

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

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Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 9-30-21 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 570177

APPROVAL DATE: 10/22/2021 **PERMIT: CONSTRUCTION**

A _____

PROPERTY ADDRESS: 15625 LINDEN GROVE LANE, WOODBINE, MD 21797

SUBDIVISION: LINDEN GROVE, PHASE 1 LOT: 6 TAX ID: 04-601885

CONTRACTOR: CHAVIS ENTERPRISES & SEPTIC SERVICES, LLC EMAIL: ryan@chavisenterprisesllc.com

CONTRACTOR ADDRESS: 23 EAST ELLENDALE, BEL AIR, MD 21014 PHONE: (410)838-3007

PROPERTY OWNER: TOLL MID-ATLANTIC LP COMPANY, INC EMAIL: Sriley1@tollbrothers.com

OWNER ADDRESS: 250 GIBRALTER ROAD, HORSHAM, PA 19044 PHONE: (410)381-3271

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Back River Pre-Cast, LLC

PUMP MODEL: n.a. PUMP SIZE n.a. PUMP TANK CAPACITY: n.a.

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 6 APPLICATION RATE: 0.8

TRENCHES:	LINEAR FEET REQUIRED: <u>142</u>	INLET DEPTH: <u>3.5</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8.0</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>12</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>3.5</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	BEGIN INSTALLATION OF TRENCHES CLOSER TO DISTRIBUTION BOX INSTALL AT LEAST 2 CLEANOUTS IN SHC.	

ISSUED BY: R BRICKER ISSUE DATE: 10-7-21 EXPIRATION DATE: 9-30-22

NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION

NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING

NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.

NOTE: WATERTIGHT TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

ELECTRICAL PERMIT ISSUED E n.a.

NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

NOT TO SCALE

SEE ATTACHED

ROAD NAME

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
<u>3'</u>	<u>4.5', 3.5'</u>	<u>8'</u>
NUMBER OF TRENCHES		<u>2</u>
TOTAL LENGTH		<u>144 F</u>
ABSORPTION AREA		<u>432 SF +</u>
DISTRIBUTION BOX LEVEL		<u>SPEED</u>
DISTRIBUTION BOX BAFFLE		<u>CONC.</u>
DISTRIBUTION BOX PORT		<u>YES</u>

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL	<u>YES</u>
MANUFACTURER	<u>BABYLON</u>
CAPACITY	<u>2000</u> GAL
SEAM LOC	<u>TOP</u>
TANK LID DEPTH	<u>2'</u>
BAFFLES	<u>YES</u>
BAFFLE FILTER	<u>-</u>
MANHOLE LOC	<u>FRONT/BACK</u>
6" PORT LOC	<u>-</u>
WATERTIGHT TEST	<u>-</u>
SLOTTED	<u>YES</u>
DATE ON LID	<u>08/10/2021</u>

PUMP/SEPTIC TANK LEVEL	_____
MANUFACTURER	_____
CAPACITY	_____ GAL
SEAM LOC	_____
TANK LID DEPTH	_____
BAFFLES	_____
BAFFLE FILTER	_____
MANHOLE LOC	_____
6" PORT LOC	_____
WATERTIGHT TEST	_____
SLOTTED	_____
DATE ON LID	_____

PRE-CONSTRUCTION:

10/08/2021 CONFIRMED 2x70' TR STRAIGHTENED LOWER TRENCH w/ 6" DIFFERENCE. P

INSTALLATION:

10/22/2021 INSTALLED SHC; TANK; DBOX - LEVELED w/ SPEED LEVELS; 2x72 TR. UPPER TRENCH IS 9' DEEP INLET 4.5' - SHOULD BE OK BASED OFF PERC 318 (DEPTH 13') - INSTALLATION PERSONNEL WAS NOT INFORMED BY LAYOUT PERSONNEL TRENCHES WERE STRAIGHTENED w/ 6" DIFFERENTIAL. CONTRACTOR TO CALL HEALTH BEFORE MAKING DESIGN CHANGES - INSTALLER IS NEW TO OSDS ~5 mo.

