

PERMIT NUMBER: B

20001303

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 46517 Linden Grove Lane
City: Woodbine 15617
State: MD
Zip Code: 21797
Subdivision/Village/Complex Name: Linden Grove
SDP/WP/BA #:
Lot: 4 Tax Map: 0008 Parcel: 5 Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: backyard Proposed Use: Shed Estimated Cost: \$15.00
Trade Work to Be Completed (Separate Permits Required):
Install gravel pad (13x21) for a prefabricated shed (12x20). The Classic A Frame Shed has 2 small windows, one 3ft door (on 20' side) and one 6ft double door (on 12'side). The vinyl siding is cape cod gray with white trim, black shutters, and charcoal gray shingles. Roof pitch is 7/12.

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Joseph Patrick Quinn & Lorie Schanzle Quinn
Owner's Street Address: 15617 Linden Grove Lane
City: Woodbine State: MD Zip Code: 21797
Phone: (301) 607-9119 Email: realtorjoe@icloud.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Contact Name: Joe Quinn
Street Address: 15617 Linden Grove Lane
City: Woodbine State: MD Zip Code: 21797
Phone: (301) 607-9119 Email: realtorjoe@icloud.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Owner will be acting as contractor
Licensee's Name: Joe Quinn License #: APR 04 2022
Street Address: 15617 Linden Grove Lane
City: Woodbine State: MD Zip Code: 21797
Phone: (301) 607-9119 Email: realtorjoe@icloud.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Myers Mini Barns Name: Gary
Street Address: 16041 Frederick Rd
City: Lisbon State: MD Zip Code: 21765
Phone: (410) 489-5451 Email: myersminibarns@gmail.com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF\*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Dumont
# of Bedrooms (SF): 5 # of efficiency units (MF\*): # of 1 BR (MF\*): # of 2 BR (MF\*): # of 3 BR (MF\*):
# Rooms: 3 # Full Baths: 4 # Half Baths: 1 # Fireplaces: 2
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 1st Fl Depth: 2nd Fl Width: 2nd Fl Depth: Bsmt Width: Bsmt Depth:
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: sq ft Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

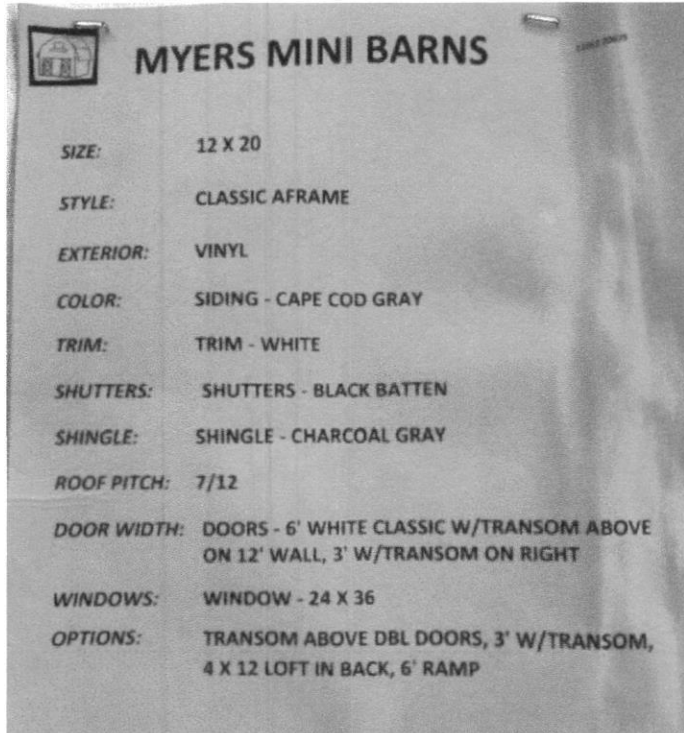
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED

FOR OFFICE USE ONLY

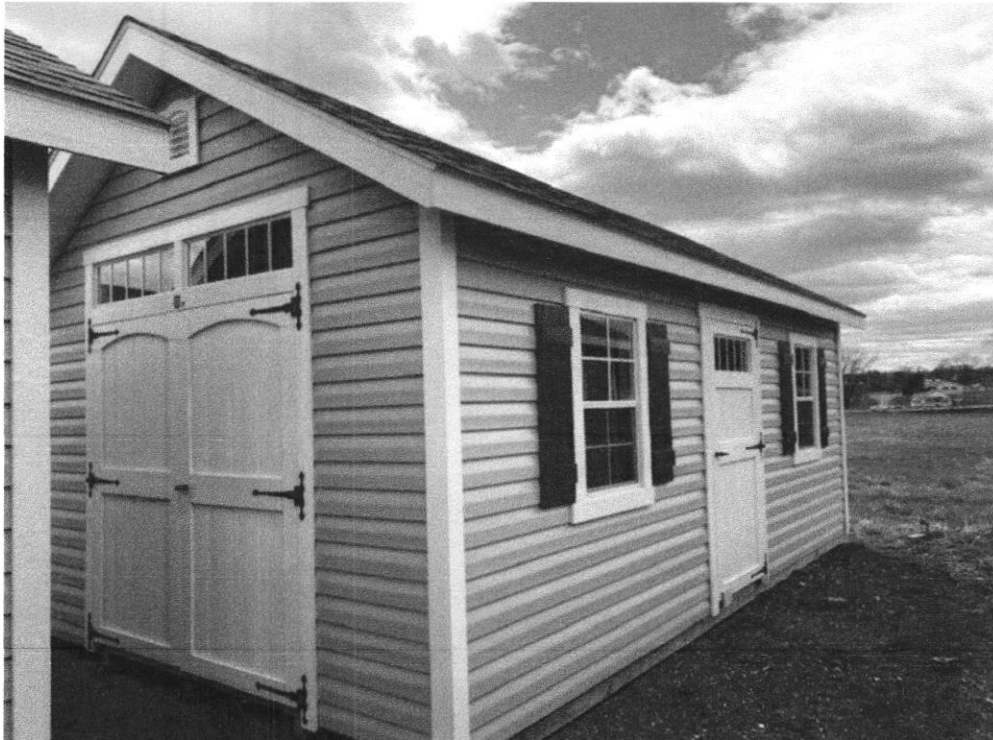
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY
AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID
SUBMITTAL FEES: \$55.00 PAYMENT: OK # 3919 ACCEPTED BY: [Signature]





