

HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS
3430 COURT HOUSE DRIVE - ELLICOTT CITY, MD 21043
*** THIS PERMIT MUST BE CONSPICUOUSLY POSTED ON SITE ***

Residential New Single Family Dwelling Permit

PERMIT NUMBER: B20003287

APPLICATION DATE: 9/21/2020

ISSUE DATE: 1/26/2021

SITE ADDRESS:

15636 LINDEN GROVE LN
WOODBINE, MD 21797

PROPERTY OWNER INFO:

TOLL BROTHERS INC
7164 COLUMBIA GATEWAY DIRVE SUITE 230
COLUMBIA, MD 21046
Phone #: 240-418-3846

Subdivision: Linden Grove

Lot No.: 12

Tax Map: 7

Grid: 7-18

ADC Map: 4691-K8

SDP No.:

Zoning: RC-DEO

Census Tract: 604001

DESCRIPTION OF WORK:

SFD/ MODEL 'DUMONT' W/OUTDOOR SPACE/, 2 STORY, FULL BASEMENT, BASEMENT = FULL FINISHED, 10R, 3FB, 1HB, 1FP, ATTACHED GARAGE, 5BR, REAR PORCH, ENERGY METHOD = PERFORMANCE METHOD, SUBJECT TO CB-76-2018.

PRIMARY CONTRACTOR INFO:

Contractor License No.: 8220

License Address: TOLL MID-ATLANTIC LP COMPANY INC
NATHAN BRANDENBURG

Phone #: 7164 COLUMBIA GATEWAY DRIVE SUITE
230
COLUMBIA, MD 21046
410-872-9105

PRIMARY CONTACT INFO:

Contact Type: CONTACT
PERMITS PLUS INC

Phone #: 487 KENORA DRIVE
MILLERSVILLE, MD 21108
443-271-1528

Building/Lot Characteristics

Legal Description:

Existing Use: Vacant Lot

Height: 34

Basement: Full Finished

SF # of Bedrooms: 5

SF # of Full Baths: 3

SF # of Half Baths: 1

Water Supply: Private

Sewage Disposal: Private

Zoning Setback Requirements:

Front - Proposed: n/a **Required:** 50

Rear - Proposed: n/a **Required:** 30

Side - Proposed: n/a **Required:** 10

Side Street - Proposed: n/a **Required:** n/a

Meets Minimum Required Setbacks?: Yes

Lot Coverage for NT Zoning:

Permit Fees:

Total Fees Invoiced: \$35,619.35

Total Fees Paid: \$35,619.35

Balance Due: \$0.00

To schedule an inspection or check the results of an inspection please call (410) 313-3800

APPROVED BY THE DIRECTOR OF INSPECTIONS, LICENSES AND PERMITS - BUILDING OFFICIAL

PERMIT NUMBER: B 20003287

DATE ACCEPTED:

RECEIVED



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 15636 LINDEN GROVE LN
City: WOODBINE
State: MD
Subdivision/Village/Complex Name: LINDEN GROVE
Lot: 12
Tax Map: 8
Parcel: 5
Grading Permit #: f-18-092

DESCRIPTION OF WORK REQUIRED

Existing Use: vacant
Proposed Use: sfd
Estimated Cost: \$250k
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None
NEW SINGLE FAMILY DWELLING, FINISHED LOWER LEVEL, 2 CAR SIDE ENTRY GARAGE, 1 ADDITIONAL CAR GARAGE, LUX COVERED REAR DECK
DUMONT WITH OUT DOOR SPACE 2 STORY FULL BSMT 10 R 3 FB 1 HB FP REAR PORCH & GARAGE 5BR

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): TOLL BROTHERS INC
Owner's Street Address: 7164 COLUMBIA GATEWAY DR
City: COLUMBIA
State: MD
Phone: 240-418-3846
Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: TERRI MCNICHOLAS PERMITS PLUS, INC.
Contact Name: TERRI MCNICHOLAS
Street Address: 487 KENORA DRIVE
City: MILLERSVILLE
State: MD
Phone: 443-271-1528
Email: TERRIPERMITS@YAHOO.COM

CONTRACTOR INFORMATION REQUIRED

Business Name: TOLL MID -ATLANTIC LP COMPANY INC
Licensee's Name: TOLL MID-ATLANTIC LP COMPANY INC. License #: 8220
Street Address: 7164 COLUMBIA GATEWAY DRIVE STE 230
City: COLUMBIA
State: MD
Phone: 240-418-3846
Email: PCLIFFORD@TOLLBROTHERS.COM

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: ESE CONSULTANTS TOLL ARCH
Street Address: 7164 COLUMBIA GATEWAY DRIVE
City: COLUMBIA
State: MD
Phone: 410-872-9105
Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*)
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: DUMONT WITH OUT DOOR SPACE 2 STORY FULL BSMT 10 R 3 FB 1 HB FP REAR PORCH & GARAGE 5BR
of Bedrooms (SF): 5 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: 10 # Full Baths: 3 # Half Baths: 1 # Fireplaces: 1
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 58 1st Fl Depth: 58 2nd Fl Width: 58 2nd Fl Depth: 45 Bsmt Width: 58 Bsmt Depth: 52
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 6777 sq ft Occupiable Area: 6205 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED 8-24-20