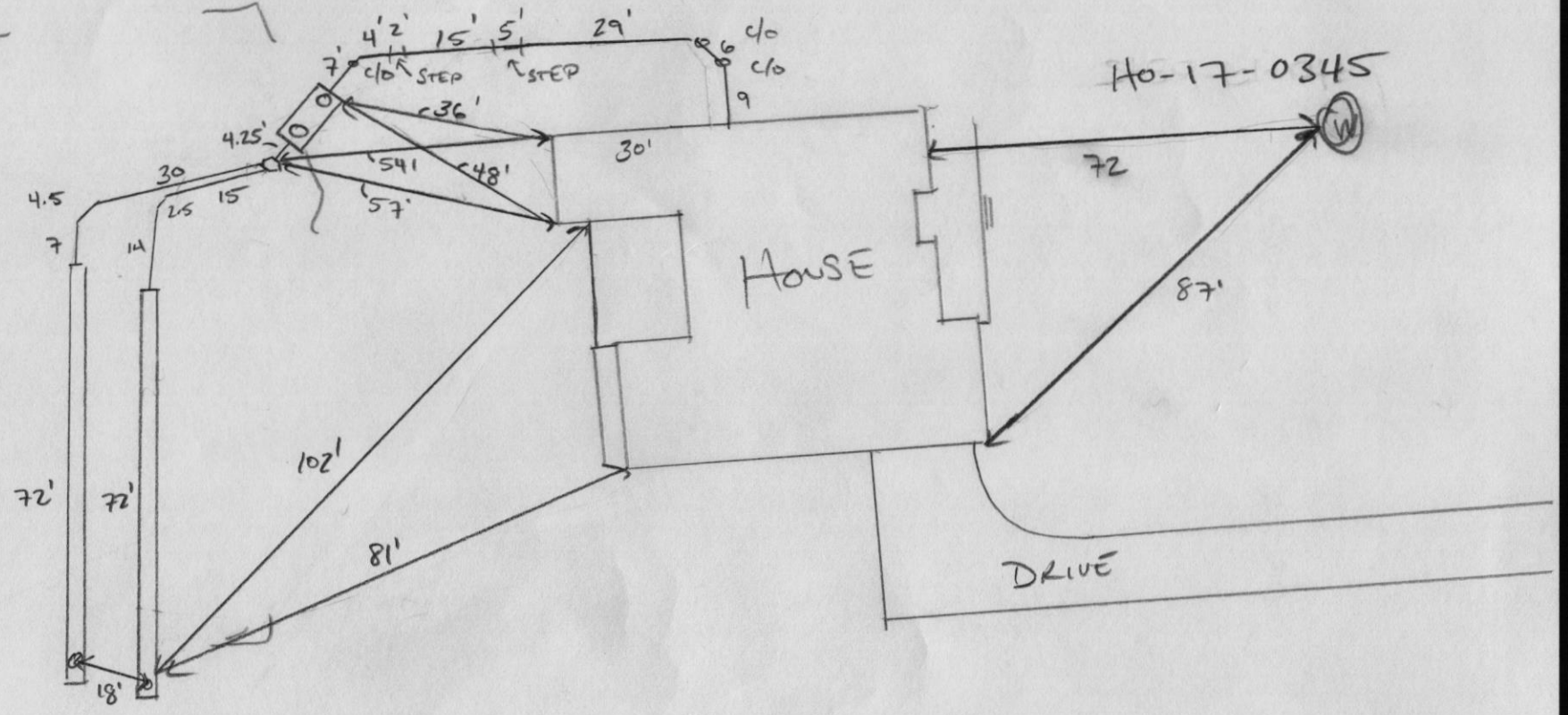
FINAL INSPECTOR

DATE OF APPROVAL

10/22/2021

NOT TO SCALE

121-801



HO-17-0345

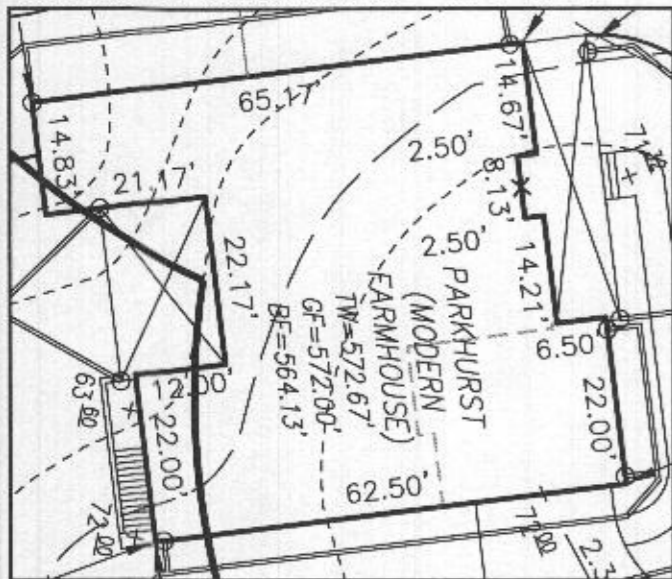
LINDEN GROVE LANE

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

LEGEND:

- BRL BUILDING RESTRICTION LINE
- W WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- FAILED PERC LOCATION
- SILT FENCE
- SUPER SILT FENCE
- SCE STONE CONSTRUCTION ENTRANCE
- SEPTIC RESERVE AREA
- WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE
- PROPOSED TREE

NOTE:
TOTAL LIMITS OF DISTURBANCE (LOD) = 33,941 SQ. FT.

