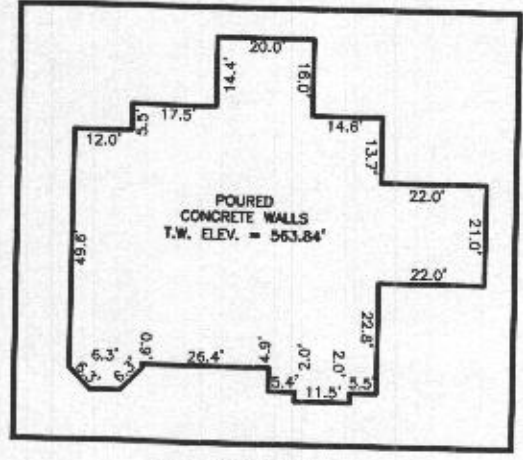


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/21.

LEGEND:
BRL BUILDING RESTRICTION LINE
T.W. TOP OF WALL
ELEV. ELEVATION



ENLARGEMENT NOT TO SCALE

Approved
11/20/2020
MJB

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.

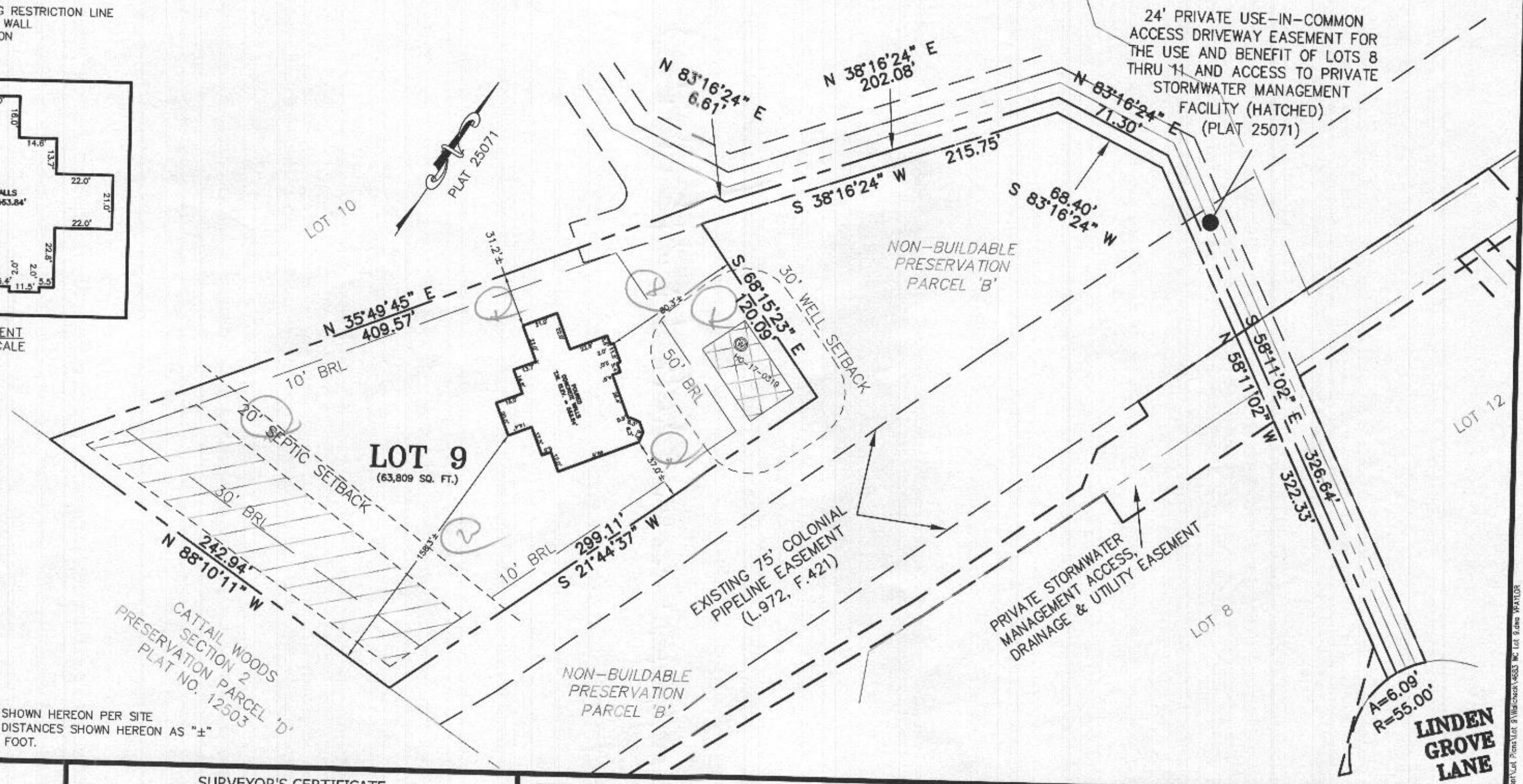


SURVEYOR'S CERTIFICATE
THIS WALLCHECK WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.
THIS IS NOT A "LOCATION DRAWING" AND IS NOT TO BE USED FOR SETTLEMENT PURPOSES.
Signature: Michael Joe Boyce 21328 11/09/20
MD. LIC NO. DATE

WALLCHECK
LOT 9
LINDEN GROVE
LIBER 15899, FOLIO 246
PLAT NO. 25071
ELECTION DISTRICT No. 4
HOWARD COUNTY, MARYLAND

ESE CONSULTANTS
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL
ESE Consultants, Inc.