Quinn – Lot 4


15617 Linden Grove Lane  
Woodbine, MD 21797  
Shed Permit

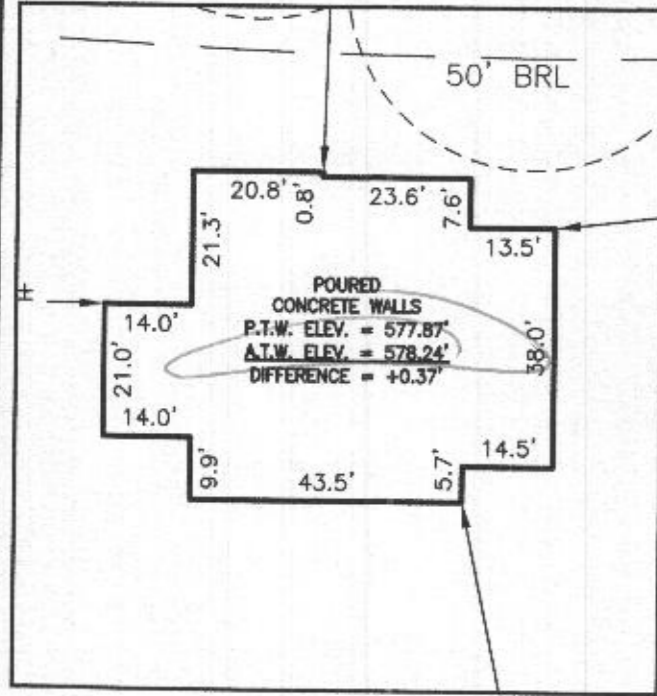


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 01/08/2023.

**LEGEND:**

- BRL BUILDING RESTRICTION LINE
- ⊙ WELL LOCATION
- P.T.W. PROPOSED TOP OF WALL
- A.T.W. ACTUAL TOP OF WALL
- ELEV. ELEVATION