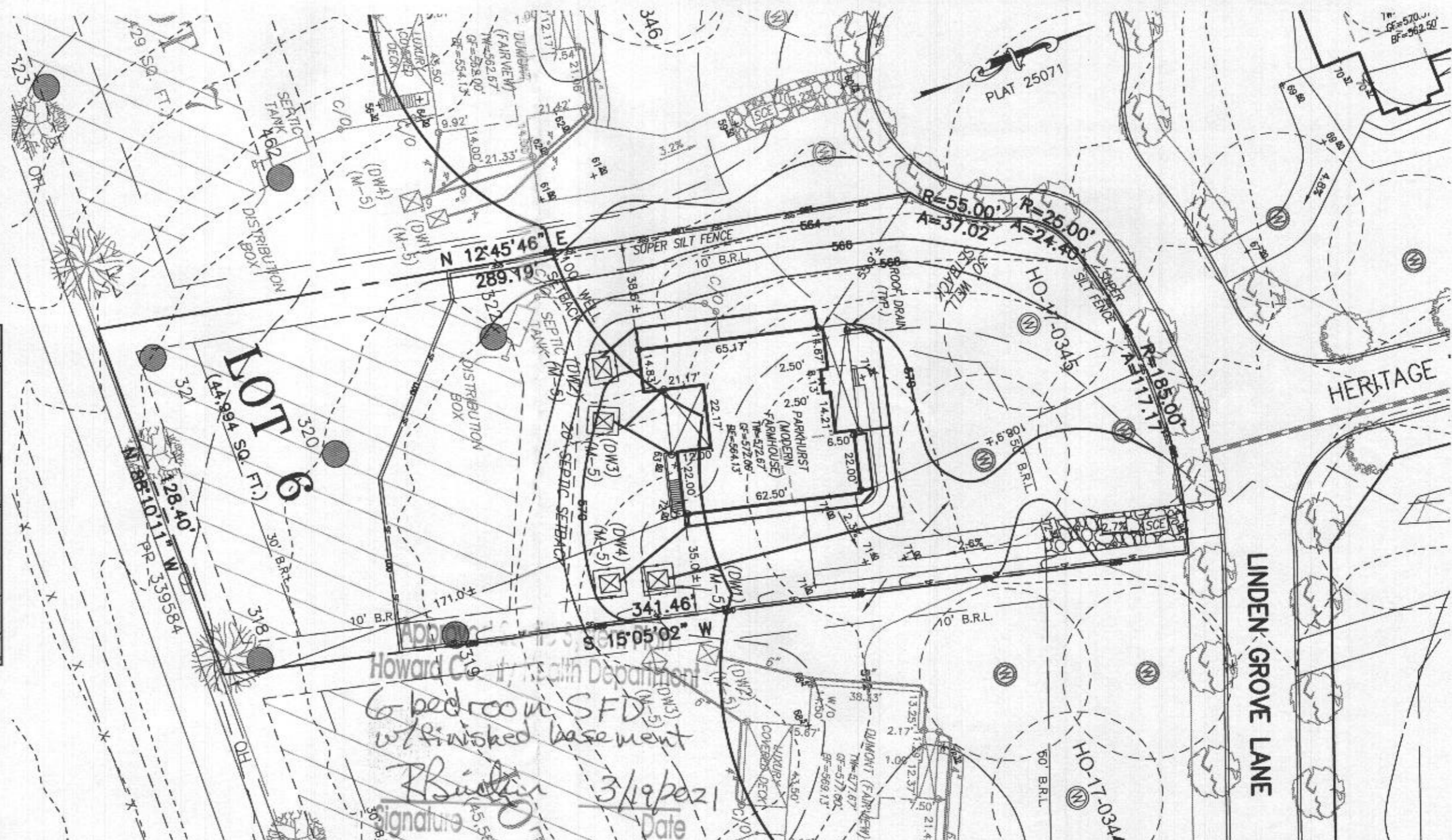


HOUSE ENLARGEMENT
NOT TO SCALE

WELL NUMBER: HO-17-0345

ADDRESS: 15625 LINDEN GROVE LANE
WOODBINE, MD 21797

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE
DEVELOPMENT PLAN SETBACK DISTANCES SHOWN
HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: PARKHURST (MODERN FARMHOUSE)

- TWO CAR SIDE ENTRY GARAGE
- FINISHED LOWER LEVEL
- DAYLIGHT BASEMENT
- MULTI-GENERATIONAL SUITE ADDITION
- PREP KITCHEN
- LUXURY OUTDOOR LIVING SPACE
- BEDROOM FOR FINISHED LOWER LEVEL
- OPTIONAL BATH FOR FINISHED LOWER LEVEL
- WET BAR FOR FINISHED LOWER LEVEL
- MEDIA ROOM FOR FINISHED LOWER LEVEL

- OPTION No. 012
- OPTION No. 013
- OPTION No. 018
- OPTION No. 263073
- OPTION No. 263158
- OPTION No. 263165
- OPTION No. 263216
- OPTION No. 383
- OPTION No. 561
- OPTION No. 562

B21000420

PLOT PLAN
LOT 6
LINDEN GROVE
LIBER 1619, FOLIO 341
PLAT NO. 25071
ELECTION DISTRICT No. 4
HOWARD COUNTY, MARYLAND

ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENT

ESE Consultants, Inc.

