

**Bureau of Environmental Health**  
 8930 Stanford Boulevard, Columbia, MD 21045  
 Main: 410-313-2640 | Fax: 410-313-2648  
 TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
 Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 4/2/21 **ONSITE SEWAGE DISPOSAL SYSTEM** P 508832  
 APPROVAL DATE: 5/4/21 (SP) **PERMIT: CONSTRUCTION** A \_\_\_\_\_  
 PROPERTY ADDRESS: 15636 LINDEN GROVE LANE, WOODBINE, MD 21797  
 SUBDIVISION: LINDEN GROVE, PHASE 1 LOT: 12 TAX ID: 04-601891  
 CONTRACTOR: Chris Enterprises LLC EMAIL: \_\_\_\_\_  
 CONTRACTOR ADDRESS: 3811 Federal Hill Rd, Jarrettsville, MD 2084 PHONE: 410-551-2455  
 PROPERTY OWNER: TOLL MID-ATLANTIC LP COMPANY, INC EMAIL: Sriley1@tollbrothers.com  
 OWNER ADDRESS: 250 GIBRALTER ROAD, HORSHAM, PA 19044 PHONE: (410)381-3271  
 SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Back River Pre-Cast, LLC  
 PUMP MODEL: n.a. PUMP SIZE n.a. PUMP TANK CAPACITY: n.a.

DISTRIBUTION SYSTEM:  GRAVITY  PRESSURE DOSED BEDROOMS: 6 APPLICATION RATE: 0.6

TRENCHES:	LINEAR FEET REQUIRED: <u>315</u>	INLET DEPTH: <u>2.5</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8.0</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>6.0</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	INSTALL UPPER TRENCH (TRENCH T1) AND COVER IT PRIOR TO DIGGING SEPTIC TANK LOCATION. ASSURE THAT THERE IS AT LEAST 5 FEET FROM TRENCH WALL TO SEPTIC TANK EXCAVATION INSTALL CLEANOUTS IN SHC.	

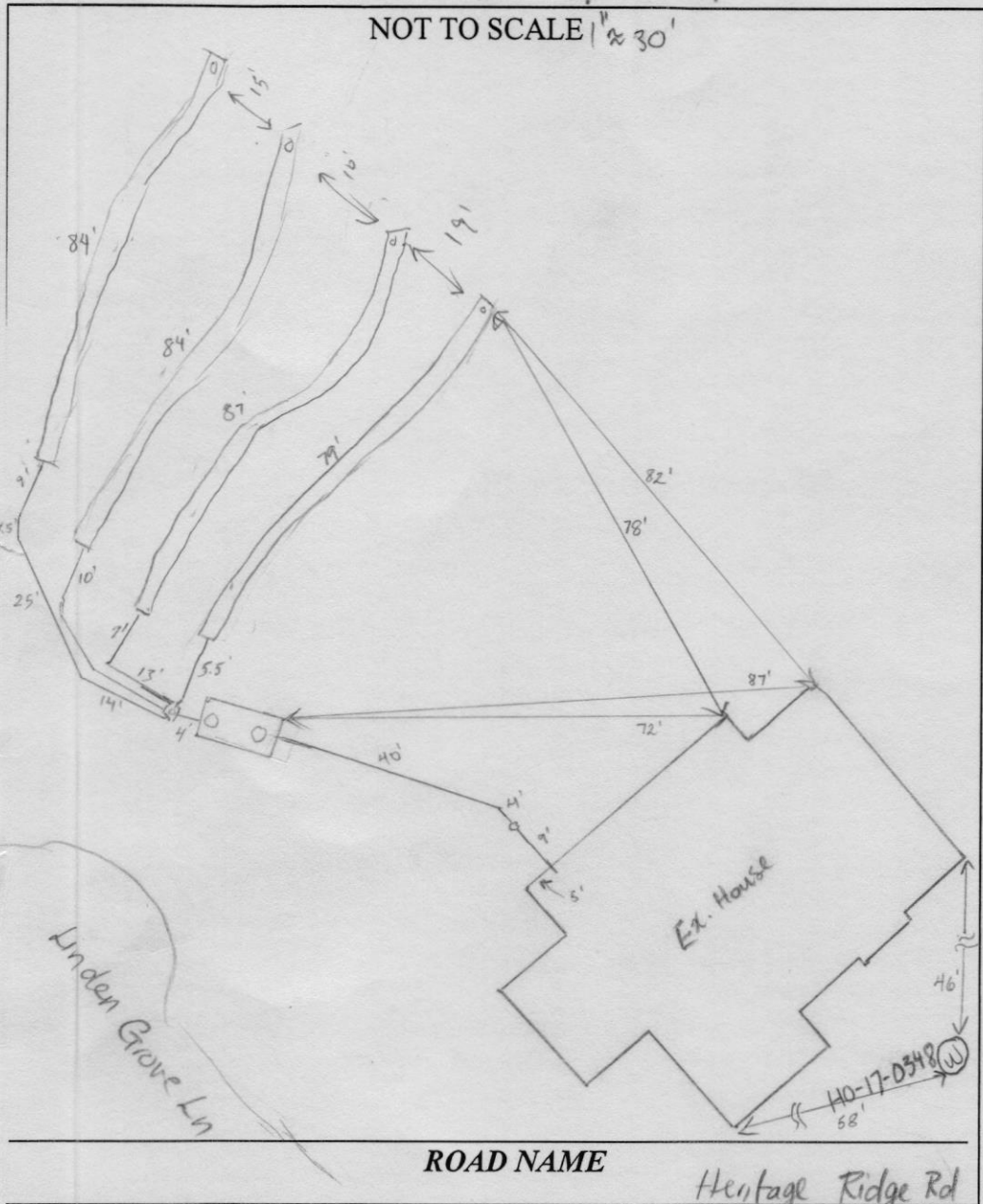
ISSUED BY: R BRICKER ISSUE DATE: 4/2/21 EXPIRATION DATE: 4/2/22