7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046
T: 410-872-9105

DATE: 11/09/2020 SCALE: 1"=60' FILE: WC LOTS 9
CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.X.P.



Nov 09, 2020 - 11:23 am R:\Projects\Howard\Lot 9\Wallcheck\Lot 9 Wallcheck.dwg Plot 9.dwg PLOTOR

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/21.

HOUSE OPTIONS:

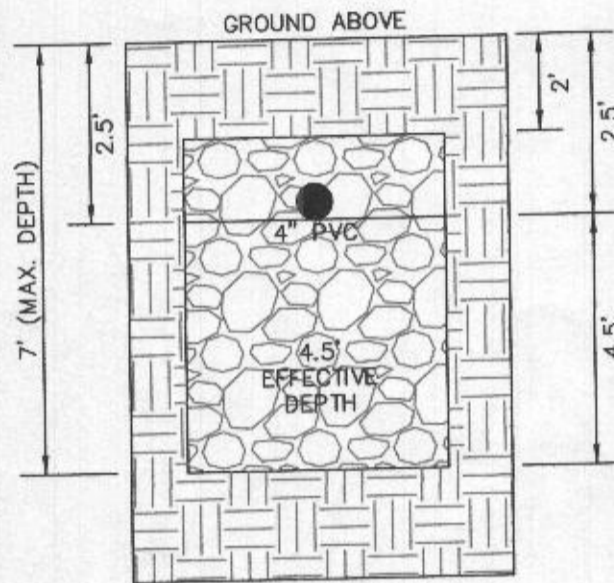
HOUSE TYPE: RIDGEVIEW (LEXINGTON)

- TWO CAR SIDE ENTRY GARAGE CONFIGURATION
- FINISHED LOWER LEVEL
- DAYLIGHT BASEMENT
- ADD 1' TO HEIGHT OF BASEMENT FOUNDATION WALLS
- ADDITIONAL POWDER ROOM
- OPTIONAL BATH FOR FINISHED LOWER LEVEL
- ADD 1. TWO CAR FRONT ENTRY GARAGE
- LUXURY OUTDOOR LIVING SPACE
- WET BAR FOR FINISHED LOWER LEVEL
- MEDIA ROOM FOR FINISHED LOWER LEVEL