 SEPTIC RESERVE AREA

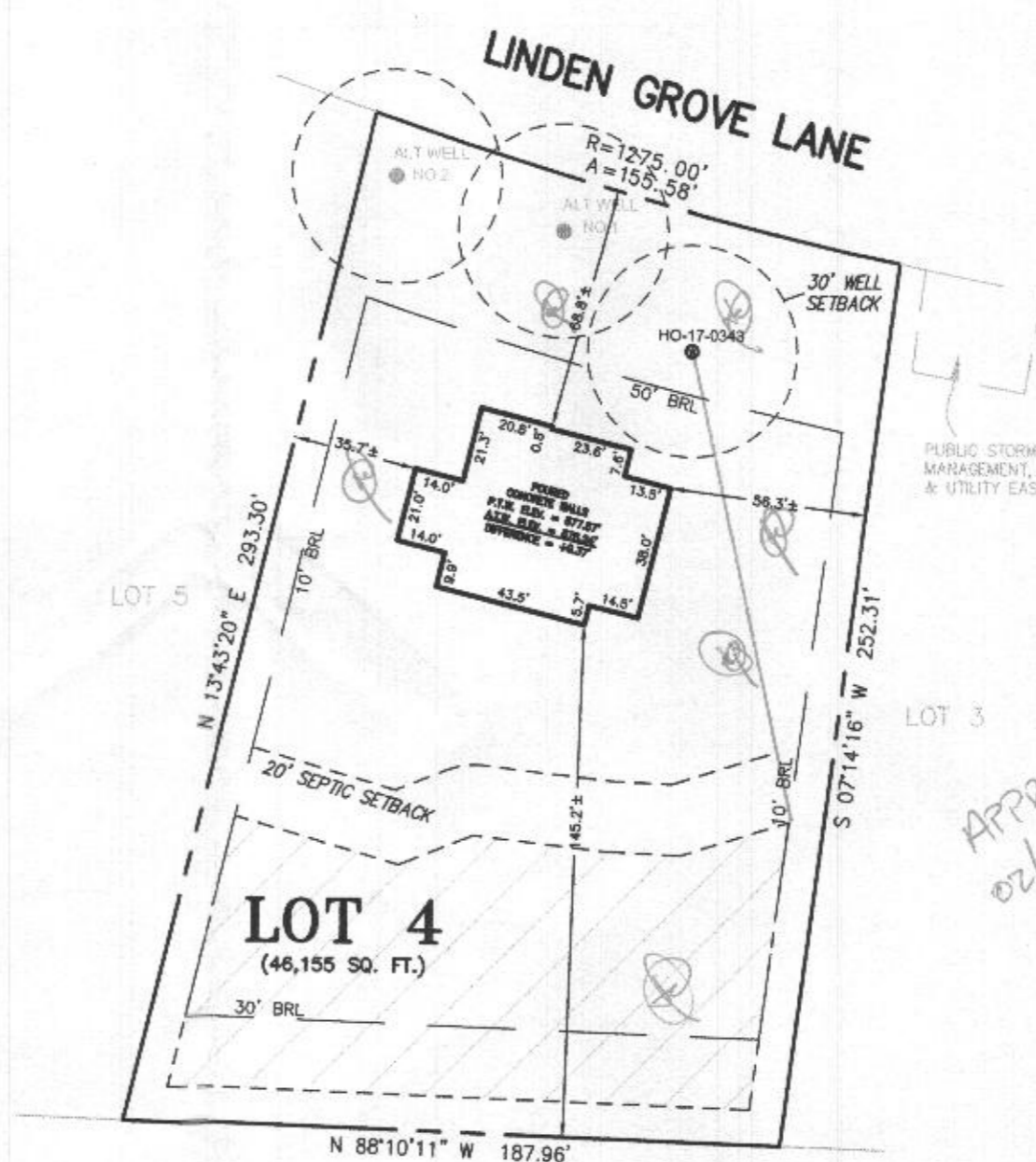


HOUSE ENLARGEMENT  
SCALE 1" = 30'

PERMIT NO.: B20002422

ADDRESS: 15617 LINDEN GROVE LANE  
WOODBINE, MARYLAND 21797

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPEMENT  
PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY  
OF ±0.1' FOOT.

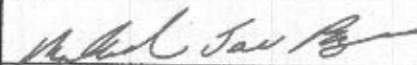


PLAT 25071

**SURVEYOR'S CERTIFICATE**

THIS WALLCHECK WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.

**THIS IS NOT A "LOCATION DRAWING" AND IS NOT TO BE USED FOR SETTLEMENT PURPOSES.**

 21328 02/07/2021  
SIGNATURE: MICHAEL JOE BOYCE MD. LIC NO. DATE

WALLCHECK  
LOT 4  
**LINDEN GROVE**  
LIBER 01619, FOLIO 341  
PLAT 25071  
4TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

