEVIEW
ELEVATION NAME	COUNTRY MANOR
DRAWN BY	R. DAUTRICH
CHECKED BY	R. DASILVA
SHEET DATE	06/08/17
SHEET DESCRIPTION	FIRST FLOOR PLAN (BASE HOUSE)
SHEET NUMBER	A2 21
SERIAL NUMBER	1015.1

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*Conservatory
(No Bldg)*

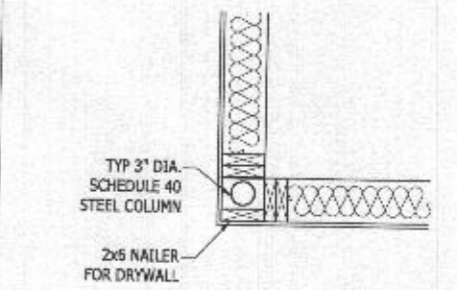


FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

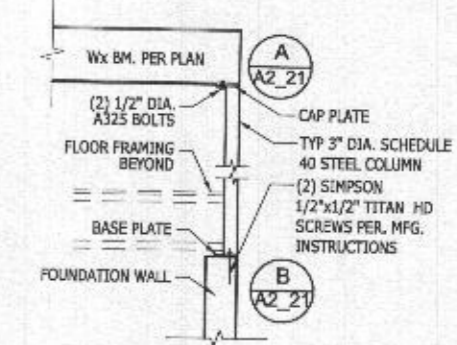
COUNTRY MANOR

LATERAL BRACING
THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOADS USING AN ENGINEERED METHOD FOR 130 MPH BASIC WIND SPEED.
FOR OSB + DRYWALL ATTACHMENT SEE A/L1 DETAIL SHEET

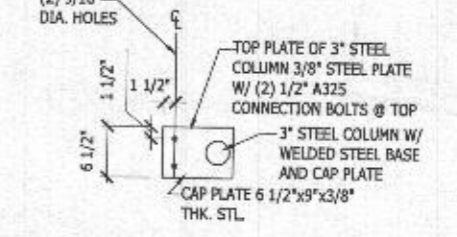
WINDOWS MANUFACTURED BY UNITED WINDOW & DOORS. SIZES NOTED ON PLANS ARE VINYL SIZE, DOUBLE HUNG U.N.O.



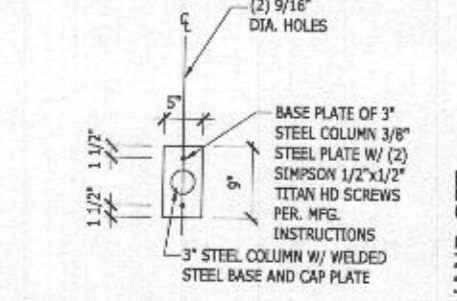
1 CORNER DETAIL
A2_21 Scale: 1" = 1'-0"



2 H.S.S. COLUMN DETAIL
A2_21 Scale: 1/2" = 1'-0"



A CAP PLATE DETAIL
A2_21 Scale: 1" = 1'-0"



B BASE PLATE DETAIL
A2_21 Scale: 1" = 1'-0"