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADE FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM  
 ELECTRICAL PERMIT ISSUED E n.a.
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.  
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.  
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

15636 Linden Grove Ln

NOT TO SCALE 1" = 30'



**TRENCH/DRAINFIELD DATA**

WIDTH	INLET	BOTTOM
3'	2.5'	8'
NUMBER OF TRENCHES		4
TOTAL LENGTH		334'
ABSORPTION AREA		1002 sq ft + sidewall
DISTRIBUTION BOX LEVEL		yes
DISTRIBUTION BOX BAFFLE		yes
DISTRIBUTION BOX PORT		yes

**SEPTIC TANK DATA**

SEPTIC TANK I LEVEL	yes
MANUFACTURER	Babylon
CAPACITY	2000 GAL
SEAM LOC	top
TANK LID DEPTH	0.5'
BAFFLES	inlet + outlet
BAFFLE FILTER	-
MANHOLE LOC	inlet + outlet
6" PORT LOC	-
WATERTIGHT TEST	-
SLOTTED	yes
DATE ON LID	3-8-2021

PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

ROAD NAME Heritage Ridge Rd

**PRE-CONSTRUCTION:**

4/27/21 4x79 trenches were staked out on contour. SL is coming out below footer in basement according to plan, good amount of fall from house to tank location (ST)

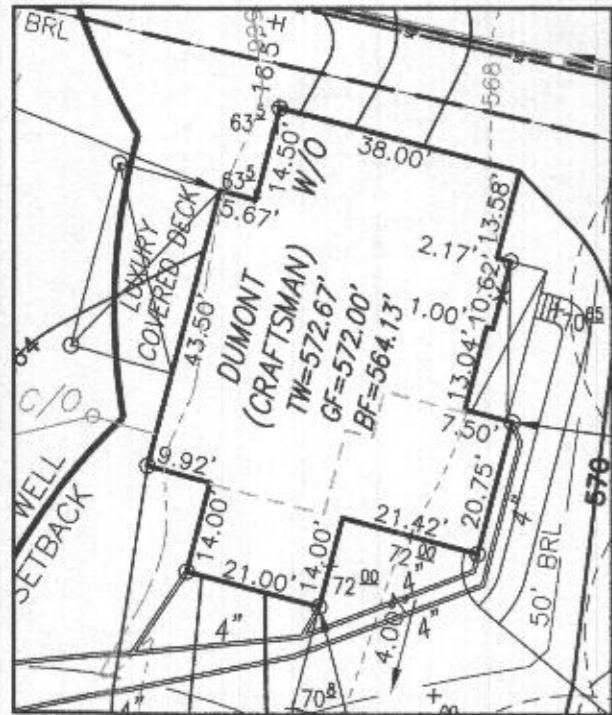
**INSTALLATION:**

5/3/21 SL, SHC and tank set. First trench complete. Reinspect for outlet baffle and d-box (ST) 5/4/21 D-box set and leveled. Last three trenches complete (ST)