**ESE CONSULTANTS**

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

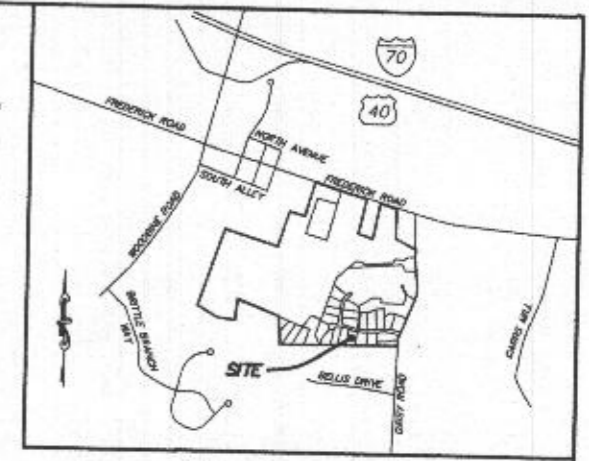
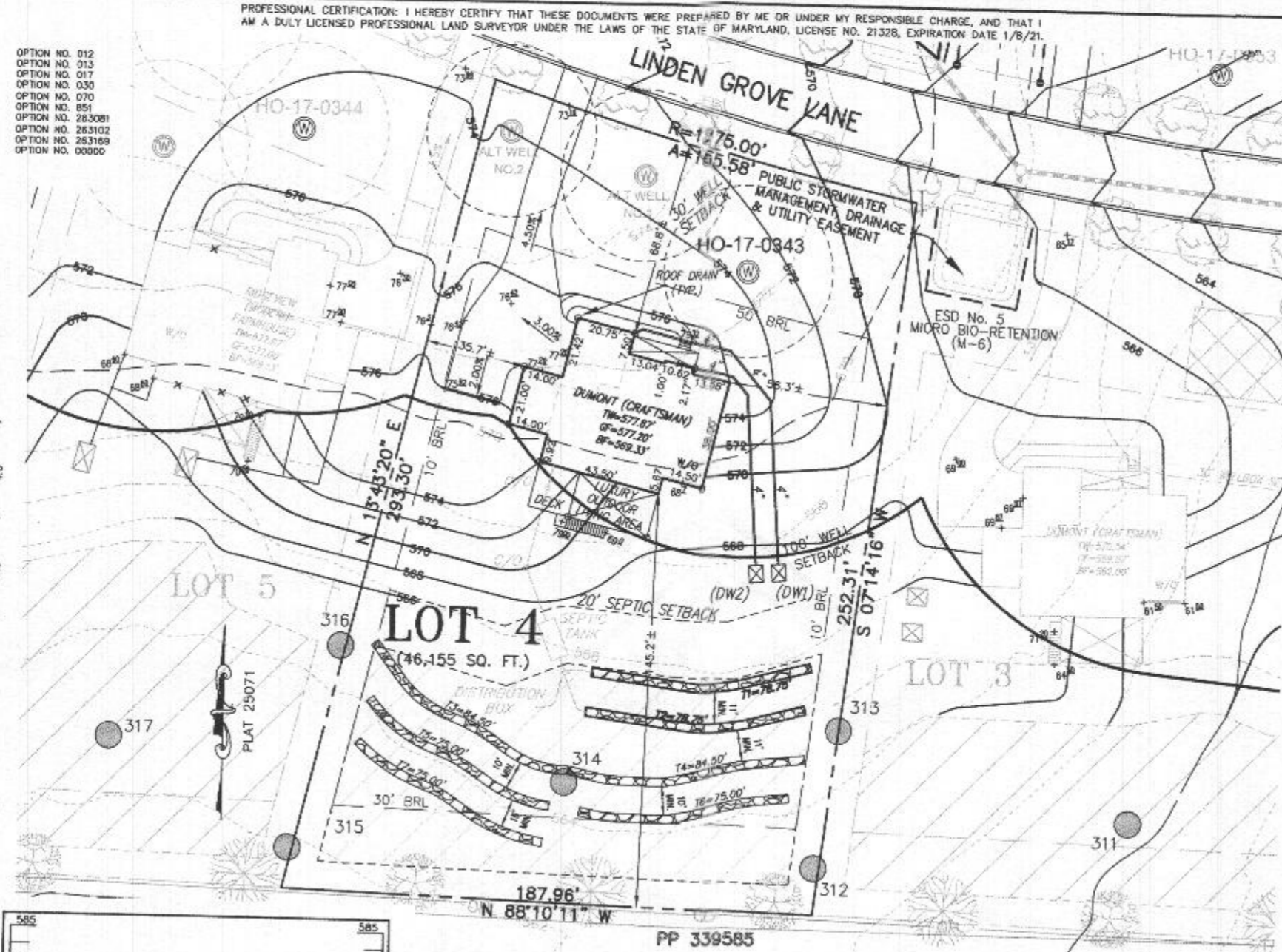
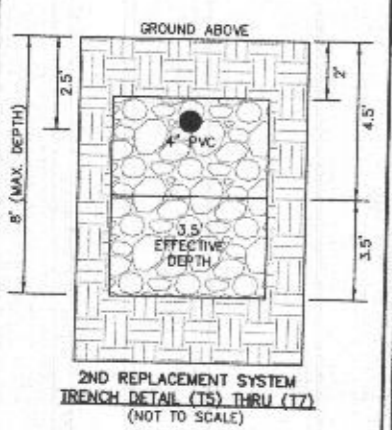
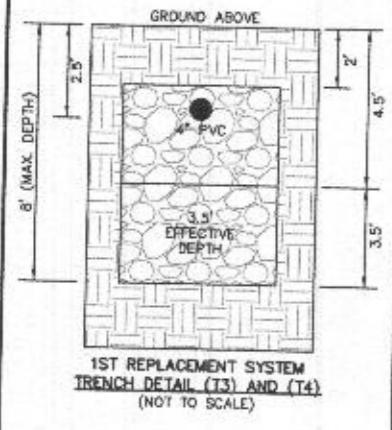
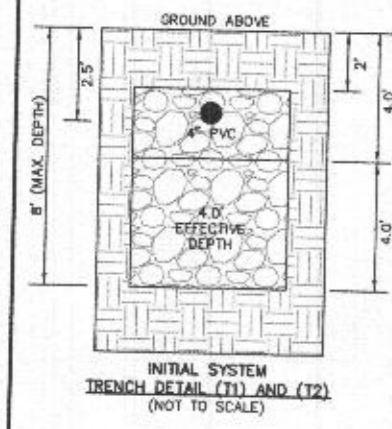
ESE Consultants, Inc.  
7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046  
T: 410-872-9105

DATE: 02/04/2021 SCALE: 1"=50' FILE: WC LOT 4  
CHK'D: M.J.B. JOB No: 4683 DRAWN: C.E.R.

**HOUSE OPTIONS:**  
 HOUSE TYPE: DUMONT (CRAFTSMAN)  
 TWO CAR SIDE ENTRY GARAGE CONFIGURATION  
 FINISHED LOWER LEVEL  
 WALK-OUT BASEMENT  
 ADDITIONAL WALK-IN CLOSET  
 ADD'L 1' TO BSMT FOUNDATION WALLS  
 DOUBLE WIDE DRIVEWAY TAIL  
 OPTIONAL DROP ZONE  
 ADD'L ONE CAR FRONT ENTRY GARAGE - 14'  
 WALK-OUT LUXURY COVERED DECK  
 ADDITIONAL EXTERIOR DECKING

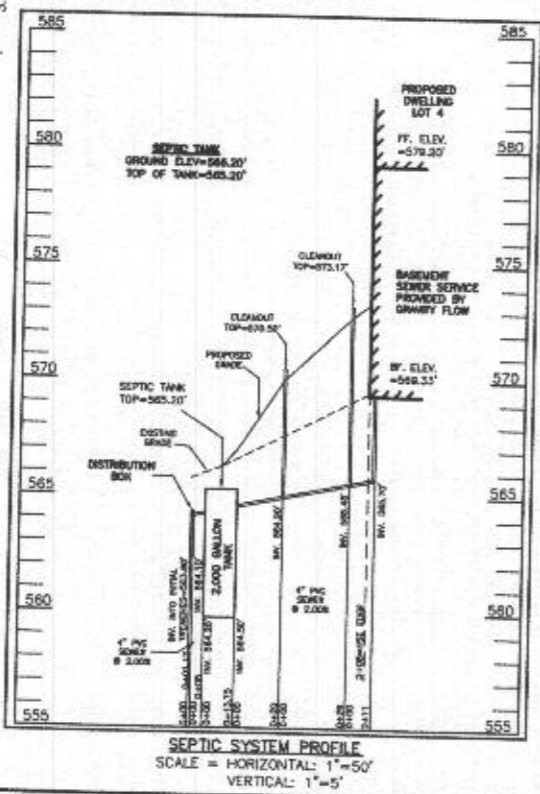
OPTION NO. 012  
 OPTION NO. 013  
 OPTION NO. 017  
 OPTION NO. 030  
 OPTION NO. 070  
 OPTION NO. 051  
 OPTION NO. 283081  
 OPTION NO. 283102  
 OPTION NO. 283169  
 OPTION NO. 00000