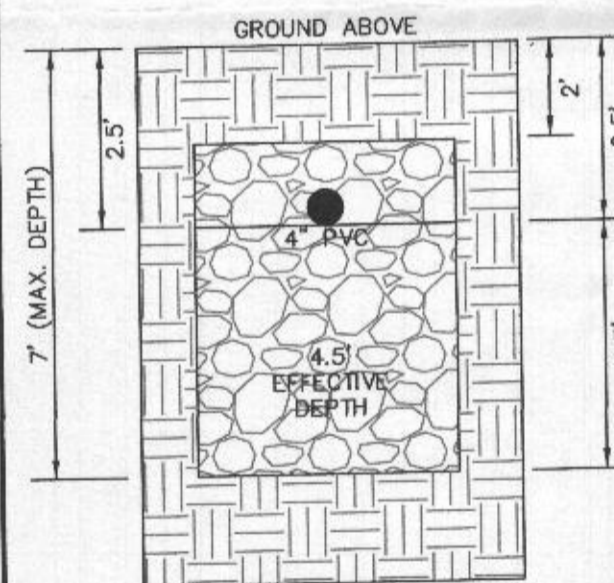
- OPTION NO. 012
- OPTION NO. 013
- OPTION NO. 018
- OPTION NO. 070
- OPTION NO. 377
- OPTION NO. 383
- OPTION NO. 263019
- OPTION NO. 263165
- OPTION NO. 561
- OPTION NO. 562

INITIAL TRENCH DATA:

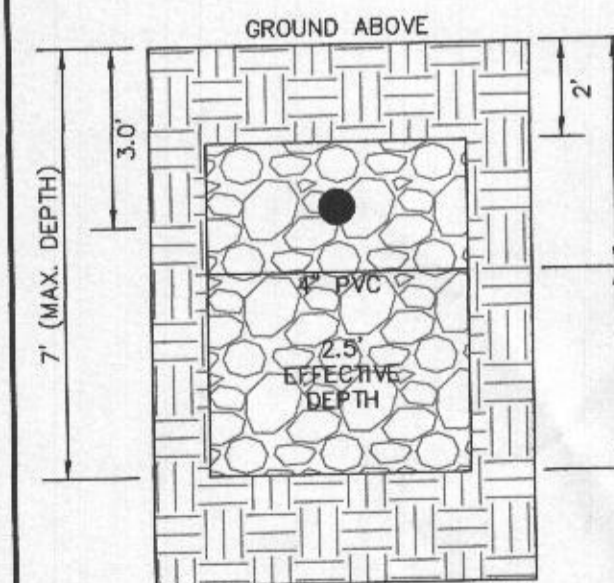
- BOTTOM MAX. DEPTH (7")
- TRENCH 1 (T1): 55.50 LF.
GROUND ABOVE = 558.00'
INV. IN = 555.50'
BOTTOM TRENCH = 551.00'
- TRENCH 2 (T2): 55.50 LF.
GROUND ABOVE = 557.50'
INV. IN = 555.00'
BOTTOM TRENCH = 550.50'