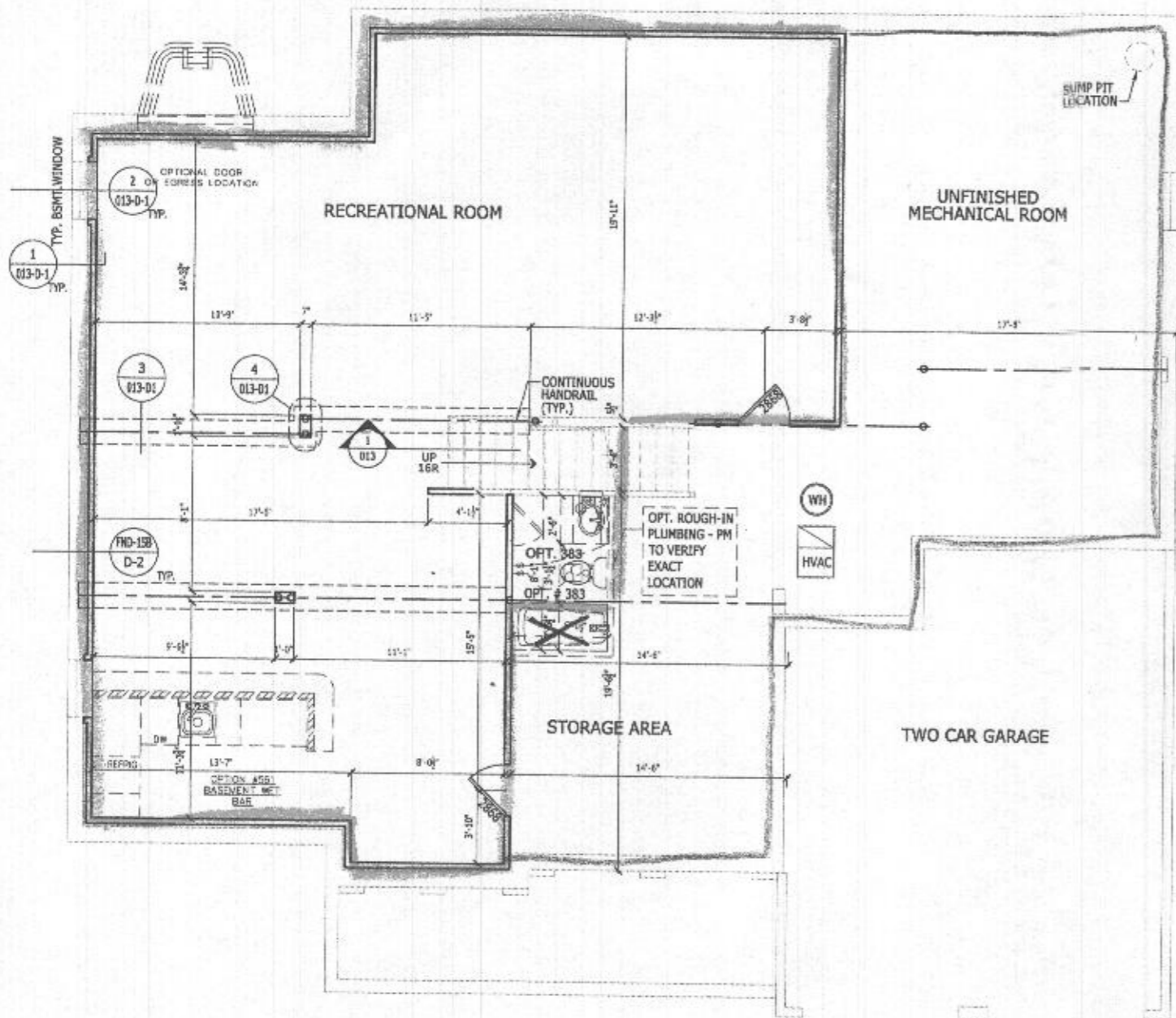
FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID
SUBMITTAL FEES: PAYMENT: ACCEPTED BY:

DATE: Thursday, January 16, 2020 10:23:51 AM

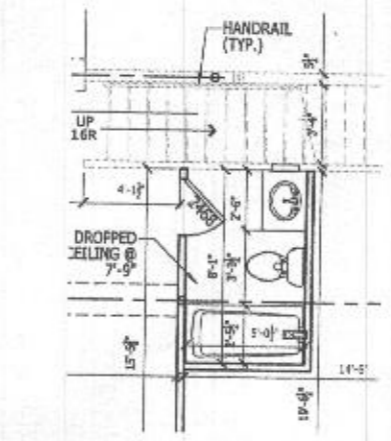
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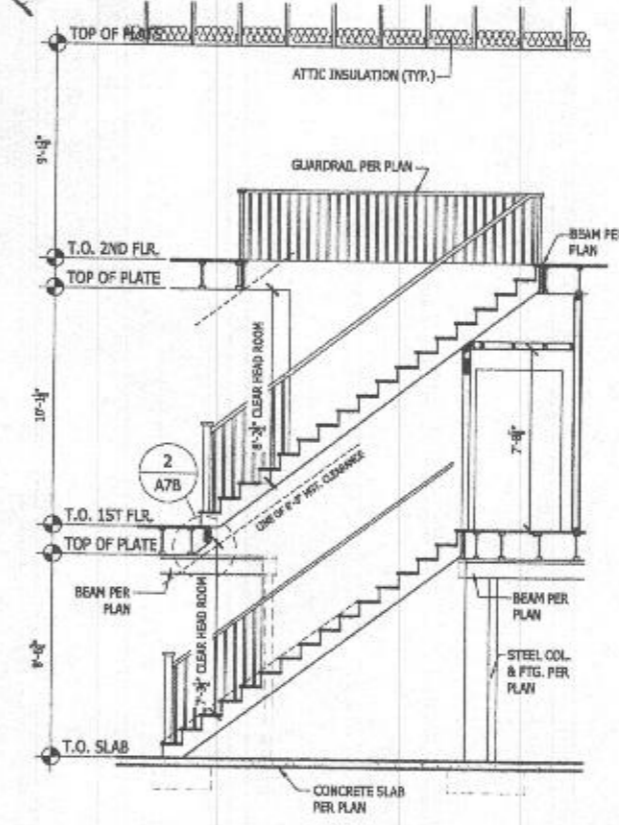
FINISHED BASEMENT PLAN
SCALE: 1/4" = 1'-0"