**INITIAL TRENCH DATA**  
 BOTTOM MAX. DEPTH (8')  
**TRENCH 1 (T1): 78.75 L.F.**  
 GROUND ABOVE = 565.76'  
 INV. IN = 563.26'  
 BOTTOM TRENCH = 557.76'  
**TRENCH 2 (T2): 78.75 L.F.**  
 GROUND ABOVE = 565.26'  
 INV. IN = 562.76'  
 BOTTOM TRENCH = 557.26'



**VICINITY MAP**  
 1" = 1000'

- GENERAL NOTES:**
1. THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
  2. EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
  3. ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
  4. BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.
  5. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
  6. THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
  7. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
  8. THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY DS, 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.



**SEWAGE DISPOSAL SYSTEM DATA (6 BDRM)**

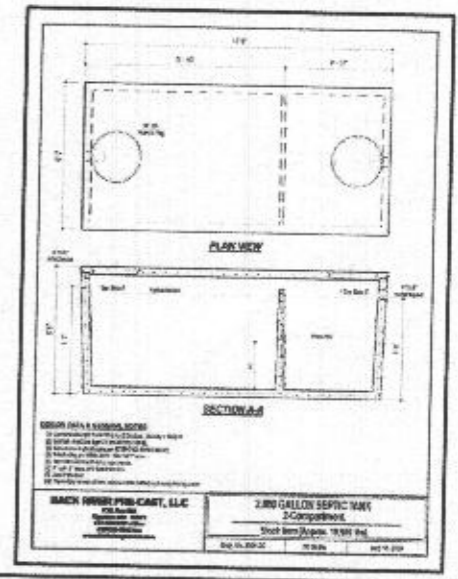
- PROPOSED INVERT AT FOUNDATION WALL: 565.70'
1. EX. GRADE OVER TANK: 566.24'  
 PROPOSED GRADE OVER TANK: 566.24'  
 INVERT IN: 564.50' INVERT OUT: 564.20'
  2. DISTRIBUTION BOX  
 EXISTING GRADE OVER TANK: 565.73'  
 PROPOSED GRADE OVER TANK: 565.73'  
 INVERT IN: 564.10' INVERT OUT: 563.80'
  3. INITIAL TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
 900 GPD x 0.8 APP. RATE = 1,125 SF  
 USE 3' WIDE TRENCH WITH 60" GRAVEL BELOW PIPE  
 10' MIN. SPACING BETWEEN TRENCH EDGES  
 1,125 SF x 3' WIDTH = 375 LF x 0.45 (SIDEWALL REDUCTION) = 157.50 LF MIN.  
 USE 2 78.75' LONG TRENCHES = 157.50 LF
  4. 1ST REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
 900 GPD x 0.8 APP. RATE = 1,125 SF  
 USE 3' WIDE TRENCH WITH 60" GRAVEL BELOW PIPE  
 10' MIN. SPACING BETWEEN TRENCH EDGES  
 1,125 SF x 3' WIDTH = 375 LF x 0.45 (SIDEWALL REDUCTION) = 168.75 LF MIN.  
 USE 2 84.50' LONG TRENCHES = 169 LF
  5. 2ND REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
 900 GPD x 0.8 APP. RATE = 1,500 SF  
 USE 3' WIDE TRENCH WITH 60" GRAVEL BELOW PIPE  
 10' MIN. SPACING BETWEEN TRENCH EDGES  
 1,500 SF x 3' WIDTH = 500 LF x 0.45 (SIDEWALL REDUCTION) = 225 LF MIN.  
 USE 3 75' LONG TRENCHES = 225 LF



- LEGEND:**
- B.R.L. BUILDING RESTRICTION LINE
  - W WELL LOCATION
  - T.W. TOP OF WALL
  - G.F. GARAGE FLOOR
  - B.F. BASEMENT FLOOR
  - PASSED PERC LOCATION
  - FAILED PERC LOCATION
  - SEPTIC RESERVE AREA
  - WELL BOX AREA
  - PROPOSED TREE
  - PROPOSED TREE

**WELL LOCATION CERTIFICATION:**  
 THE EXISTING WELL SHOWN FOR LOT 4 (TAC NO. HO-17-0343) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN  
**LOT 4**  
**LINDEN GROVE**  
 LIBER 15899, FOLIO 246  
 PLAT NO. 25071  
 ELECTION DISTRICT No. 4  
 HOWARD COUNTY, MARYLAND  
 ADDRESS: 15617 LINDEN GROVE LANE  
 WOODBINE, MARYLAND 21797



**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL  
 ESE Consultants, Inc.  
 7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046  
 T: 410-872-9105

DATE: 08/13/2020 SCALE: 1" = 30' FILE: OSDS LOT 4\_rev1  
 CHK'D: M.J.B. JOB NO: 4583 DRAWN: R.C.K.

COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

Date: 8-10-20 GEORGE MARTIN  
To: Robert Bricker Ho.Co. Health Dept  
(Person's Name and Division)  
From: Terri McNicholas (443) 271-1528  
(Your Name, Company Name and Telephone Number)  
Subject: Project name Linden Grove Lots 4 & 7 & 13  
Project site address \_\_\_\_\_  
Permit # ~~B20002424~~ ~~B20002422~~ SDP # B20002422  
~~B20002401~~  
Other information pertinent to this project \_\_\_\_\_

RECEIVED  
AUG 12 2020  
LICENSING DIVISION

✓ Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of Floor Plans (be specific). for clarity
- Health Department Request  DPZ/ DED Request  Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_

Contact Person Information: (Required)

Terri McNicholas Permits Plus Inc  
Please Print Name

Telephone No: 443-271-1528

E-Mail Address: Terripermits@yahoo.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by DROPBOX

Menu Save Reset Cancel Help

Record Detail (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21000537	02/22/2021
Description of Work		
INSTALL 1000GAL UNDERGROUND PROPANE TANK		

check spelling

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
15617	LINDEN GROVE	LN	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.06429	39.3272
City	State	Zip Code	Primary
WOODBINE	MD	21797	Yes

Approved 2/24/21  
[Signature]

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059836	0005	0	0	0	0	RURAL

Legal Description

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
18	4	604001	5				
Plan Area	State Tax Id	Subdivision Name					
		Linden Grove					
Section	Area	Tax Map					
		7					
Grid	Zoning District	ADC Map					
7-18	RC-DEO	4691-K8					
SDP No.	Final Plan No.	WP File No.					
	ECP-17-019						
Record Plat No.	WS Contract No.	FDP No.	Primary				
25064-2507			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-05	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is required.)

Search Reset Clear

Name

TOLL MID ATLANTIC LP COMPANY INC

Address Line 1

250 GIBRALTAR RD

Address Line 2

Address Line 3

Mail City

HORSHAM

Mail State

PA

Mail Zip Code

19044

Phone

301-725-3232

Primary

Yes

E-mail

Cell Number

Fax Number

Professionals (This section is not required.)

Search    Reset    Clear

License # *	Business Name		
20100103851	THE H.J. POIST GAS COMPANY, INC		
License Type *	First Name	Middle Name	Last Name
Propane Gs	SEAN	MICHAEL	UNDERWOOD
Primary	Address Line 1		
Yes	360 MAIN STREET		
	Address Line 2		
		State	ZIP Code
	LAUREL	MD	20707-0000
	Phone 1	Phone 2	Fax
	4434149582		
	E-mail		

Applicant (This section is not required.)

Search    As Owner    As Lic. Prof    As Contact

Type *	First Name	MI	Last Name
Applicant	MICHELLE		CLANCY
Relationship	Full Name		
Applicant	MICHELLE CLANCY		
Primary	Organization Name		
Yes	APPLIED & APPROVED PERMITS LLC		
	Street Address		
	P.O. BOX 310		
	Address Line 2		
	City	State	Zip Code
	PERRY HALL	MD	21128
	Phone	Cell	Fax
	443-340-1229		
	E-mail *		
	MICHELLE@APPLIEDANDAPPROVED.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
3000	0	0	No
Construction Type	--Select--		