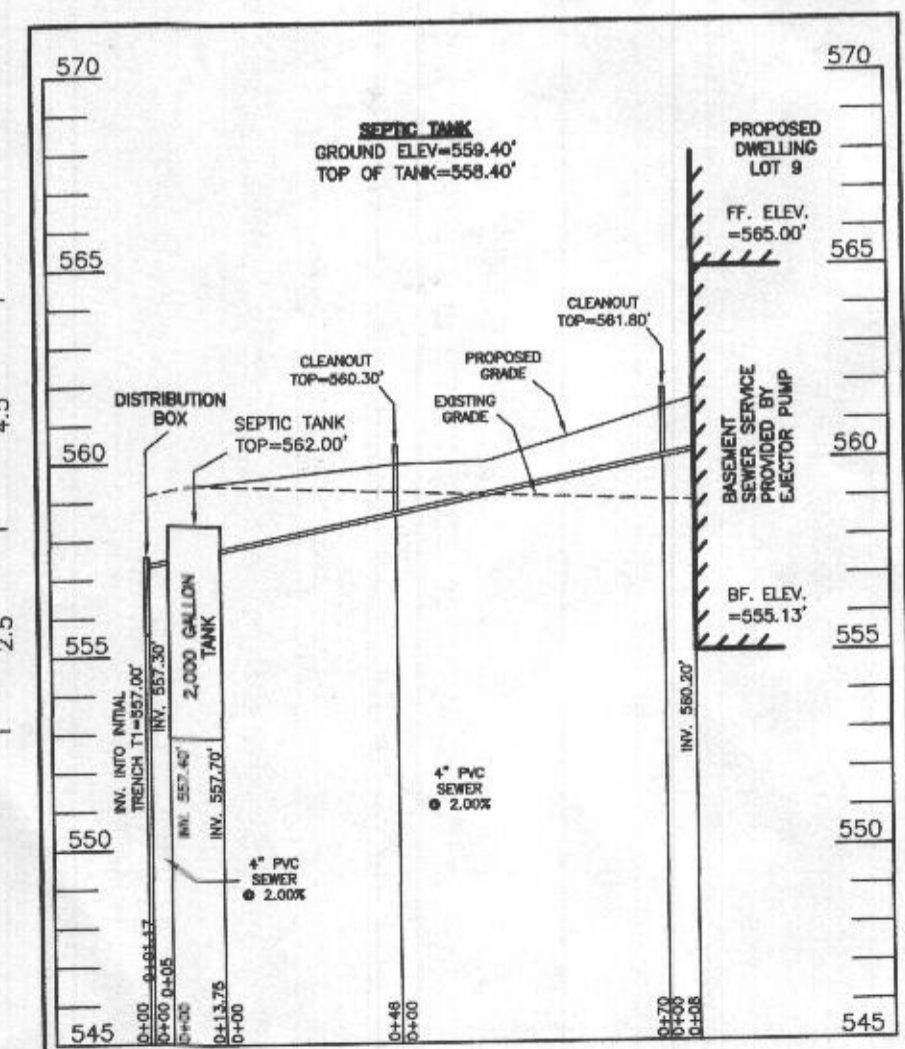
INITIAL SYSTEM TRENCH DETAIL (T1) AND (T2) (NOT TO SCALE)



1ST REPLACEMENT SYSTEM TRENCH DETAIL (T3) AND (T4) (NOT TO SCALE)