RIGHT HAND SET

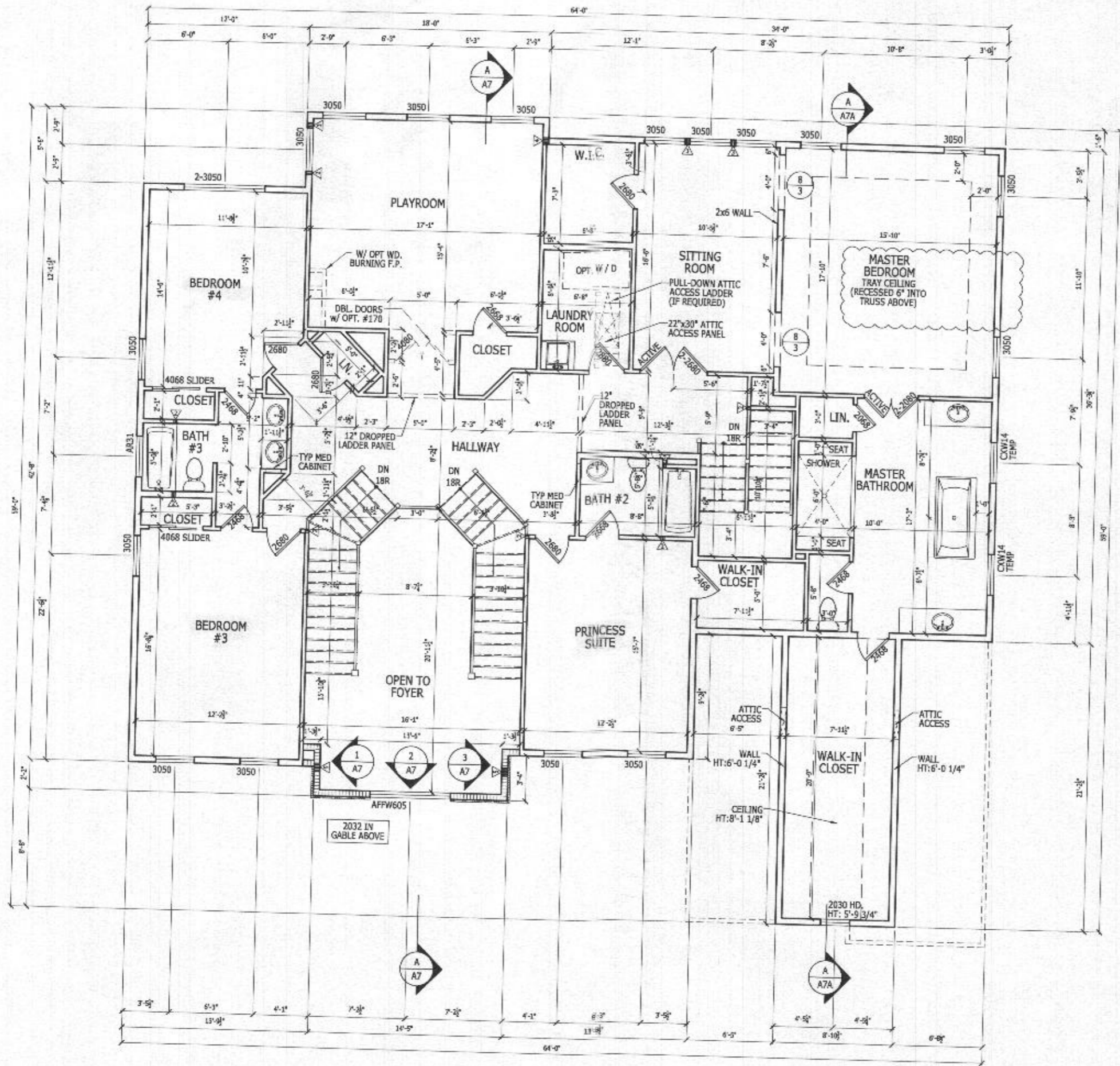
TOLLARCHITECTURE
PHILADELPHIA · ORLANDO
DALLAS · LOS ANGELES · SEATTLE
250 Gibraltar Road, Horsham, PA 19044
P 215-293-5300 | F 215-298-5314
A Division of Toll Brothers

SHEET REVISION INFO
AO 211064
ESTATE
MODEL/PROJECT NAME
RIDGEVIEW
ELEVATION NAME
COUNTRY MANOR

DRAWN BY - R.DAURTRICH
CHECKED BY - R.DASILVA
SHEET DATE - 06/08/17

SHEET DESCRIPTION
FIRST FLOOR PLAN (BASE HOUSE)
SHEET NUMBER
A2 21
SERIAL NUMBER
1015.1

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LATERAL BRACING
 THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 100 MPH BASIC (130 MPH ULTIMATE) WIND SPEED.
 FOR OSB + DRYWALL ATTACHMENT SEE A4.1 DETAIL SHEET

SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

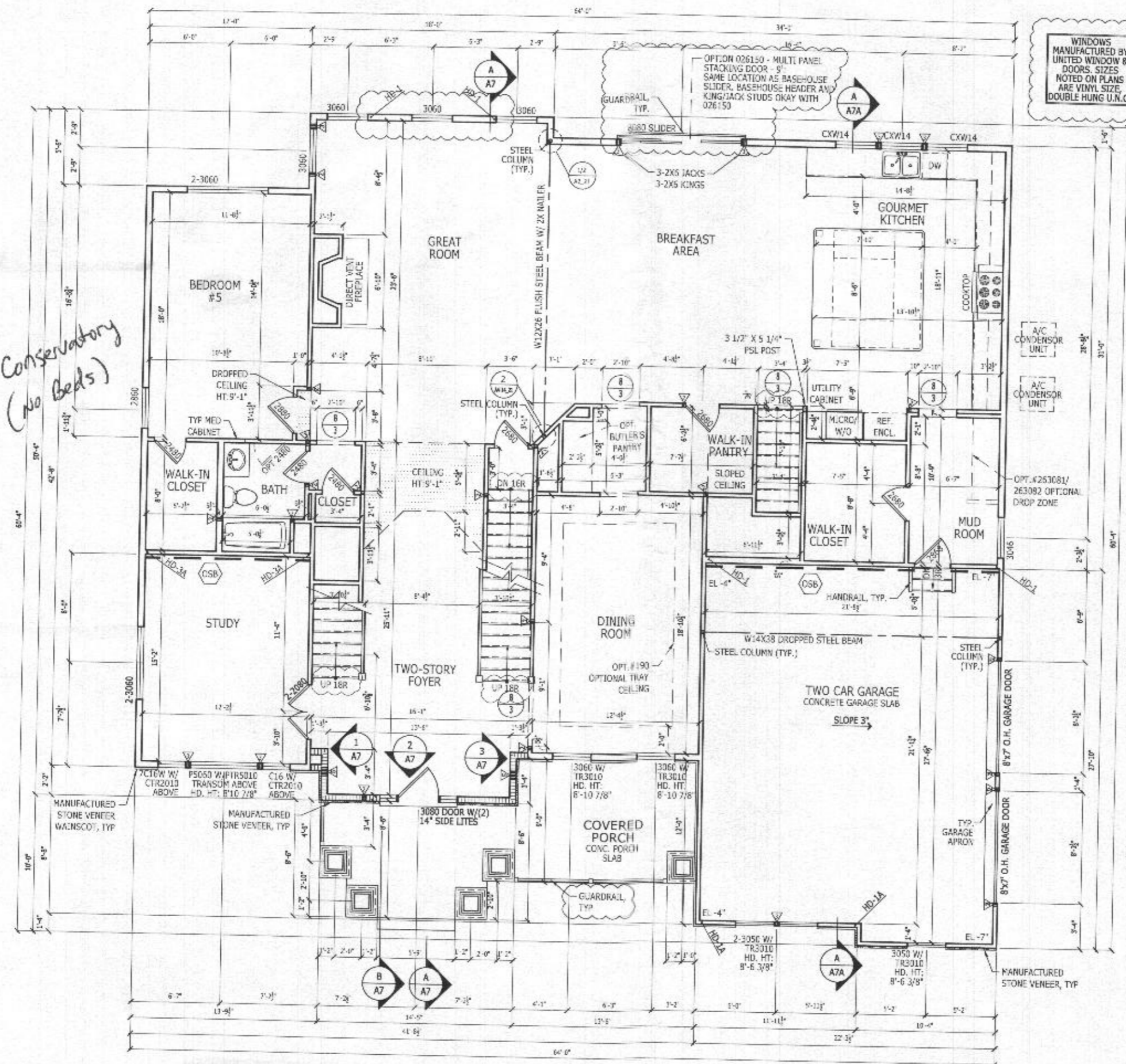
COUNTRY MANOR

RIGHT HAND SET

SHEET DESCRIPTION SECOND FLOOR PLAN (BASE HOUSE)	TOLL ARCHITECTURE	
	PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE	
DRAWN BY - R.DAUTILIO	250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300 F 215-293-5314 A Toll Brothers Company	
CHECKED BY - R.DASILVA	SHEET REVISION INFO	
SHEET DATE - 06/08/17	AD 195844 AO 207135 AO 211064 AO 222351 SET REVISION INFO ECK_156420 01/29/18 D BUTARU/VOICHECK	
PRODUCT LINE ESTATE		ELEVATION NAME COUNTRY MANOR
MODEL/PROJECT NAME RIDGEVIEW		
SERIAL NUMBER		A3 21
1015.1		

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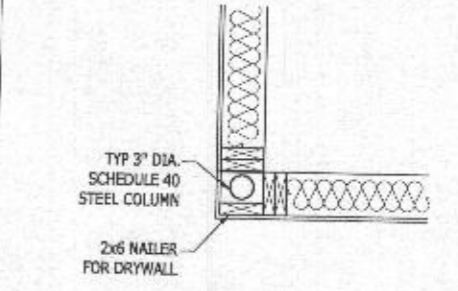
*Conservatory
(no beds)*



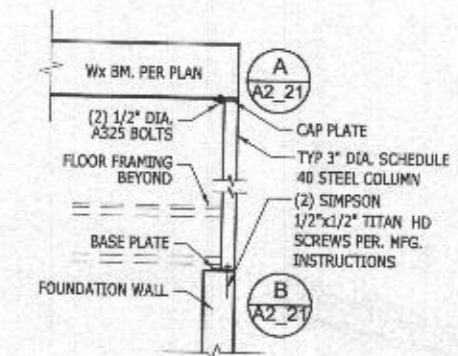
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

COUNTRY MANOR

LATERAL BRACING
THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOADS USING AN ENGINEERED METHOD FOR 130 MPH BASIC WIND SPEED.
FOR CSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET

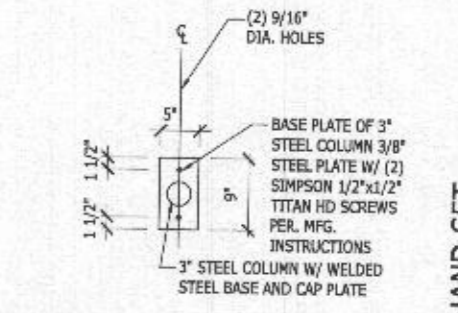


1 CORNER DETAIL
A2_21 Scale: 1" = 1'-0"



2 H.S.S. COLUMN DETAIL
A2_21 Scale: 1/2" = 1'-0"

A CAP PLATE DETAIL
A2_21 Scale: 1" = 1'-0"



B BASE PLATE DETAIL
A2_21 Scale: 1" = 1'-0"

RIGHT HAND SET

TOLLARCHITECTURE	
PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE	250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300 F 215-293-5314 A Division of Toll Brothers
SHEET REVISION INFO AD 211064	SET REVISION INFO ECR 166420 01/28/18 D.BUTARUJ.VOICHECK
PRODUCT LINE ESTATE	ELEVATION NAME COUNTRY MANOR
MODEL/PROJECT NAME RIDGEVIEW	
DRAWN BY - R. DAUTRICH	CHECKED BY - R. DASELVA
SHEET DATE - 06/08/17	
SHEET DESCRIPTION FIRST FLOOR PLAN (BASE HOUSE)	
SHEET NUMBER A2_21	SERIAL NUMBER 1015.1