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	8/21/2021	0	

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

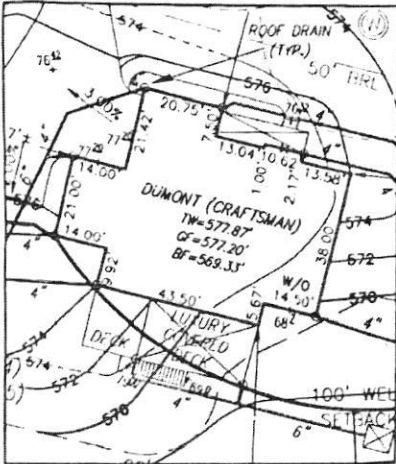
Submit    Cancel

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

**LEGEND**

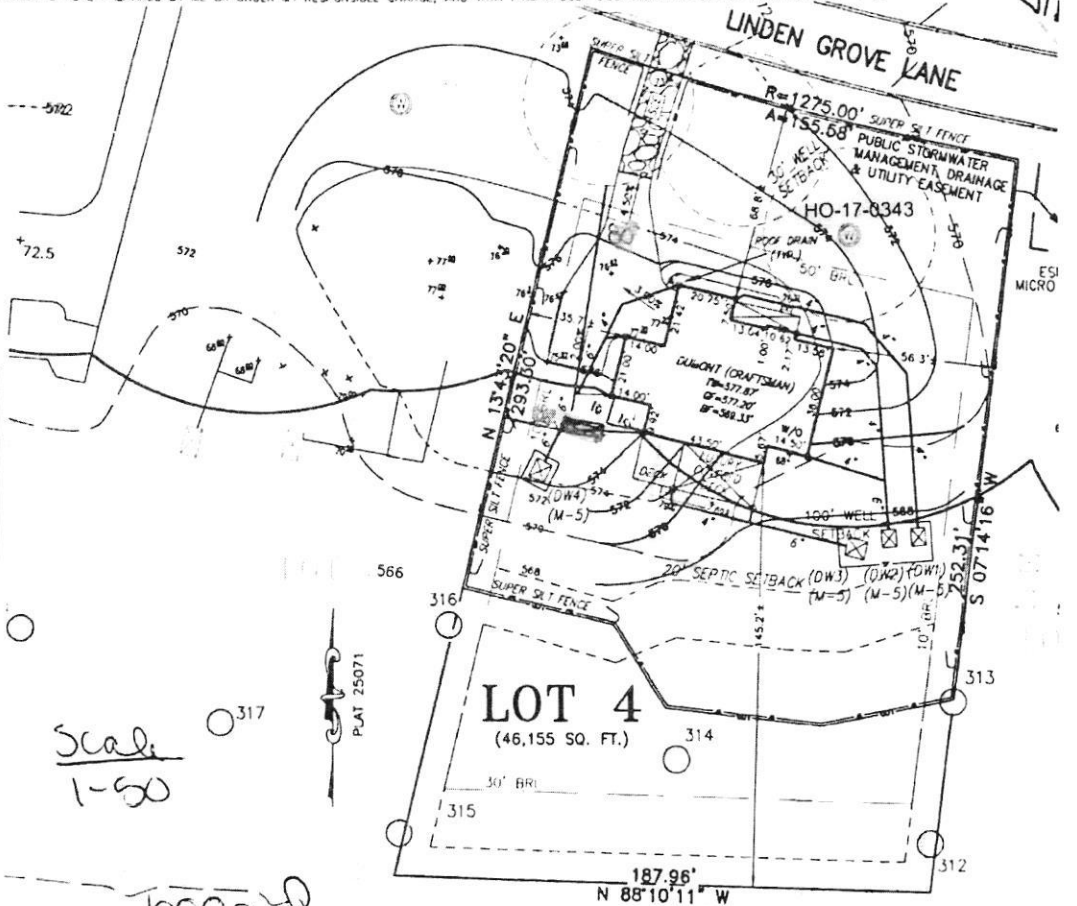
- BRL BUILDING RESTRICTION LINE
- WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- FAILED PERC LOCATION
- LIMITS OF DISTURBANCE
- SILT FENCE
- SUPER SILT FENCE
- STONE CONSTRUCTION ENTRANCE
- SEPTIC RESERVE AREA
- WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE
- PROPOSED TREE

NOTE: TOTAL LIMITS OF DISTURBANCE (LOD) = 32,954 SQ. FT.



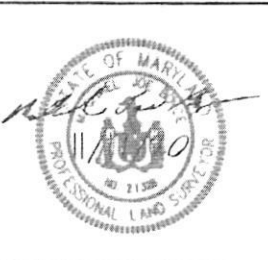
HOUSE ENLARGEMENT  
SCALE 1" = 30'

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN. SETBACK DISTANCES SHOWN HEREON AS "E" HAVE AN ACCURACY OF ±0.1' FOOT.



Scale  
1" = 50'

1000 sq ft



**HOUSE TYPE: DUMONT (CRAFTSMAN)**

- TWO CAR SIDE ENTRY GARAGE CONFIGURATION
- FINISHED LOWER LEVEL
- WALK-OUT BASEMENT
- ADDITIONAL WALK-IN CLOSET
- ADDL 1" TO BSMT FOUNDATION WALLS
- USABLE WIDE DRIVEWAY TAIL
- OPTIONAL DROP ZONE
- ADDL ONE CAR FRONT ENTRY GARAGE - 14'
- WALK-OUT LUXURY COVERED DECK
- ADDITIONAL EXTERIOR DECKING

- OPTION No. 012
- OPTION No. 013
- OPTION No. 017
- OPTION No. 030
- OPTION No. 070
- OPTION No. 051
- OPTION No. 265081
- OPTION No. 265102
- OPTION No. 265169
- OPTION No. 00000

WELL NUMBER: HO-17-0343

ADDRESS: 15617 LINDEN GROVE LANE  
WOODBINE, MD 21797

PLOT PLAN  
LOT 4  
**LINDEN GROVE**  
LIR#R 19545, FOLIO 48  
PLAT NO. 25071  
ELECTION DISTRICT No. 4  
HOWARD COUNTY, MARYLAND

**ESE CO**  
ENGINEERING • PLAN

7164 Columbia Gate

---

DATE: 11/16/2020    SCALE:  
CHK'D: M.J.B.    JOB NO:

Approved for LP Tank  
B21000537  
LSTA 2/24/21

JUL 23 2020

PERMIT NUMBER: B 20002922

DATE ACCEPTED:

LICENSES & PERMITS DIVISION



**RESIDENTIAL BUILDING PERMIT APPLICATION**

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

**BUILDING SITE ADDRESS REQUIRED**

Street Address: 15617 LINDEN GROVE LN		Unit:
City: WOODBINE	State: MD	Zip Code: 21765
Subdivision/Village/Complex Name: LINDEN GROVE		SDP/WP/BA #:
Lot: 4	Tax Map: 8	Parcel: 5
		Grading Permit #: F-18-092

**DESCRIPTION OF WORK REQUIRED**

Existing Use: vacant	Proposed Use: sfd	Estimated Cost: \$250k
Trade Work to Be Completed (Separate Permits Required): <input checked="" type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> None		
NEW SINGLE FAMILY DWELLING FINISHED LOWER LEVEL 2 CAR SIDE ENTRY GARAGE, EXTRA ONE CAR GAR 14X21, LUXURY COVERED DECK 27X15, UNCOVERED DECK 14X15		