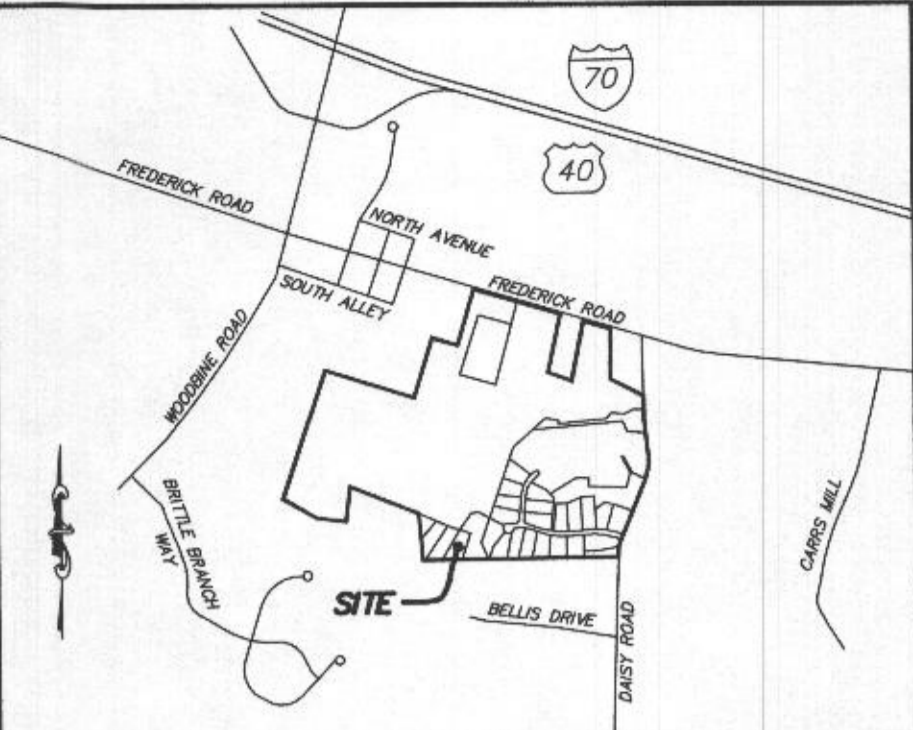
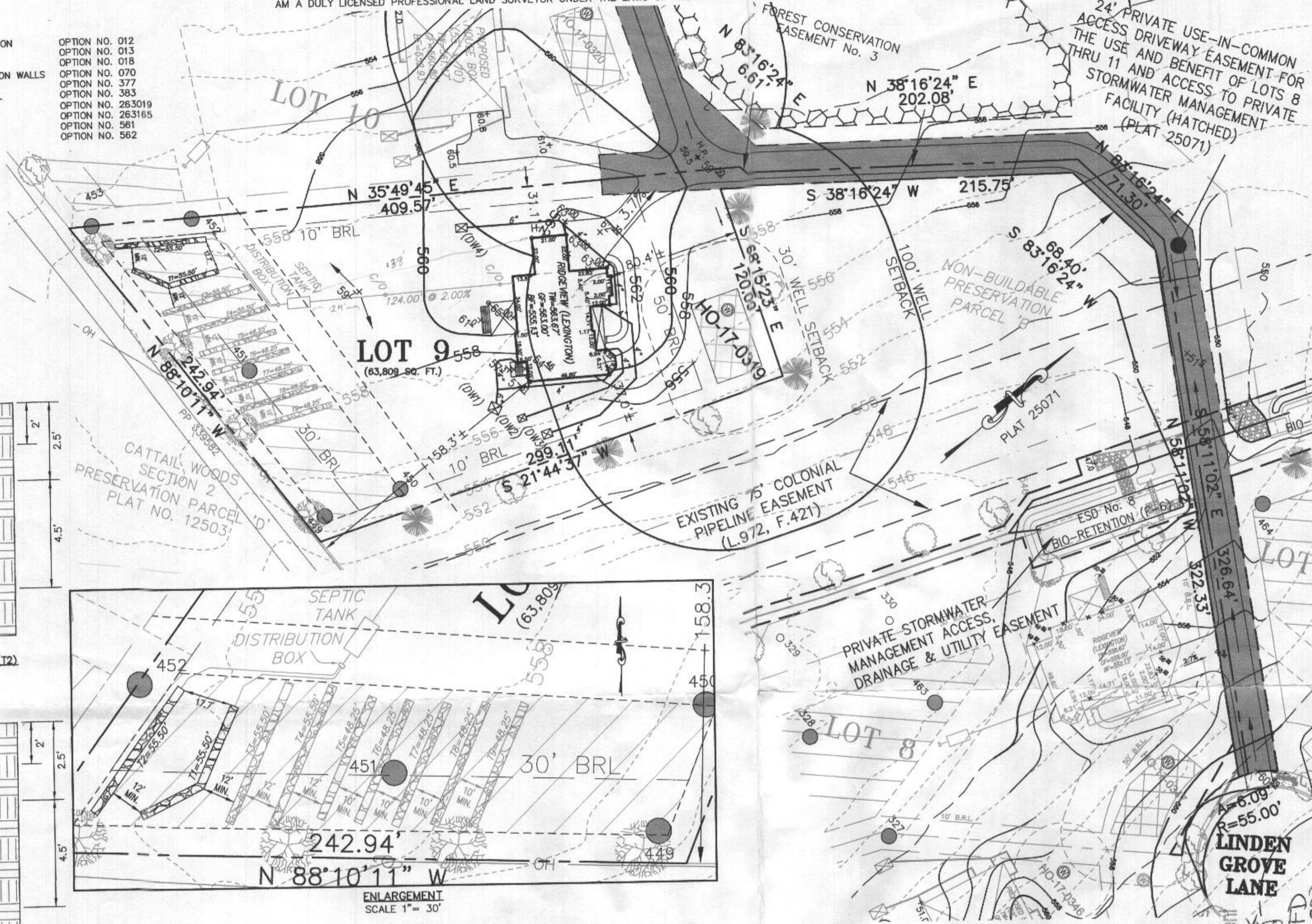
2ND REPLACEMENT SYSTEM TRENCH DETAIL (T5) THRU (T9) (NOT TO SCALE)