ALL ELEVATION



OPT. 383- OPTIONAL BATH FOR FINISHED LOWER LEVEL
SCALE: 1/4" = 1'-0" ALL ELEVATION

*Partly finished,
rough-in for
2 piece bath
indicated*



1 BUILDING SECTION
013 Scale: 1/4" = 1'-0"

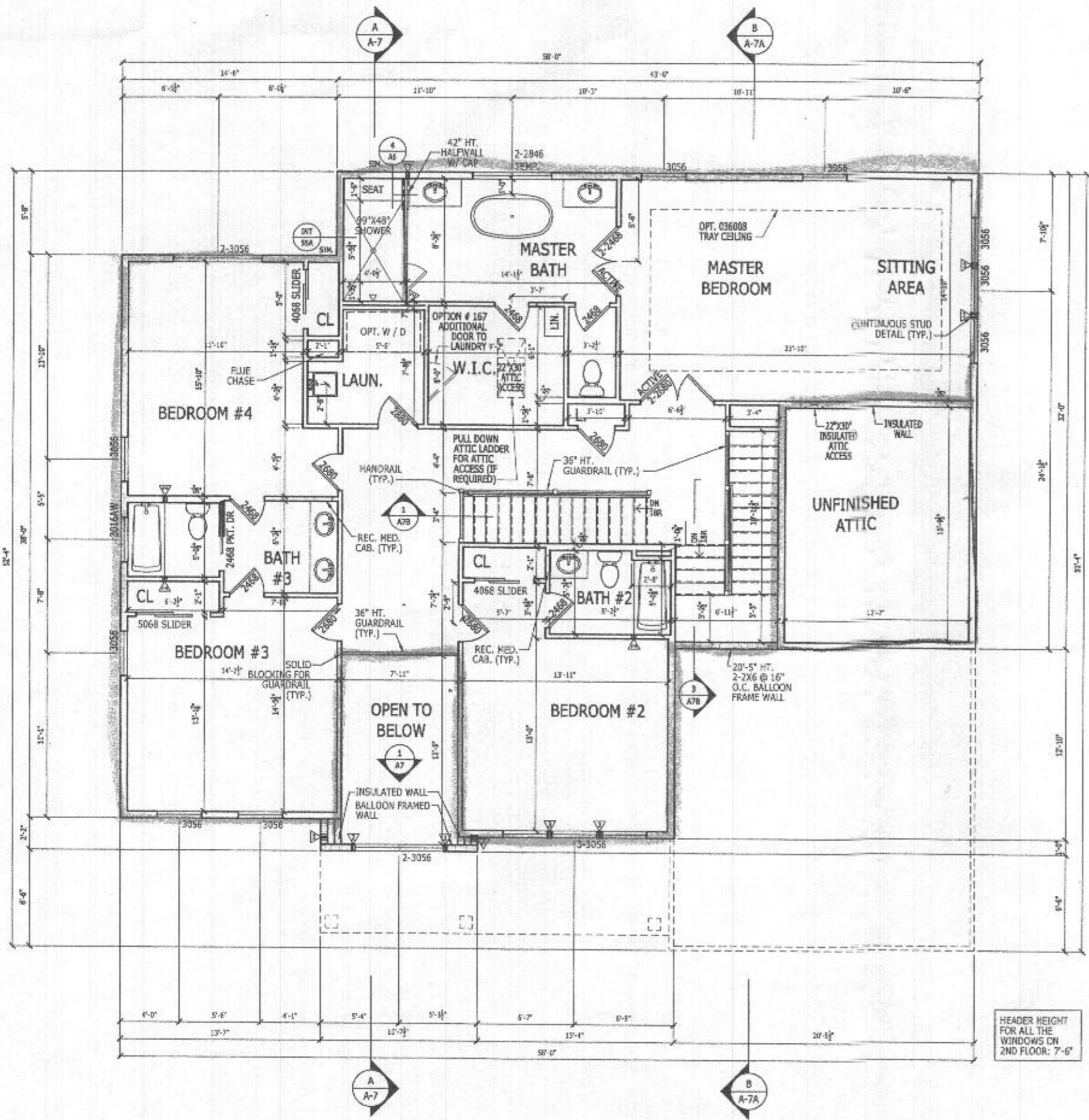
FINISHED LOWER LEVEL NOTES

- REFER TO THE FOUNDATION PLANS FOR "FOUNDATION NOTES", DETAILS AND THE REMAINDER OF THE PLAN.
- REFER TO THE SECTIONS SHEET FOR "SECTION NOTES" AND DETAILS.
- REFER TO THE ELECTRICAL SHEET FOR "ELECTRICAL NOTES" AND "ELECTRICAL LEGEND".
- VERIFY WITH LOCAL MUNICIPALITY/COMMUNITY FOR EGRESS FROM A FINISHED BASEMENT.
- THE INSIDE AND OUTSIDE PERIMETER DRAIN (OUTSIDE DRAIN) SHOULD BE EITHER DAY LIGHTED (WHEN GRADE ALLOWS) OR TIED INTO THE SUMP PUMP AS WELL AS THE DAYLIGHT BASEMENT DOOR DRAIN.
- THE SUMP PUMP SHOULD BE INCLUDED AS A STANDARD PART OF THIS OPTION AND BE NO LESS THAN 1/2 HORSEPOWER, UNLESS PERIMETER DRAINS ARE GRAVITY CAPABLE.
- WATERPROOFING WITH A 10 YEAR GUARANTEE SHOULD BE STANDARD IN LIEU OF DAMP PROOFING.
- BASEMENT WALLS (INSIDE OF CONCRETE FOUNDATION WALLS) SHOULD BE 2X4 STUDS WALLS @ 16" O.C. WITH MINIMUM 2" SPACE BETWEEN BACK OF FRAMING AND INSIDE FACE OF FOUNDATION WALL (TO ALLOW FOR VENTILATION).
- NO VAPOR BARRIER IS TO BE INSTALLED AS PART OF THE BASEMENT WALL FRAMING AS IT WILL HINDER VENTILATION AND PROMOTE THE POSSIBILITY FOR MOLD GROWTH.
- CEILING SHOULD BE 2X2 REVEAL EDGE SUSPENDED TYPE OR DAYWALL, AT THE DISCRETION OF THE DIVISIONAL VICE PRESIDENT.
- HVAC SHOULD ALLOW FOR SEVERAL RETURNS AS WELL AS FEEDS TO THE OUTSIDE WALLS TO ADEQUATELY HEAT AND AIR CONDITION THE BASEMENT AREA.
- RELOCATE SUMP PUMP TO AN AREA OF THE BASEMENT NOT BEING FINISHED.
- INCLUDE ADDITIONAL 15 AMP CIRCUIT FOR LIGHTING IN THE FINISHED BASEMENT AREA.
- ELECTRICAL PANEL LOCATION IS MOVED TO UNFINISHED SPACE.
- FRESH LOWER LEVEL LIGHTING SHALL BE BASED ON (1) 60 WATT, RECESSED FIXTURE, FOR EVERY 100 SQUARE FEET OF FINISHED AREA FOR DRYWALL CEILING (AS SHOWN ON PLAN) or INSTALL 2'X2' FLUORESCENT LIGHTING APPROXIMATELY EVERY 100 SQUARE FEET FOR 2'X2' REVEAL EDGE SUSPENDED TYPE CEILING, AT THE DISCRETION OF THE DIVISIONAL VICE PRESIDENT.
- 2X4 FRAME WALLS, AGAINST FOUNDATION WALLS, TO BE INSULATED WITH UNFACED BATTIS R-13. LOWER HALF OF WALLS SHALL BE 0.95 GLASS OR EQUAL, TOP 1/2" GYPSUM WALLBOARD.