**PROPERTY OWNER INFORMATION REQUIRED**

Owner(s) Name(s) (As it appears on tax records): TOLL BROTHERS INC	Primary Residence: <input type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 7164 COLUMBIA GATEWAY DR	
City: COLUMBIA	State: MD
Phone: 240-418-3846	Zip Code: 21046
Email:	

**APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION**

Business Name: TERRI MCNICHOLAS PERMITS PLUS, INC.	Contact Name: TERRI MCNICHOLAS
Street Address: 487 KENORA DRIVE	
City: MILLERSVILLE	State: MD
Phone: 443-271-1528	Zip Code: 21108
Email: TERRIPERMITS@YAHOO.COM	

**CONTRACTOR INFORMATION REQUIRED**

Business Name: TOLL MID-ATLANTIC LP COMPANY INC	
Licensee's Name: TOLL MID-ATLANTIC LP COMPANY INC.	License #: 8220
Street Address: 7164 COLUMBIA GATEWAY DRIVE STE 230	
City: COLUMBIA	State: MD
Phone: 240-418-3846	Zip Code: 21046
Email: PCLIFFORD@TOLLBROTHERS.COM	

**ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE**

Business Name: ESE CONSULTANTS TOLL ARCH	Name:
Street Address: 7164 COLUMBIA GATEWAY DRIVE	
City: COLUMBIA	State: MD
Phone: 410-872-9105	Zip Code: 21046
Email:	

**BUILDING CHARACTERISTICS REQUIRED**

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Heating System: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Sprinkler System: <input checked="" type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac	

**ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)**

Model Name & Options: DUMONT-POF "2STRY FULL BST 10R,3FB,1HB,FP&3 CAR GARAGE(5BR)"				
# of Bedrooms (SF): 5	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 11	# Full Baths: 3	# Half Baths: 1	# Fireplaces: 1	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input checked="" type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width: 58	1st Fl Depth: 52	2nd Fl Width: 58	2nd Fl Depth: 45	Bsmt Width: 58
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input checked="" type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 7238 sq ft	Occupiable Area: 6499 sq ft	

**AGREEMENT/ DISCALIMER REQUIRED**

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: DATE SIGNED: 7-23-20

**FOR OFFICE USE ONLY** CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:				
<input checked="" type="checkbox"/> PR	<input type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> SHA <input type="checkbox"/> CID
SUBMITTAL FEES:	PAYMENT:		ACCEPTED BY:	

**HOWARD COUNTY**  
**DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS**  
**3430 COURT HOUSE DRIVE - ELLICOTT CITY, MD 21043**  
**\* THIS PERMIT MUST BE CONSPICUOUSLY POSTED ON SITE \***

---

---

**Residential New Single Family Dwelling Permit**

---

---

**PERMIT NUMBER:** B20002422

**APPLICATION DATE:** 7/23/2020

**ISSUE DATE:** 1/26/2021

---

---

**SITE ADDRESS:**

15617 LINDEN GROVE LN  
WOODBINE, MD 21797

**PROPERTY OWNER INFO:**

TOLL BROTHERS INC  
7164 COLUMBIA GATEWAY DRIVE  
COLUMBIA, MD 21046  
Phone #: 240-418-3846

**Subdivision:** Linden Grove

**Lot No.:** 4

**Tax Map:** 7

**Grid:** 7-18

**ADC Map:** 4691-K8

**SDP No.:**

**Zoning:** RC-DEO

**Census Tract:** 604001

**DESCRIPTION OF WORK:**

SFD/ MODEL 'DUMONT', 2 STORY, FULL BASEMENT, BASEMENT = FULL FINISHED, 11R, 3FB, 1HB, 1FP, 3 CAR ATTACHED, 5BR, N/A, ENERGY METHOD = UA ALTERNATIVE, SUBJECT TO CB-76-2018.

**PRIMARY CONTRACTOR INFO:**

**Contractor License No.:** 8220

**Address:** TOLL MID-ATLANTIC LP COMPANY INC  
NATHAN BRANDENBURG

**Phone #:**

7164 COLUMBIA GATEWAY DRIVE SUITE  
230  
COLUMBIA, MD 21046  
410-872-9105

**PRIMARY CONTACT INFO:**

**Contact Type:** CONTACT

PERMITS PLUS INC

487 KENORA DRIVE  
MILLERSVILLE, MD 21108

**Phone #:**

443-271-1528

---

---

**Building/Lot Characteristics**

---

---

**Legal Description:**

**Existing Use:** Vacant Lot

**Water Supply:** Private

**Height:** 28

**Sewage Disposal:** Private

**Basement:** Full Finished

**SF # of Bedrooms:** 5

**SF # of Full Baths:** 3

**SF # of Half Baths:** 1

---

---

**Zoning Setback Requirements:**

**Front - Proposed:** 68      **Required:** 50

**Rear - Proposed:** 145      **Required:** 30

**Side - Proposed:** 56.3/35.7      **Required:** 10

**Side Street - Proposed:** n/a      **Required:** n/a

**Meets Minimum Required Setbacks?:** Yes

**Lot Coverage for NT Zoning:**

**Permit Fees:**

**Total Fees Invoiced:** \$37,327.62

**Total Fees Paid:** \$37,327.62

**Balance Due:** \$0.00

To schedule an inspection or check the results of an inspection please call (410) 313-3800

**APPROVED BY THE DIRECTOR OF INSPECTIONS, LICENSES AND PERMITS - BUILDING OFFICIAL**