SEPTIC SYSTEM PROFILE
SCALE = HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

SEWAGE DISPOSAL SYSTEM DATA (7 BDRM):

- PROPOSED INVERT AT FOUNDATION WALL: 560.2'
- 1. EX. GRADE OVER TANK: 559.4'
PROPOSED GRADE OVER TANK: 559.4'
INVERT IN: 557.7' INVERT OUT: 557.4'
- 2. DISTRIBUTION BOX
EXISTING GRADE OVER TANK: 559.2'
PROPOSED GRADE OVER TANK: 559.2'
INVERT IN: 557.3' INVERT OUT: 557.0'
- 3. INITIAL TRENCH DESIGN (7 BDRM X 150 GPD/BDRM = 1,050 GPD)
1,050 GPD + 1.2 APP. RATE = 875 SF
USE 3' WIDE TRENCH WITH 54" GRAVEL BELOW PIPE
12' MIN. SPACING BETWEEN TRENCH EDGES
875 SF + 3' WIDTH = 291.67 LF X 0.38 (SIDEWALL REDUCTION) = 110.83 LF MIN.
USE 2 55.50' LONG TRENCHES = 111 LF
- 4. 1ST REPLACEMENT TRENCH DESIGN (7 BDRM X 150 GPD/BDRM = 1,050 GPD)
1,050 GPD + 1.2 APP. RATE = 875 SF
USE 3' WIDE TRENCH WITH 54" GRAVEL BELOW PIPE
12' MIN. SPACING BETWEEN TRENCH EDGES
875 SF + 3' WIDTH = 291.67 LF X 0.38 (SIDEWALL REDUCTION) = 110.83 LF MIN.
USE 2 55.50' LONG TRENCHES = 111 LF
- 5. 2ND REPLACEMENT TRENCH DESIGN (7 BDRM X 150 GPD/BDRM = 1,050 GPD)
1,050 GPD + 0.8 APP. RATE = 1,312.50 SF
USE 3' WIDE TRENCH WITH 48" GRAVEL BELOW PIPE
10' MIN. SPACING BETWEEN TRENCH EDGES
1,312.50 SF + 3' WIDTH = 437.50 LF X 0.55 (SIDEWALL REDUCTION) = 240.63 LF MIN.
USE 5 48.25' LONG TRENCHES = 241.25 LF



VICINITY MAP
1" = 1000'

- GENERAL NOTES:**
- THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS UNTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
 - EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
 - ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
 - BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.
 - ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 - THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
 - THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
 - THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS, 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.



- LEGEND:**
- BRL BUILDING RESTRICTION LINE
 - T.W. WELL LOCATION
 - C.F. TOP OF WALL
 - B.F. GARAGE FLOOR
 - B.F. BASEMENT FLOOR
 - PROPOSED PERC LOCATION
 - FAILED PERC LOCATION
 - SEPTIC RESERVE AREA
 - WELL BOX AREA
 - PROPOSED TREE
 - PROPOSED TREE
 - PROPOSED TREE

WELL LOCATION CERTIFICATION:

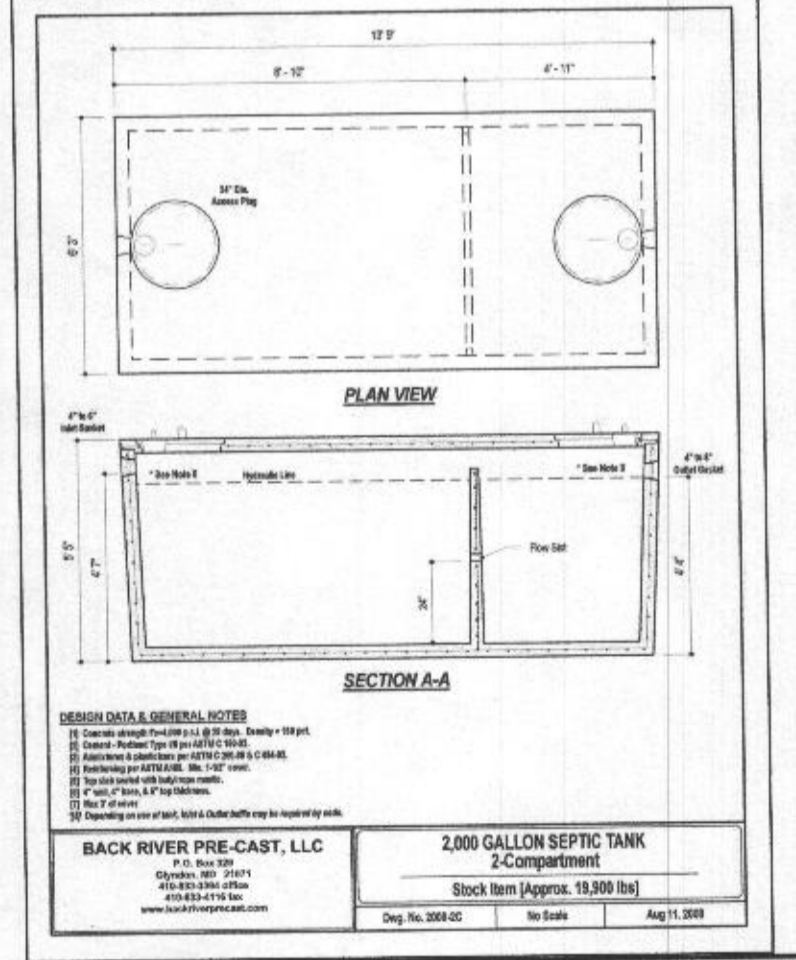
THE EXISTING WELL SHOWN FOR LOT 9 (TAG NO. HO-17-0319) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN
LOT 9
LINDEN GROVE
LIBER 15899, FOLIO 246
PLAT NO. 25071
ELECTION DISTRICT NO. 4
HOWARD COUNTY, MARYLAND
ADDRESS: 15641 LINDEN GROVE LANE
WOODBINE, MARYLAND 21797

ESE CONSULTANTS
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.
7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046
T: 410-872-9105

DATE: 07/19/2020 SCALE: 1" = 50' FILE: OSDS LOT 9_rev1
CHK'D: M.J.B. JOB NO: 4683 DRAWN: R.C.K.



BACK RIVER PRE-CAST, LLC
2000 GALLON SEPTIC TANK
2-Compartment
Stock Item (Approx. 19,300 lbs)
Aug 11, 2009

Approved Septic System Plan
Howard County Health Department
2000-gal Septic tank
To Gravity Drained
for 7-bed room SFD
8/7/2020
Signature
Date

HOUSE OPTIONS:

HOUSE TYPE: RIDGEVIEW (LEXINGTON)

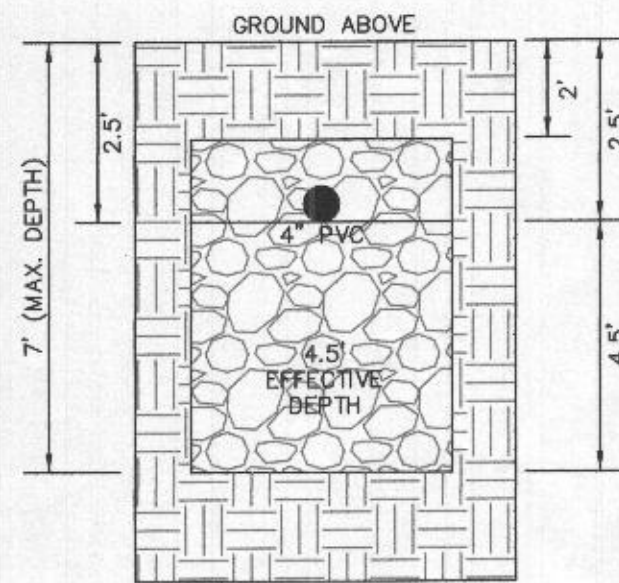
- TWO CAR SIDE ENTRY GARAGE CONFIGURATION
- FINISHED LOWER LEVEL
- DAYLIGHT BASEMENT
- ADD 1' TO HEIGHT OF BASEMENT FOUNDATION WALLS
- ADDITIONAL POWDER ROOM
- OPTIONAL BATH FOR FINISHED LOWER LEVEL
- ADD L TWO CAR FRONT ENTRY GARAGE
- LUXURY OUTDOOR LIVING SPACE
- WET BAR FOR FINISHED LOWER LEVEL
- MEDIA ROOM FOR FINISHED LOWER LEVEL