7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046

T: 410-872-9105

DATE: 02/01/2021 SCALE: 1" = 40' FILE: 4683 PP LOT 6 PARKHURST MF.

CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.X.P.



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2132B, EXPIRATION DATE 1/8/23.

HOUSE OPTIONS:

- HOUSE TYPE: PARKHURST (MODERN FARMHOUSE)
- TWO CAR SIDE ENTRY GARAGE
 - FINISHED LOWER LEVEL
 - DAYLIGHT BASEMENT
 - MULTI-GENERATIONAL SUITE ADDITION
 - PREP KITCHEN
 - LUXURY OUTDOOR LIVING SPACE
 - BEDROOM FOR FINISHED LOWER LEVEL
 - OPTIONAL BATH FOR FINISHED LOWER LEVEL
 - WET BAR FOR FINISHED LOWER LEVEL
 - MEDIA ROOM FOR FINISHED LOWER LEVEL

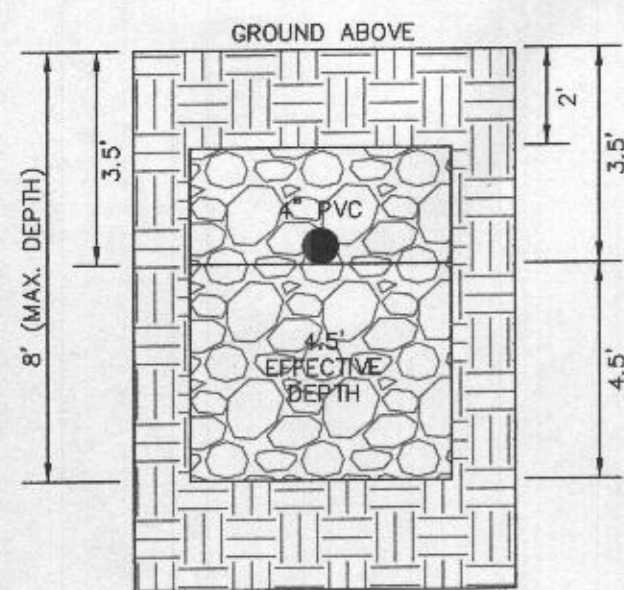
- OPTION No. 012
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- OPTION No. 263158
- OPTION No. 263165
- OPTION No. 263216
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- OPTION No. 383
- OPTION No. 561
- OPTION No. 562

INITIAL TRENCH DATA

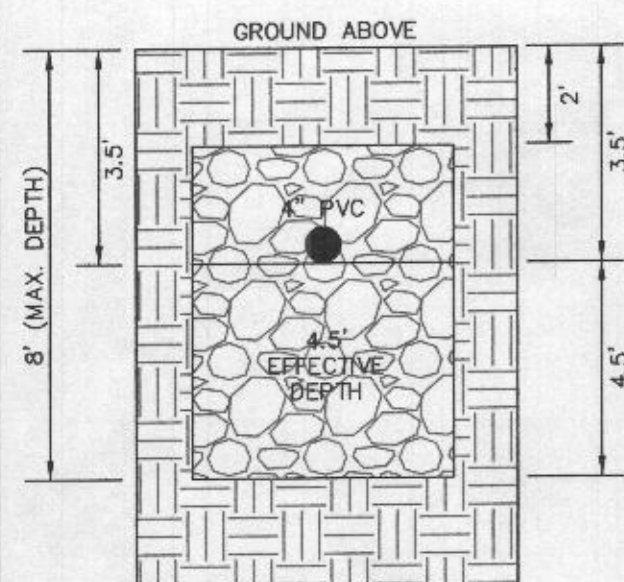
BOTTOM MAX. DEPTH (8.0')

TRENCH 1 (T1): 71.25 LF.
GROUND ABOVE = 565.2'
INV. IN = 561.7'
BOTTOM TRENCH = 557.2'