RIGHT HAND SET

TOLLARCHITECTURE	
PHILADELPHIA - ORLANDO DALLAS - LOS ANGELES - SEATTLE 250 Gibraltar Road, Hershram, PA 19044 P 215-293-5300 F 215-293-5314 A Division of Toll Brothers	
SHEET REVISION INFO	SET REVISION INFO
	202347
PRODUCT LINE	MODEL/PROJECT NAME
	DUMONT
	ELEVATION NAME
	CRAFTSMAN
DRAWN BY - K.SIDHUPURA	CHECKED BY - TOLLARCH
	SHEET DATE - 03.13.2019
SHEET DESCRIPTION	
OPT # 013- FINISHED BASEMENT PLAN	
SHEET NUMBER	013
SERIAL NUMBER	1015.1

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LATERAL BRACING

THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.

FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET

4-bedrooms

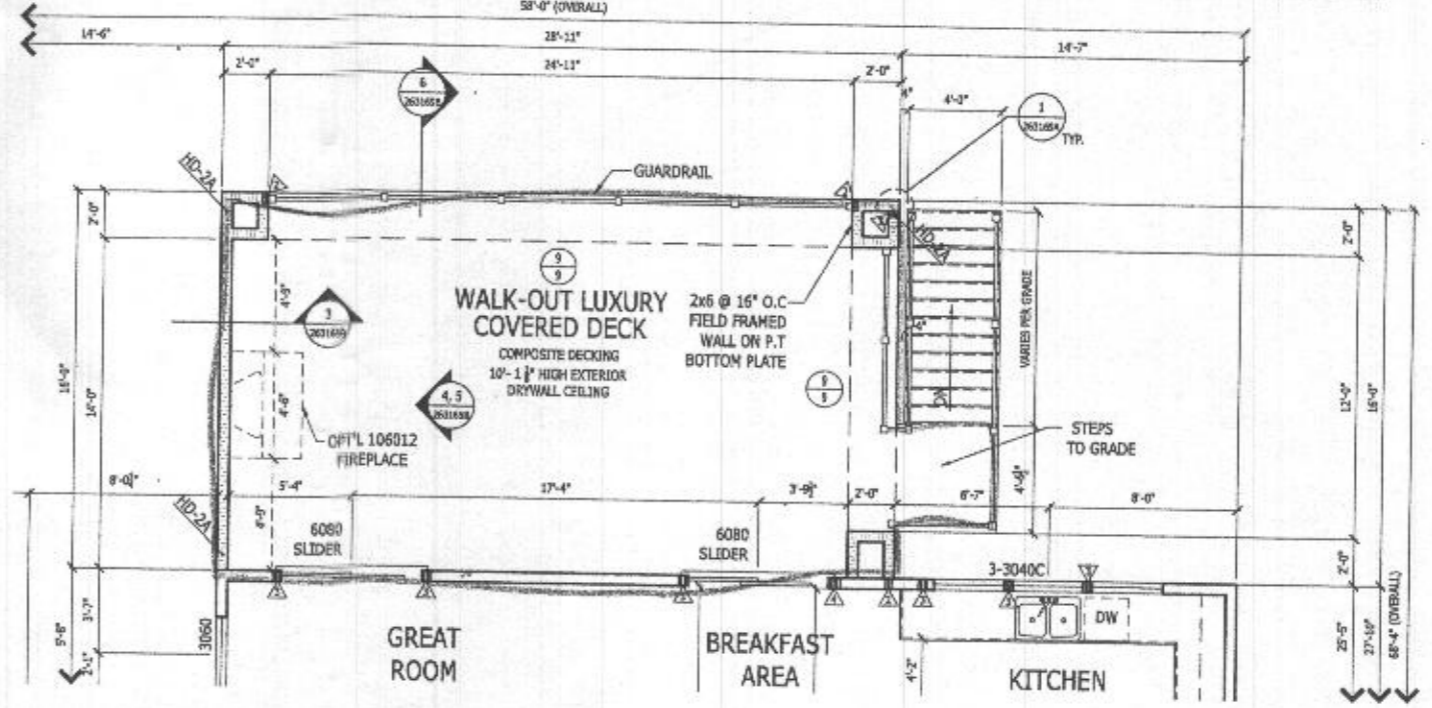
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

9' CEILING HEIGHT
CRAFTSMAN

RIGHT HAND SET

SHEET DESCRIPTION SECOND FLOOR PLAN		SERIAL NUMBER 1015.1	
DRAWN BY - K. SIDHUPURA	CHECKED BY - TOLLARCHITECTURE	PRODUCT LINE DUMONT	ELEVATION NAME CRAFTSMAN
SHEET DATE - 03.13.2019		MODEL/PROJECT NAME DUMONT	SET REVISION INFO 202947
TOLLARCHITECTURE PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE 250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300 F 215-293-5314 A Division of Toll Brothers		TOLLARCHITECTURE	