FINAL INSPECTOR Sharon Thomas DATE OF APPROVAL 5/4/21

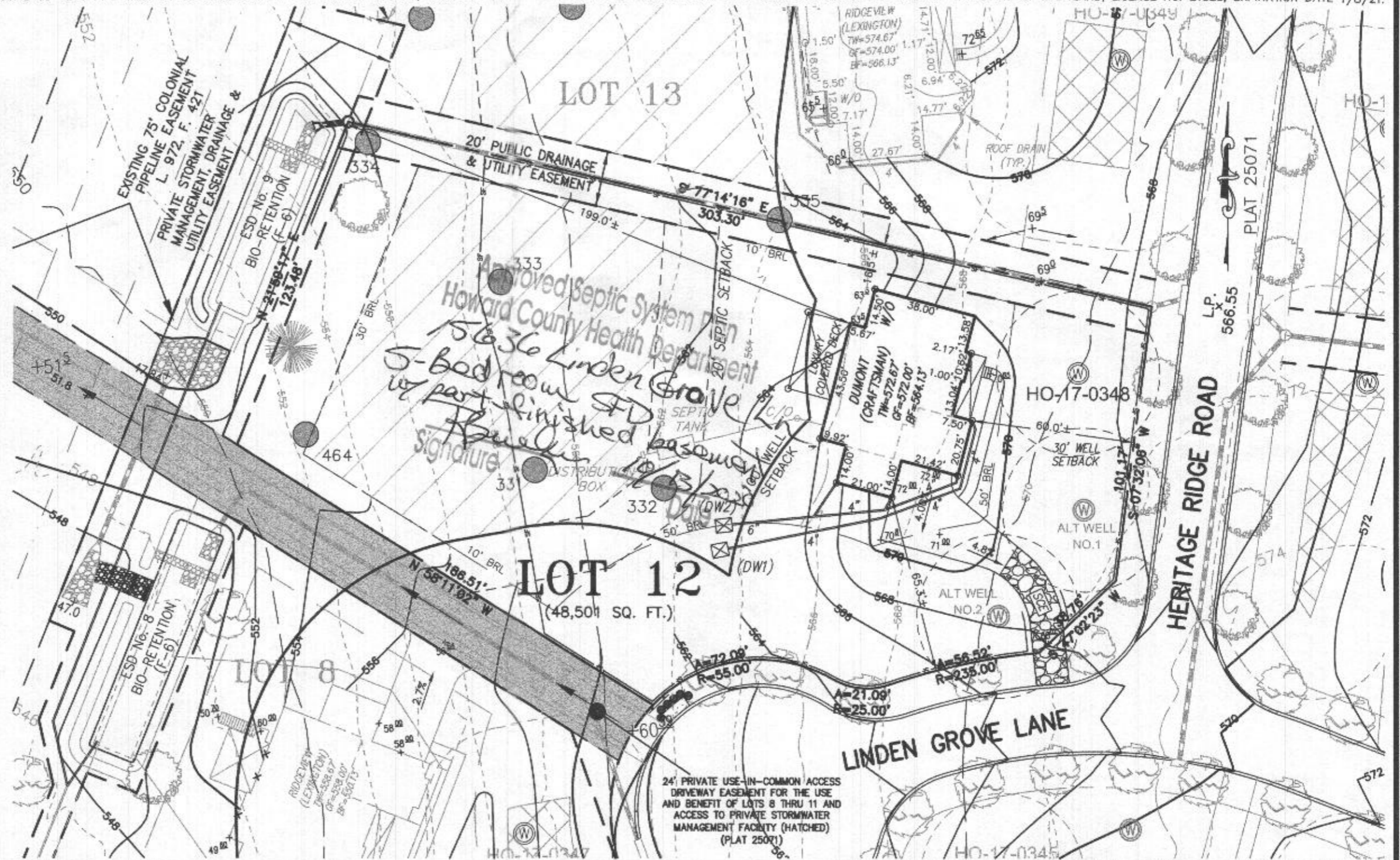
**LEGEND:**

- BRL BUILDING RESTRICTION LINE
- W WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- FAILED PERC LOCATION
- SUPER SILT FENCE
- SILT FENCE
- SCE STONE CONSTRUCTION ENTRANCE
- SEPTIC RESERVE AREA
- WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE
- PROPOSED TREE



HOUSE ENLARGEMENT  
NOT TO SCALE

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



**HOUSE TYPE: DUMONT (CRAFTSMAN)**

- TWO CAR SIDE ENTRY GARAGE
- FINISHED LOWER LEVEL
- WALK-OUT BASEMENT
- ADDITIONAL WALK-IN CLOSET
- ADD 1' TO HEIGHT OF BASEMENT FOUNDATION WALLS
- POWDER ROOM FOR FINISHED LOWER LEVEL
- OPTIONAL DROP ZONE
- ADDITIONAL ONE CAR FRONT ENTRY GARAGE - 14'
- LUXURY COVERED DECK

- OPTION No. 012
- OPTION No. 013
- OPTION No. 017
- OPTION No. 030
- OPTION No. 070
- OPTION No. 263036
- OPTION No. 263081
- OPTION No. 263102
- OPTION No. 263169

WELL NUMBER: HO-17-0348

ADDRESS: 15636 LINDEN GROVE LANE  
WOODBINE, MD 21797

PLOT PLAN  
LOT 12  
**LINDEN GROVE**  
LIBER 15899, FOLIO 246  
PLAT NO. 25071  
ELECTION DISTRICT No. 4  
HOWARD COUNTY, MARYLAND