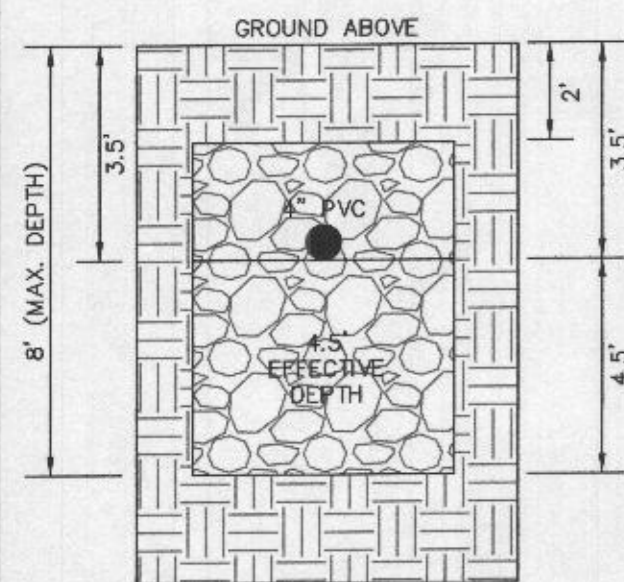
TRENCH 2 (T2): 71.25 LF.
GROUND ABOVE = 564.2'
INV. IN = 560.7'
BOTTOM TRENCH = 556.2'



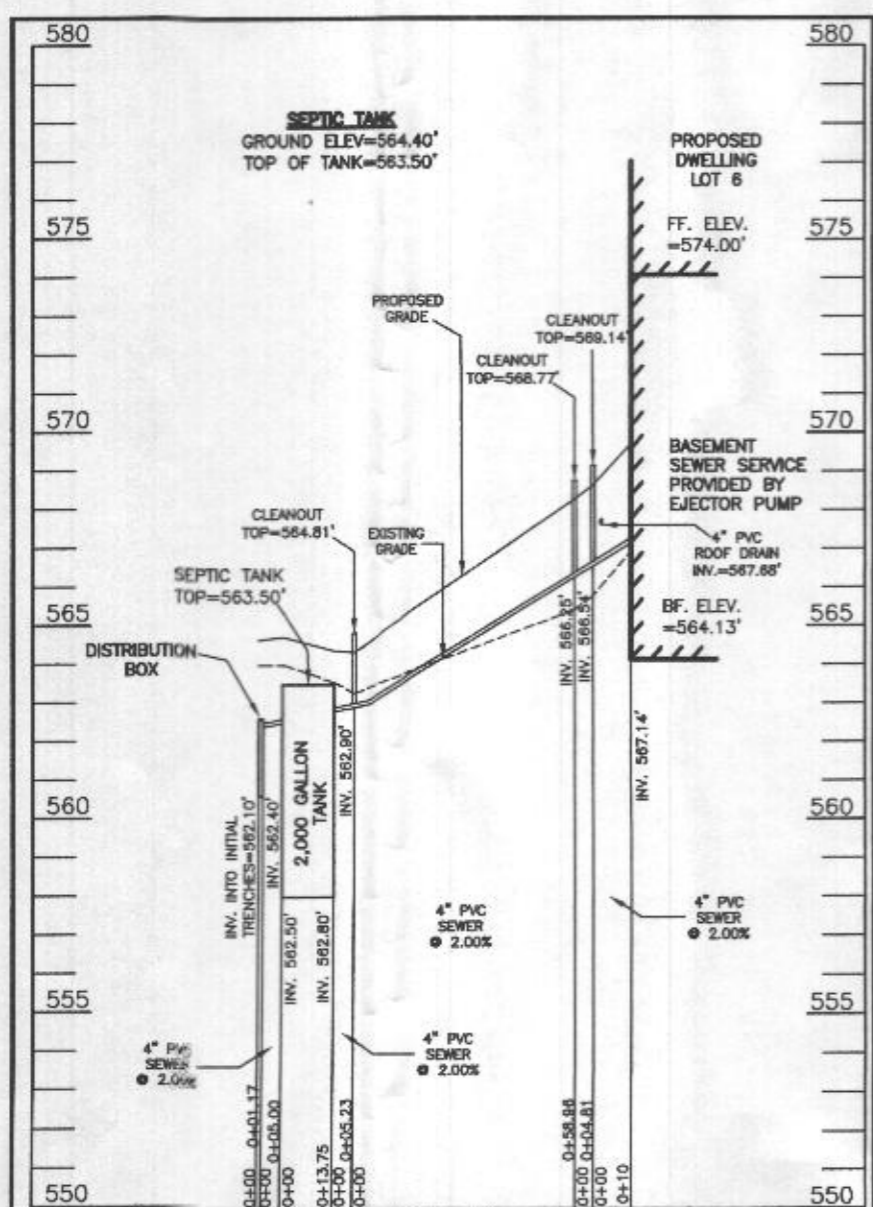
INITIAL SYSTEM TRENCH DETAIL (T1) AND (T2) (NOT TO SCALE)



1ST REPLACEMENT SYSTEM TRENCH DETAIL (T3) AND (T4) (NOT TO SCALE)



2ND REPLACEMENT SYSTEM TRENCH DETAIL (T5) AND (T6) (NOT TO SCALE)



SEPTIC SYSTEM PROFILE
SCALE = HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

LEGEND:

- BRL BUILDING RESTRICTION LINE
- WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- FAILED PERC LOCATION
- SEPTIC RESERVE AREA
- WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE
- PROPOSED TREE