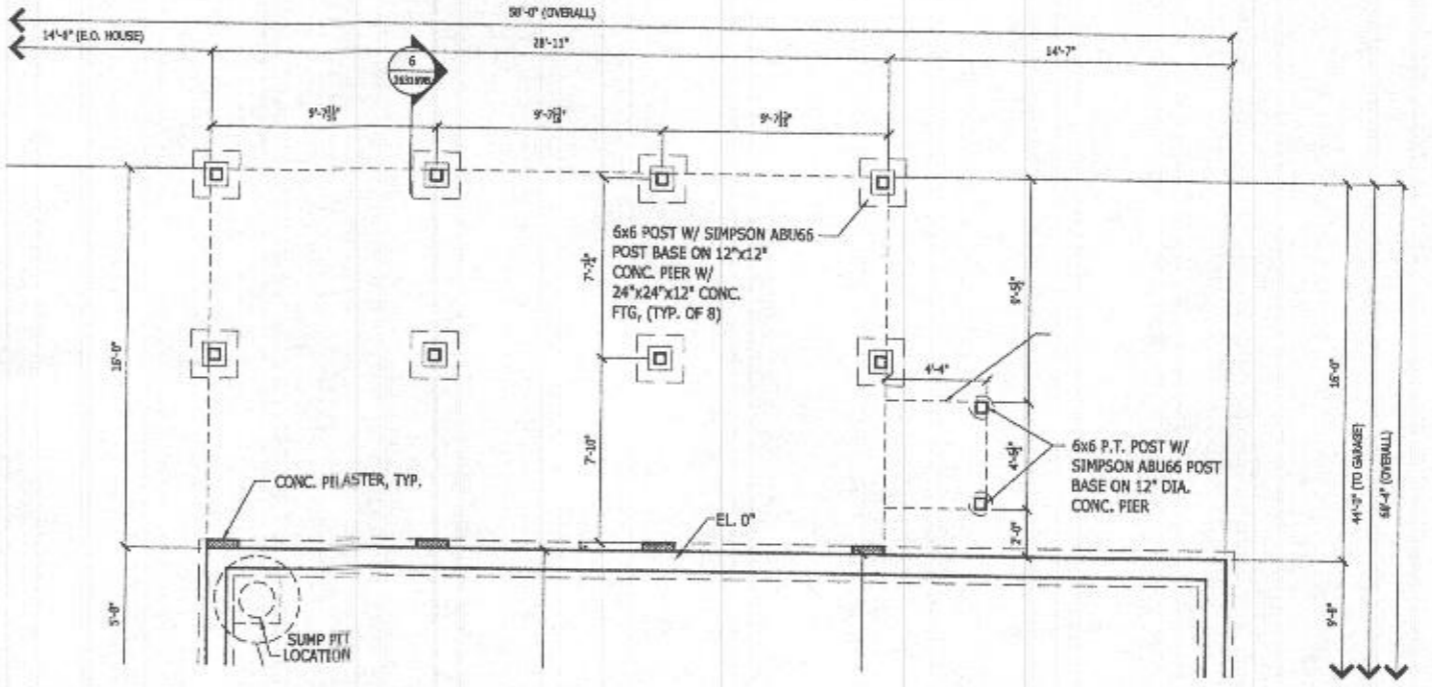
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PARTIAL FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

CRAFTSMAN SHOWN



PARTIAL BASEMENT FOUNDATION PLAN

Scale: 1/4" = 1'-0"

CRAFTSMAN SHOWN

LATERAL BRACING
 THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.
 FOR OSB + DRYWALL ATTACHMENT SEE A4.1 DETAIL SHEET

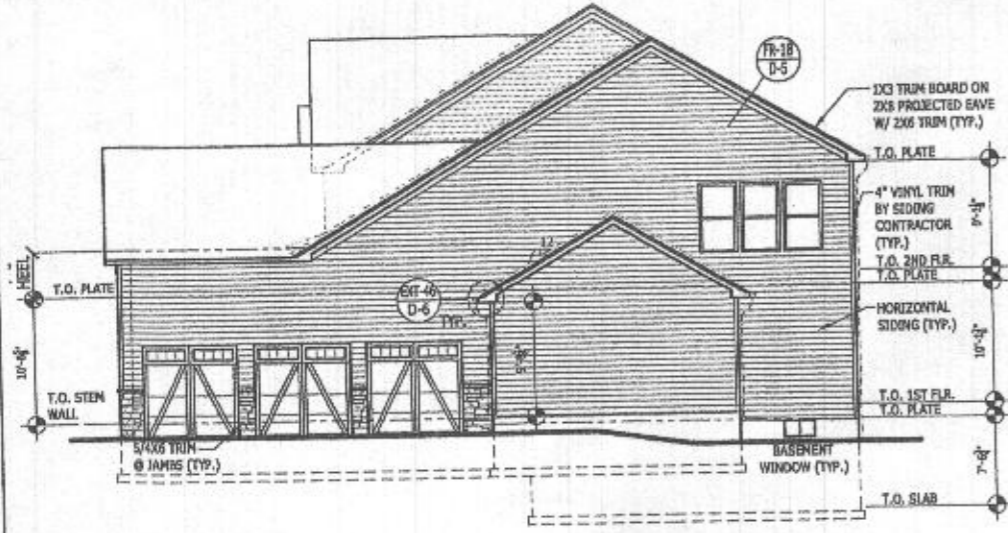
SEE OPT.263165 FOR ADDITIONAL PLANS AND DETAILS