**ESE CONSULTANTS**

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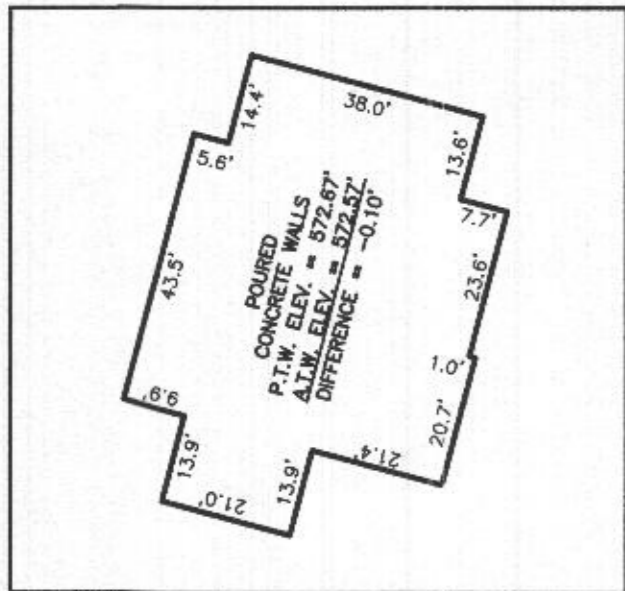
DATE: 08/15/2020 SCALE: 1" = 40' FILE: 4683 PP LOT 12 - DUMONT CRAFT.  
CHK'D: M.J.B. JOB NO: 4683 DRAWN: G.V.S./R.C.K.



**LEGEND:**

- BRL BUILDING RESTRICTION LINE
- W WELL LOCATION
- P.T.W. PROPOSED TOP OF WALL
- A.T.W. ACTUAL TOP OF WALL
- ELEV. ELEVATION