SEWAGE DISPOSAL SYSTEM DATA (6 BDRM)

- PROPOSED INVERT AT FOUNDATION WALL: 562.90'
- EX. GRADE OVER TANK: 563.78'
PROPOSED GRADE OVER TANK: 564.92'
INVERT IN: 561.32' INVERT OUT: 561.02'
 - DISTRIBUTION BOX
EXISTING GRADE OVER TANK: 564.00'
PROPOSED GRADE OVER TANK: 564.65'
INVERT IN: 560.92' INVERT OUT: 560.62'
 - INITIAL TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)
900 GPD ÷ 0.8 APP. RATE = 1,125 SF
USE 3' WIDE TRENCH WITH 54" GRAVEL BELOW PIPE
12' MIN. SPACING BETWEEN TRENCH EDGES
1,125 SF ÷ 3' WIDTH = 375 LF x 0.38 (SIDEWALL REDUCTION) = 142.50 LF MIN.
USE 2 71.25' LONG TRENCHES = 142.50 LF
 - 1ST REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)
900 GPD ÷ 0.8 APP. RATE = 1,125 SF
USE 3' WIDE TRENCH WITH 54" GRAVEL BELOW PIPE
12' MIN. SPACING BETWEEN TRENCH EDGES
1,125 SF ÷ 3' WIDTH = 375 LF x 0.38 (SIDEWALL REDUCTION) = 142.50 LF MIN.
USE 2 71.25' LONG TRENCHES = 142.50 LF
 - 2ND REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)
900 GPD ÷ 0.8 APP. RATE = 1,125 SF
USE 3' WIDE TRENCH WITH 54" GRAVEL BELOW PIPE
12' MIN. SPACING BETWEEN TRENCH EDGES
1,125 SF ÷ 3' WIDTH = 375 LF x 0.38 (SIDEWALL REDUCTION) = 142.50 LF MIN.
USE 2 71.25' LONG TRENCHES = 142.50 LF

SOILS LEGEND			
SOIL	NAME	CLASS	Kw
BrD	BRINKLOW CHANNERY LOAM, 15 TO 25 PERCENT SLOPES	B	.20
GgA	GLENELG LOAM, 0 TO 3 PERCENT SLOPES	B	.20
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	.20
GgC	GLENELG LOAM, 8 TO 15 PERCENT SLOPES	B	.20
*GmA	GLENVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES	C	.37
*GmB	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	C	*** .37
*GmC	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	C	*** .37
MaC	MANOR LOAM, 8 TO 15 PERCENT SLOPES	B	.24

NOTES:

- * HYDRIC SOILS AND / OR CONTAINS HYDRIC INCLUSIONS
- ** MAY CONTAIN HYDRIC INCLUSIONS
- *** DENOTES ERODIBLE SOILS

WELL LOCATION CERTIFICATION:

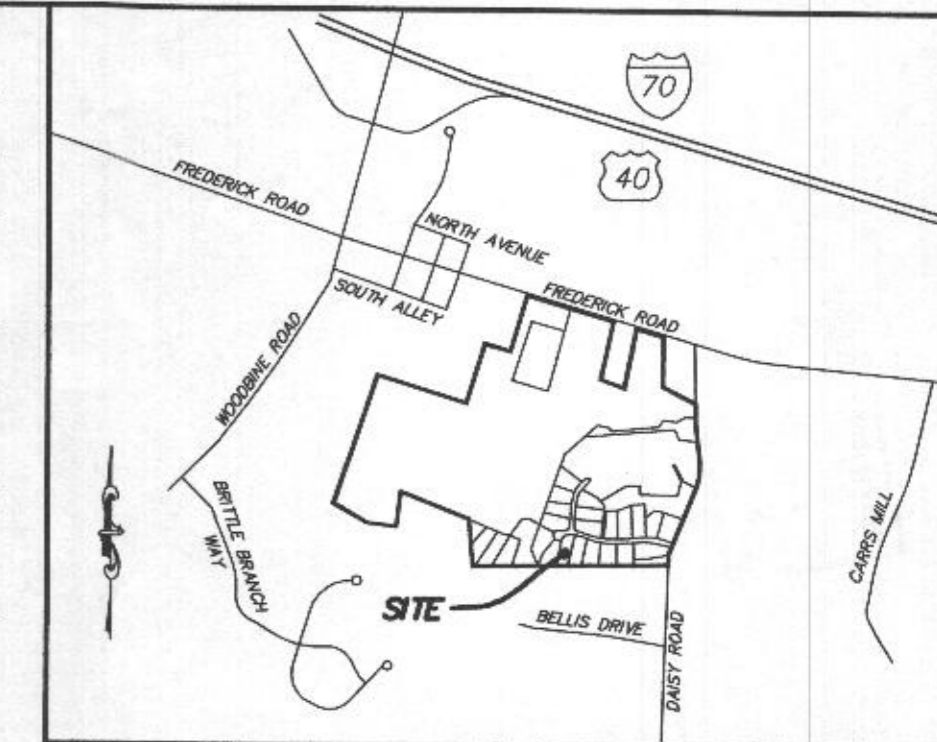
THE EXISTING WELL SHOWN FOR LOT 6 (TAG NO. HO-17-0345) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN
LOT 6
LINDEN GROVE
LIBER 15899, FOLIO 246
PLAT NO. 25071
ELECTION DISTRICT NO. 4
HOWARD COUNTY, MARYLAND
ADDRESS: 15625 LINDEN GROVE LANE
WOODBINE, MARYLAND 21797