HEADER HEIGHT FOR ALL THE WINDOWS ON 2ND FLOOR: 7'-6"

RIGHT HAND SET

TOLLARCHITECTURE	
PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE	
250 Gibraltar Road, Hovsham, PA 19044 P 215-293-5300 F 215-293-5314 A Division of Toll Brothers	
SHEET REVISION INFO	SET REVISION INFO
	202347
PRODUCT LINE	MODEL/PROJECT NAME
	DUMONT
	ELEVATION NAME
DRAWN BY - A. BIERSTEIN	CHECKED BY - TOLL ARCH.
	SHEET DATE - 08/26/19
SHEET DESCRIPTION	
OPT # 263169- WALK-OUT LUXURY COVERED DECK	
SHEET NUMBER	263169
SERIAL NUMBER	1015.1

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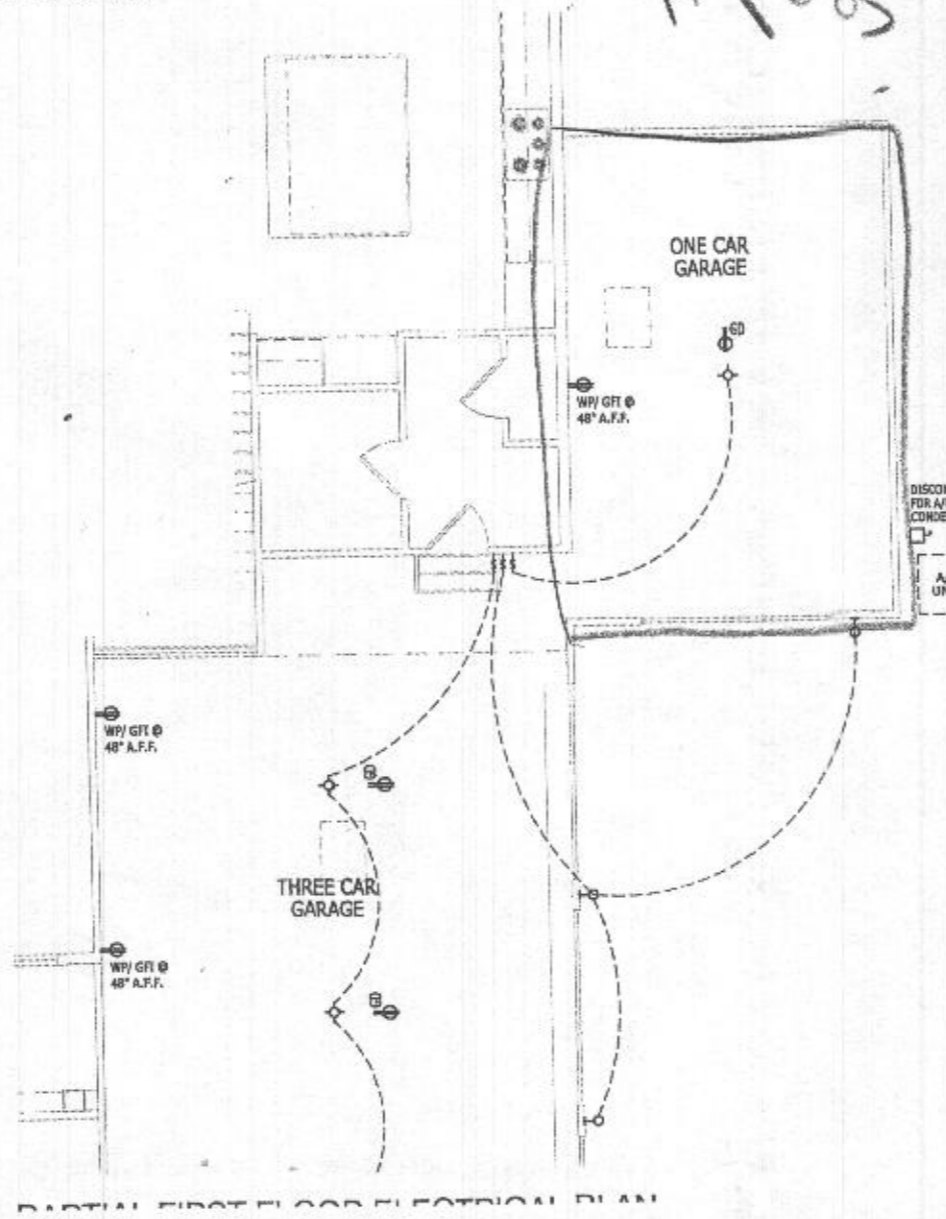