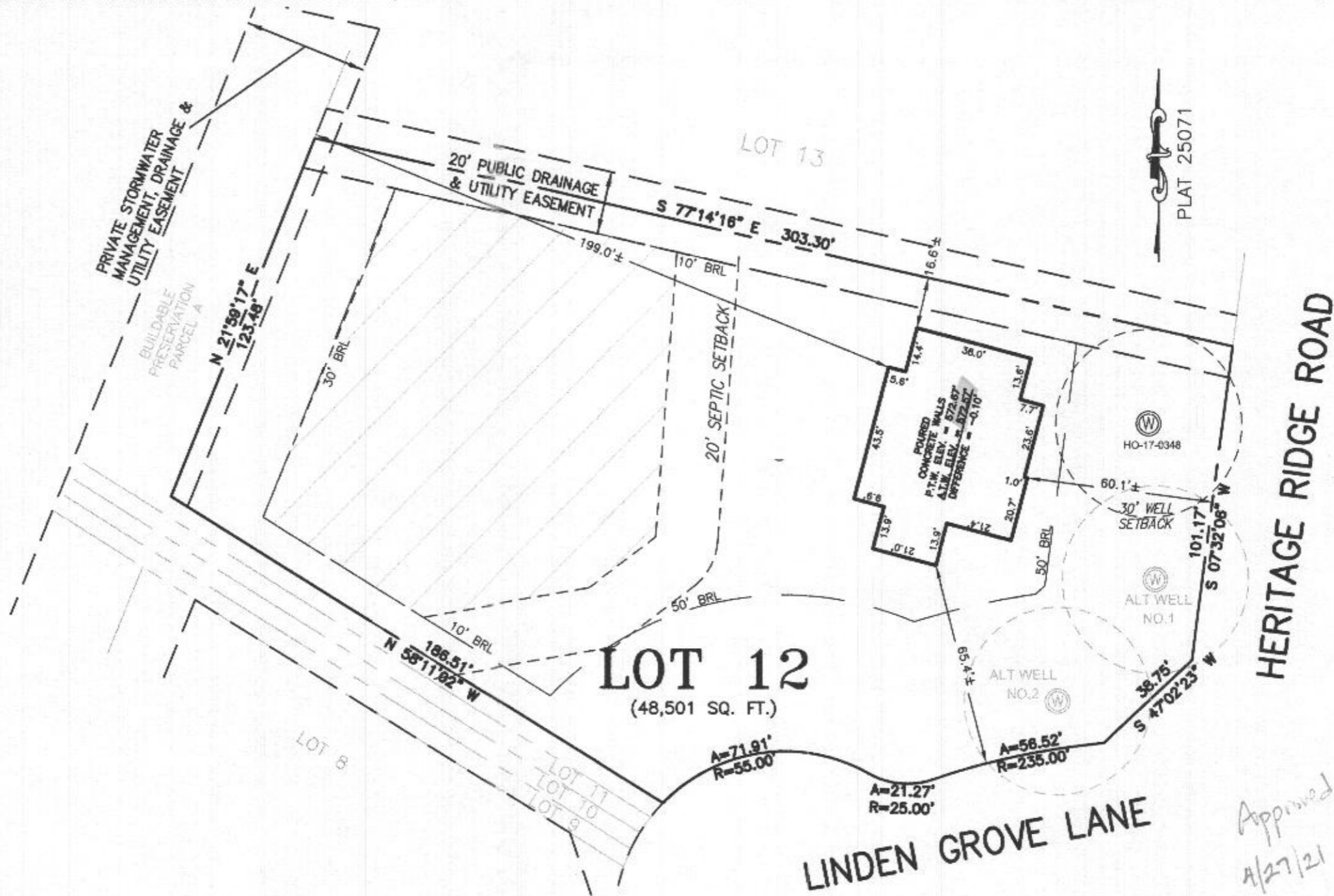
 SEPTIC RESERVE AREA



HOUSE ENLARGEMENT  
NOT TO SCALE

WELL NUMBER: HO-17-0348  
 ADDRESS: 15636 LINDEN GROVE LANE  
 WOODBINE, MD 21797  
 PERMIT No.: B20003287

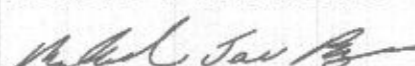
BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPEMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



Approved  
4/27/21 (Signature)

**SURVEYOR'S CERTIFICATE**

THIS WALLCHECK WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.  
**THIS IS NOT A "LOCATION DRAWING" AND IS NOT TO BE USED FOR SETTLEMENT PURPOSES.**

 21328 02/25/21  
 SIGNATURE: MICHAEL JOE BOYCE MD. LIC NO. DATE

WALLCHECK  
 LOT 12  
**LINDEN GROVE**  
 LIBER 19770, FOLIO 293  
 PLAT NO. 25071  
 ELECTION DISTRICT No. 4  
 HOWARD COUNTY, MARYLAND

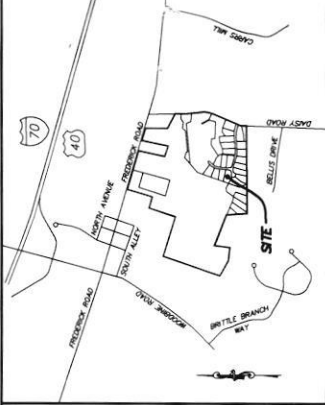
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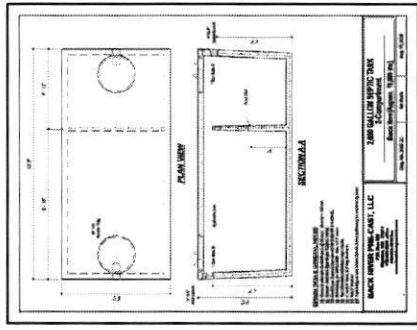
DATE: 02/24/2021 SCALE: 1"=40' FILE: WC LOT 12  
 CHK'D: M.J.B. JOB No: 4683 DRAWN: V.X.P.