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ESE Consultants, Inc.
7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046
T: 410-872-9105

DATE: 02/08/2021 SCALE: 1"=30' FILE: OSDS LOT 6
CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.X.P.

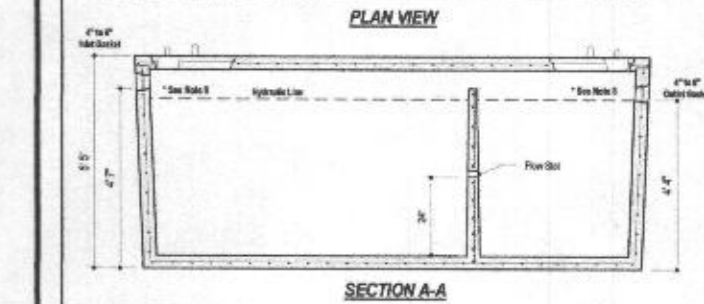
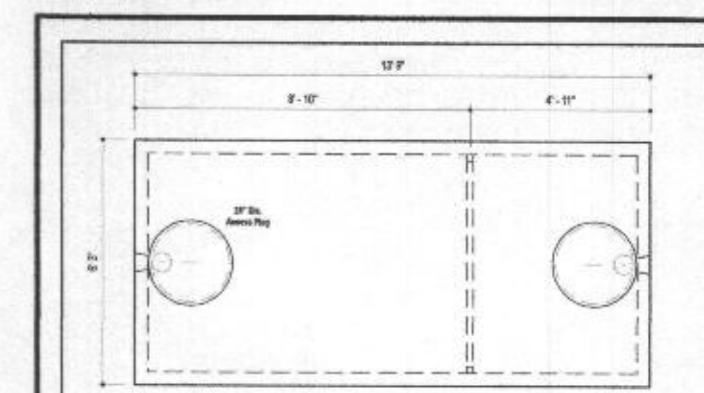


VICINITY MAP

1" = 1000'

GENERAL NOTES:

- THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
- EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
- ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.
- ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
- THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS, 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.



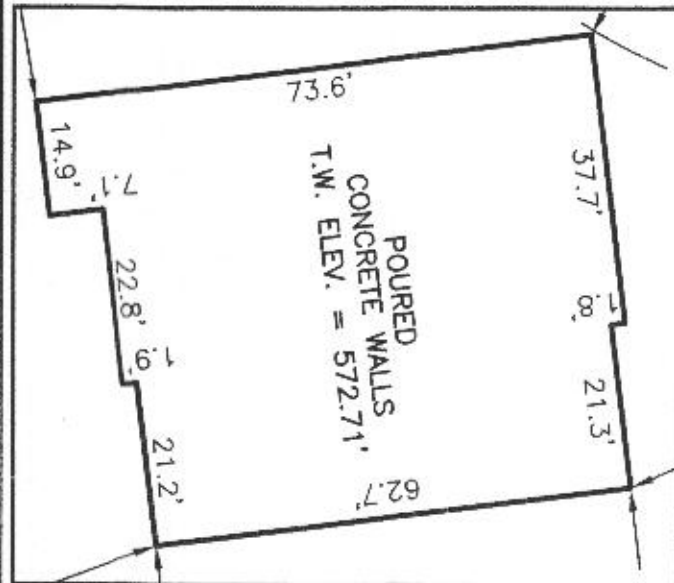
DEPT. DATA & GENERAL NOTES:

- Design strength based on 200 gpd per bedroom.
- Minimum 12" spacing between trench edges.
- Minimum 12" spacing between trench edges.
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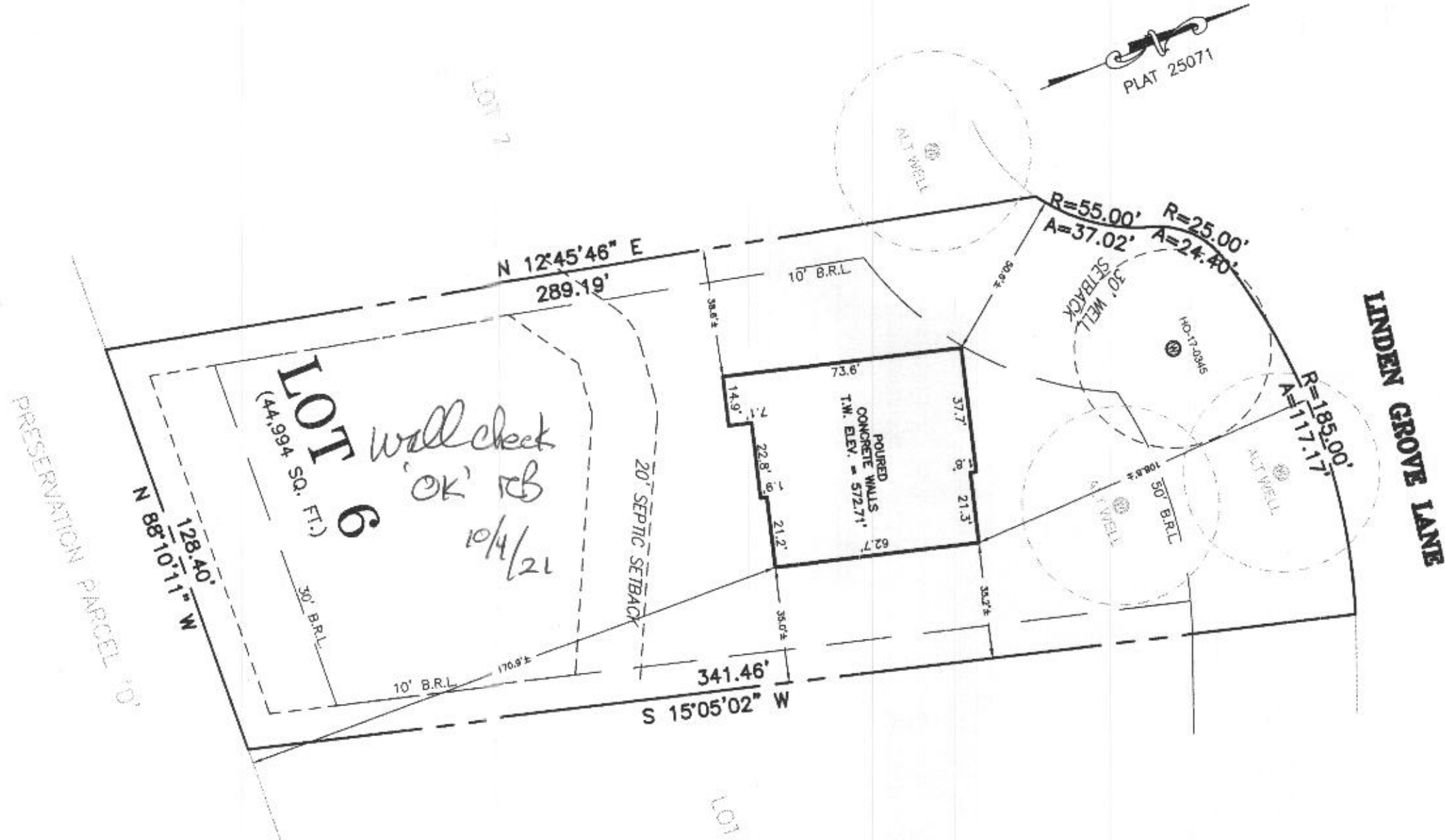
BACK RIVER PRE-CAST, LLC
2,000 GALLON SEPTIC TANK
2-Compartment
Stock Item (Approx. 19,900 lbs)
Aug 11, 1998

LEGEND:

- BRL BUILDING RESTRICTION LINE
- ⊙ WELL LOCATION
- T.W. TOP OF WALL
- ELEV. ELEVATION
- SEPTIC RESERVE AREA



HOUSE ENLARGEMENT
NOT TO SCALE



WELL NUMBER: HO-17-0345
 ADDRESS: 15625 LINDEN GROVE LANE
 WOODBINE, MD 21797
 PERMIT No.: B21000420

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE
 DEVELOPMENT PLAN SETBACK DISTANCES SHOWN
 HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.

SURVEYOR'S CERTIFICATE

THIS WALLCHECK WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.
THIS IS NOT A "LOCATION DRAWING" AND IS NOT TO BE USED FOR SETTLEMENT PURPOSES.

Michael Joe Boyce 21328 6/21/21
 SIGNATURE: MICHAEL JOE BOYCE MD. LIC NO. DATE

WALLCHECK
 LOT 6
LINDEN GROVE
 LIBER 1619, FOLIO 341
 PLAT NO. 25071
 ELECTION DISTRICT No. 4
 HOWARD COUNTY, MARYLAND

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ESE Consultants, Inc.
 7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046
 T: 410-872-9105

DATE: 06/21/2021 SCALE: 1" = 40' FILE: 4683 WC LOT 6
 CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.X.P.