SIDE ELEVATION

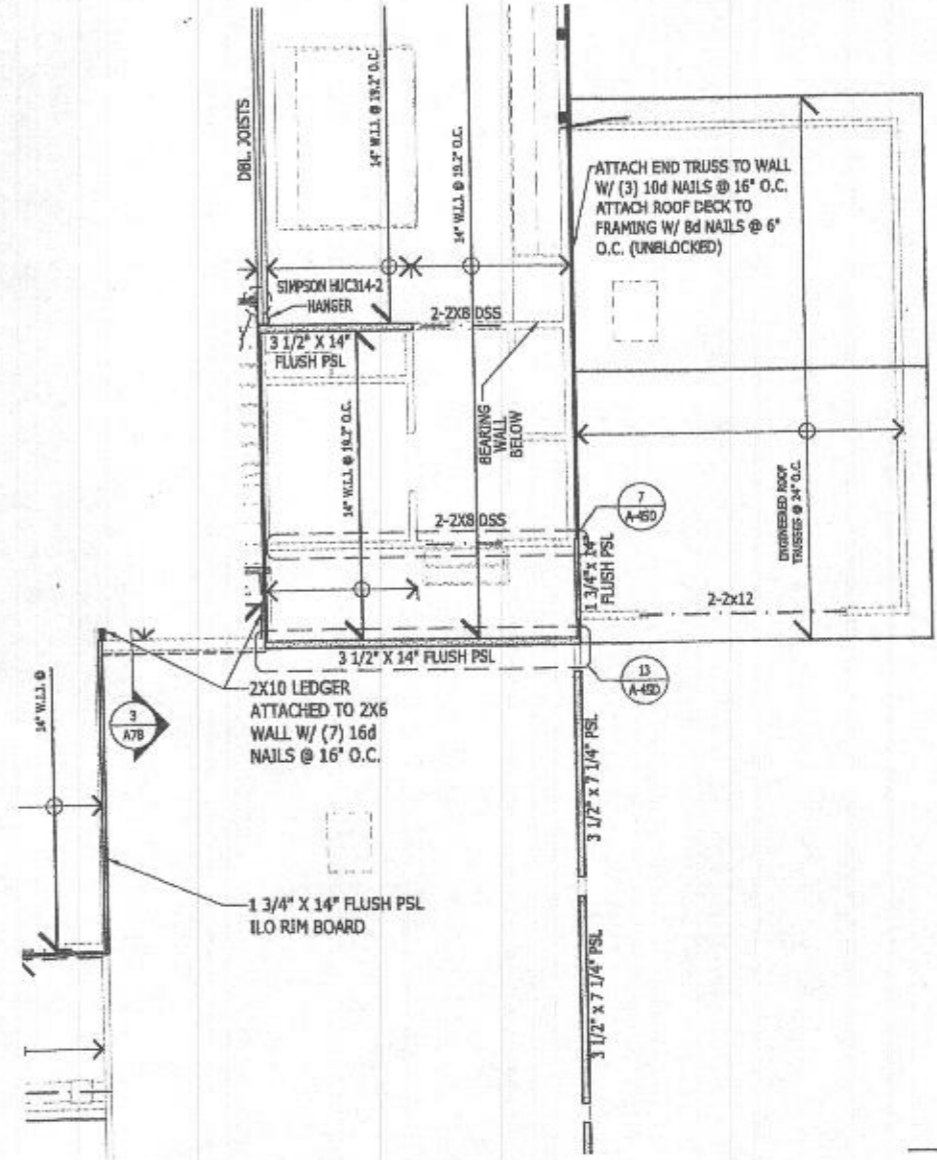
Scale: 1/4" = 1'-0"

CRAFTSMAN SHOWN (ALL ELEVATION SIM.)

Additional 1 car garage



PARTIAL FIRST FLOOR ELECTRICAL PLAN



PARTIAL SECOND FLOOR FRAMING PLAN

LATERAL BRACING
 THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.
 FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET

HEADER HEIGHT FOR ALL THE WINDOWS ON 2ND FLOOR: 7'-6"

REFER 263102A FOR ROOF PLAN REAR ELEVATION AND FRONT ELEVATION

IT HAND SET

DESCRIPTION
 #001-263102- THREE CAR SIDE ENTRY GARAGE
 ADDITIONAL ONE CAR FRONT ENTRY GARAGE-14'

DRAWN BY - K.SIDHURIA
 CHECKED BY - TOLLARCH
 SHEET DATE - 09.10.2019

PRODUCT LINE
 MODEL/PROJECT NAME
DUMONT
 ELEVATION NAME

SHEET REVISION INFO
 SET REVISION INFO
 202347

TOLLARCHITECTURE
 PHILADELPHIA - ORLANDO
 DALLAS - LOS ANGELES - SEATTLE
 250 Gibraltar Road, Horsham, PA 19044
 P 215-293-5300 | F 215-293-5314
 A Division of Toll Brothers

IT SER
001-263102A