**VICINITY MAP**  
1" = 1000'

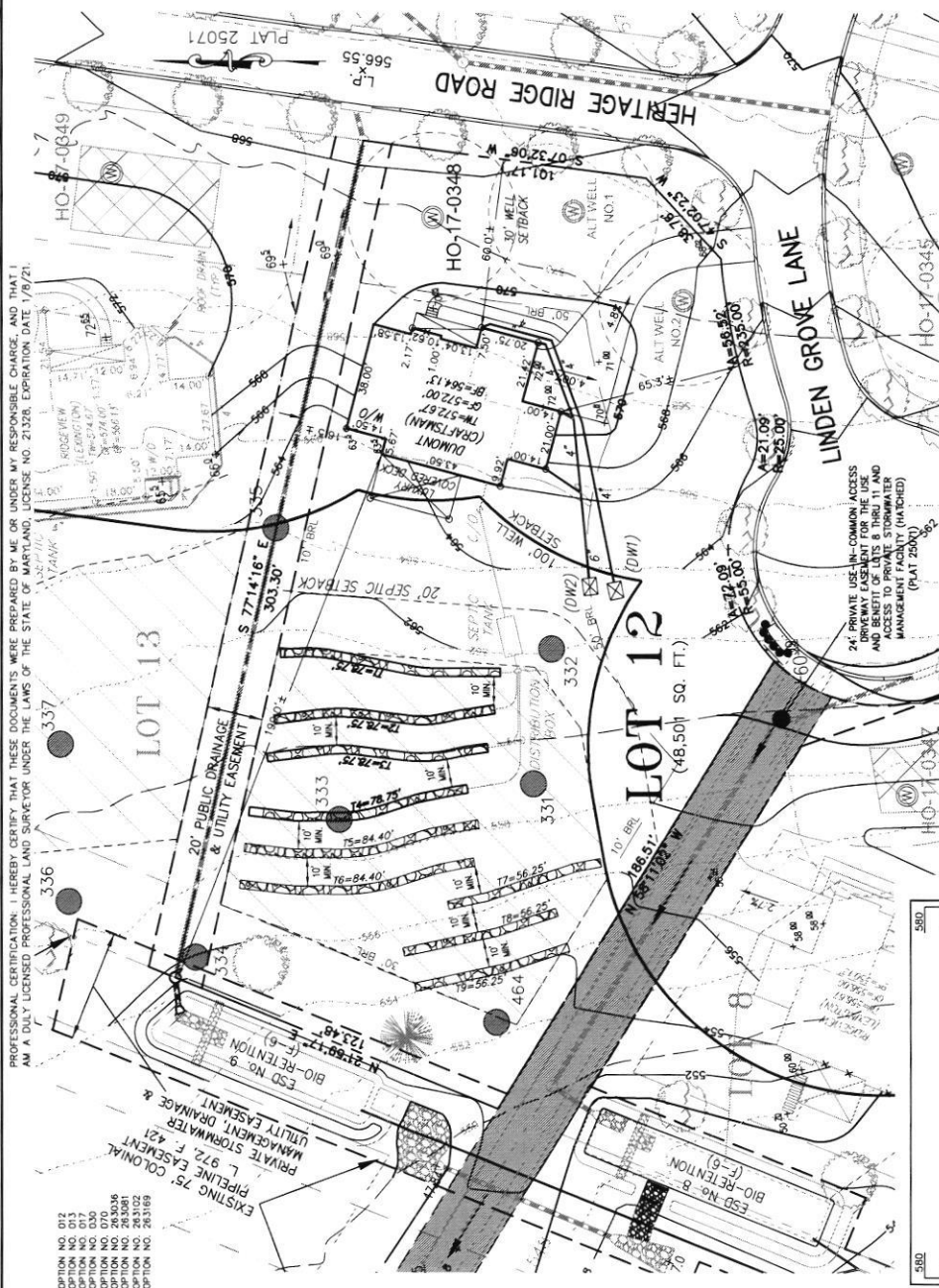
- GENERAL NOTES:**
- THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE TREATMENT SYSTEMS. THESE AREAS ARE SUBJECT TO RESTRICTIONS UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. ANY VARIANCES FOR ENFORCEMENTS INTO THE PRIVATE SEWAGE AREA, RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
  - EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
  - ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
  - BUILDING SETBACKS (B.S.L.'S) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "X" HAVE AN ACCURACY OF ±0.1 FOOT.
  - ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT. A REVISED SITE PLAN MAY BE REQUIRED.
  - THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. THE EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
  - THE LOT SHOWS HEREON COMPLEES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
  - THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GS, 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.



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DATE: 08/15/2020 SCALE: 1" = 30'  
JOB NO: 1683 DRAWN: R.C.K.



- LEGEND:**
- BRL BUILDING RESTRICTION LINE
  - TOP OF WALL
  - G.F. GARAGE FLOOR
  - B.F. BASEMENT FLOOR
  - FAILED PERC. LOCATION
  - SEPTIC RESERVE AREA
  - WELL BOX AREA
  - PROPOSED TREE
  - PROPOSED TREE

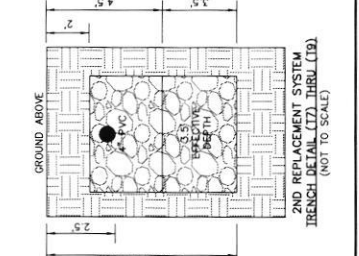
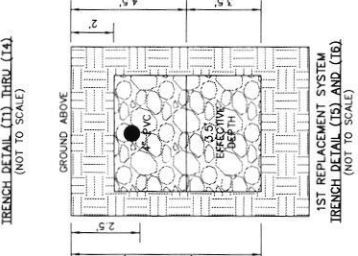
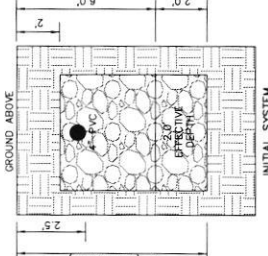


**WELL LOCATION CERTIFICATION:**  
THE EXISTING WELL SHOWN FOR LOT 12 (TAG NO. HO-17-0348) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

**ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN**  
**LOT 12**  
**LINDEN GROVE**  
LIBER 15899, FOLIO 246  
PLAT NO. 25071  
ELECTION DISTRICT NO. 4  
HOWARD COUNTY, MARYLAND  
ADDRESS: 15636 LINDEN GROVE LANE  
WOODBINE, MARYLAND 21797

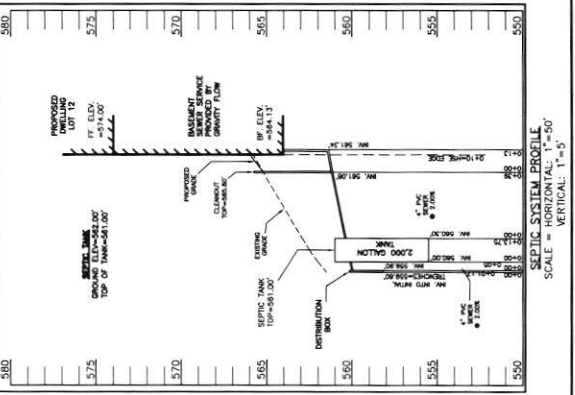
- HOUSE OPTIONS:**
- HOUSE TYPE: DUMONT (CRAFTSMAN)
  - TWO CAR SIDE ENTRY GARAGE
  - WALK-OUT BASEMENT
  - ADDITIONAL WALK-IN CLOSET
  - POWDER ROOM FINISHED LOWER LEVEL
  - OPTIONAL DROP ZONE
  - ADDITIONAL CAR FRONT ENTRY GARAGE - 14' COUNTRY STAGED DECK

- INITIAL TRENCH DATA:**
- BOTTOM MAX. DEPTH (8')
  - TRENCH 1 (T1) - 78.75 L.F.  
GROUND ABOVE = 561.60'  
INV. IN. = 559.10'
  - TRENCH 2 (T2) - 78.75 L.F.  
GROUND ABOVE = 553.60'  
INV. IN. = 558.30'
  - TRENCH 3 (T3) - 78.75 L.F.  
GROUND ABOVE = 559.90'  
INV. IN. = 551.90'
  - TRENCH 4 (T4) - 78.75 L.F.  
GROUND ABOVE = 559.00'  
INV. IN. = 551.00'



**SEWAGE DISPOSAL SYSTEM DATA (6 BDRM)**

- PROPOSED INVERT AT FOUNDATION WALL: 561.34'
- EX. GRADE OVER TANK: 562.00'  
INVERT IN: 560.30' INVERT OUT: 560.00'
  - DISTRIBUTION BOX  
EXISTING GRADE OVER TANK: 561.55'  
EXISTING GRADE OVER TANK: 561.55'  
INVERT IN: 559.80' INVERT OUT: 559.80'
  - INITIAL TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
USE 3" WIDE TRENCH WITH 60" GRAVEL BELOW PIPE  
10' MIN. SPACING BETWEEN TRENCH EDGES  
1,500 SF + 3" WIDTH = 500 LF x 0.63 (SIDEWALL REDUCTION) = 315 LF MIN.  
USE 4 78.75' LONG TRENCHES = 315 LF
  - 1ST REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
900 GPD + 0.8 APP. RATE = 1,125 SF  
USE 3" WIDE TRENCH WITH 60" GRAVEL BELOW PIPE  
1,125 SF + 3" WIDTH = 375 LF x 0.45 (SIDEWALL REDUCTION) = 168.75 LF MIN.  
USE 2 84.40' LONG TRENCHES = 168.80 LF
  - 2ND REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
900 GPD + 0.8 APP. RATE = 1,125 SF  
USE 3" WIDE TRENCH WITH 60" GRAVEL BELOW PIPE  
1,125 SF + 3" WIDTH = 375 LF x 0.45 (SIDEWALL REDUCTION) = 168.75 LF MIN.  
USE 3 58.25' LONG TRENCH = 168.80 LF



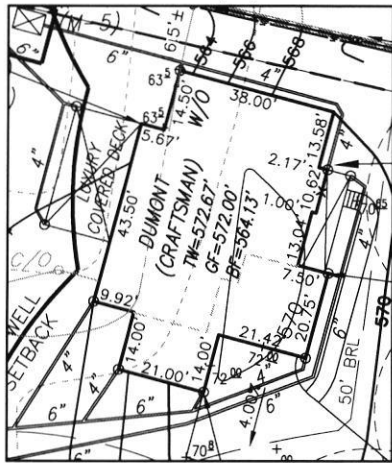
**SEPTIC SYSTEM PROFILE**  
SCALE = HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

**LEGEND:**

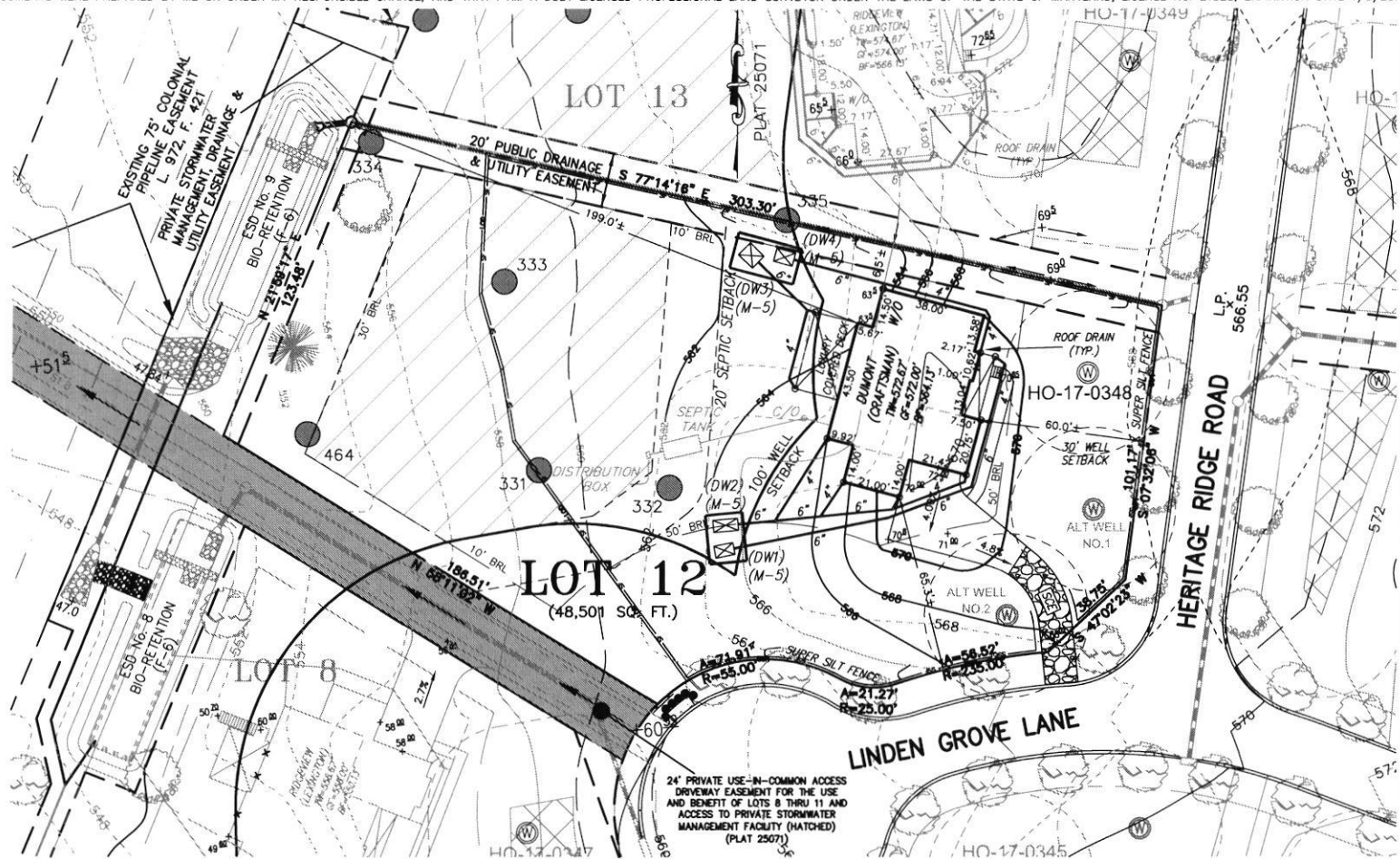
- BRL BUILDING RESTRICTION LINE
- W WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- FAILED PERC LOCATION
- SILT FENCE
- STONE CONSTRUCTION ENTRANCE
- SEPTIC RESERVE AREA
- WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE
- PROPOSED TREE

NOTE:  
TOTAL LIMITS OF DISTURBANCE (LOD) = 34,452 SQ. FT.



HOUSE ENLARGEMENT  
NOT TO SCALE

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: DUMONT (CRAFTSMAN)

TWO CAR SIDE ENTRY GARAGE  
FINISHED LOWER LEVEL  
WALK-OUT BASEMENT  
ADDITIONAL WALK-IN CLOSET  
ADD 1" TO HEIGHT OF BASEMENT FOUNDATION WALLS  
POWDER ROOM FOR FINISHED LOWER LEVEL  
OPTIONAL DROP ZONE  
ADDITIONAL ONE CAR FRONT ENTRY GARAGE - 14'  
LUXURY COVERED DECK

OPTION No. 012  
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WELL NUMBER: HO-17-0348  
ADDRESS: 15636 LINDEN GROVE LANE  
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PLOT PLAN  
LOT 12  
**LINDEN GROVE**  
LIBER 19770, FOLIO 293  
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DATE: 11/17/2020 SCALE: 1" = 40' FILE: 4683 PP LOT 12 - DUM. CRAFT.\_rev2  
CHK'D: M.J.B. JOB NO: 4683 DRAWN: G.V.S./R.C.K.

Nov 17, 2020 - 2:20 pm - R:\Projects\Maryland\4683 Linden Grove\Drawings\Lot Plans\Lot 12\12-17-2020.dwg - D:\msdcm\4683 PP Lot 12 - Dumont\Crthman\_rev2.dwg