- OPTION NO. 012
- OPTION NO. 013
- OPTION NO. 018
- OPTION NO. 070
- OPTION NO. 377
- OPTION NO. 383
- OPTION NO. 263019
- OPTION NO. 263165
- OPTION NO. 561
- OPTION NO. 562

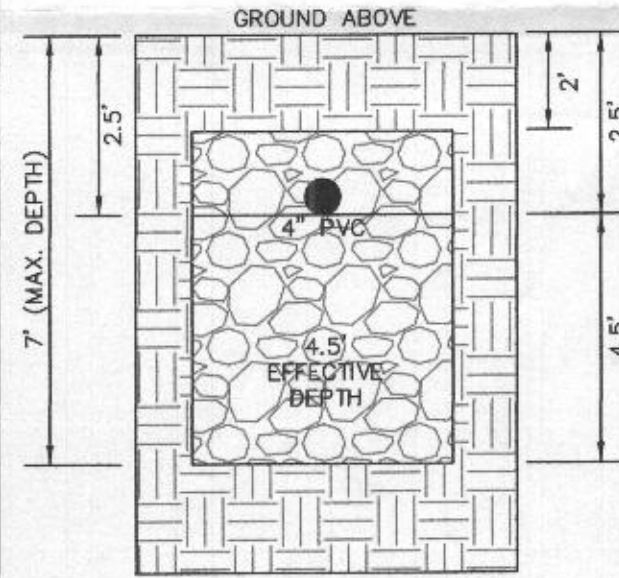
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/21.

INITIAL TRENCH DATA:

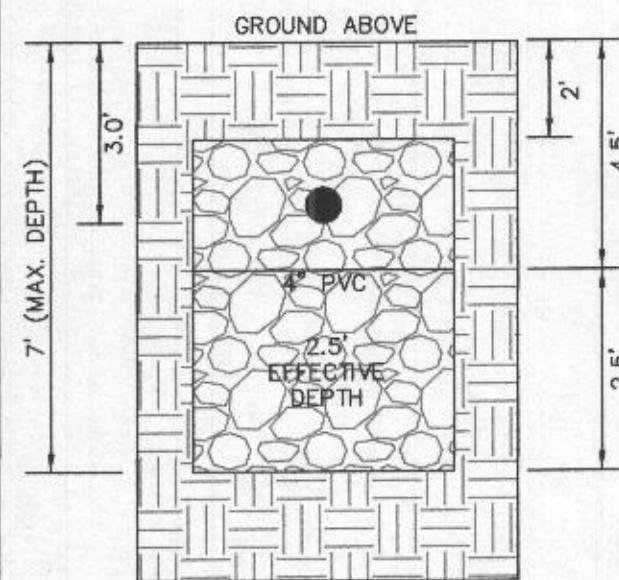
- BOTTOM MAX. DEPTH (7')
- TRENCH 1 (T1): 55.50 LF.
GROUND ABOVE = 558.00'
INV. IN = 555.50'
BOTTOM TRENCH = 551.00'
- TRENCH 2 (T2): 55.50 LF.
GROUND ABOVE = 557.50'
INV. IN = 555.00'
BOTTOM TRENCH = 550.50'



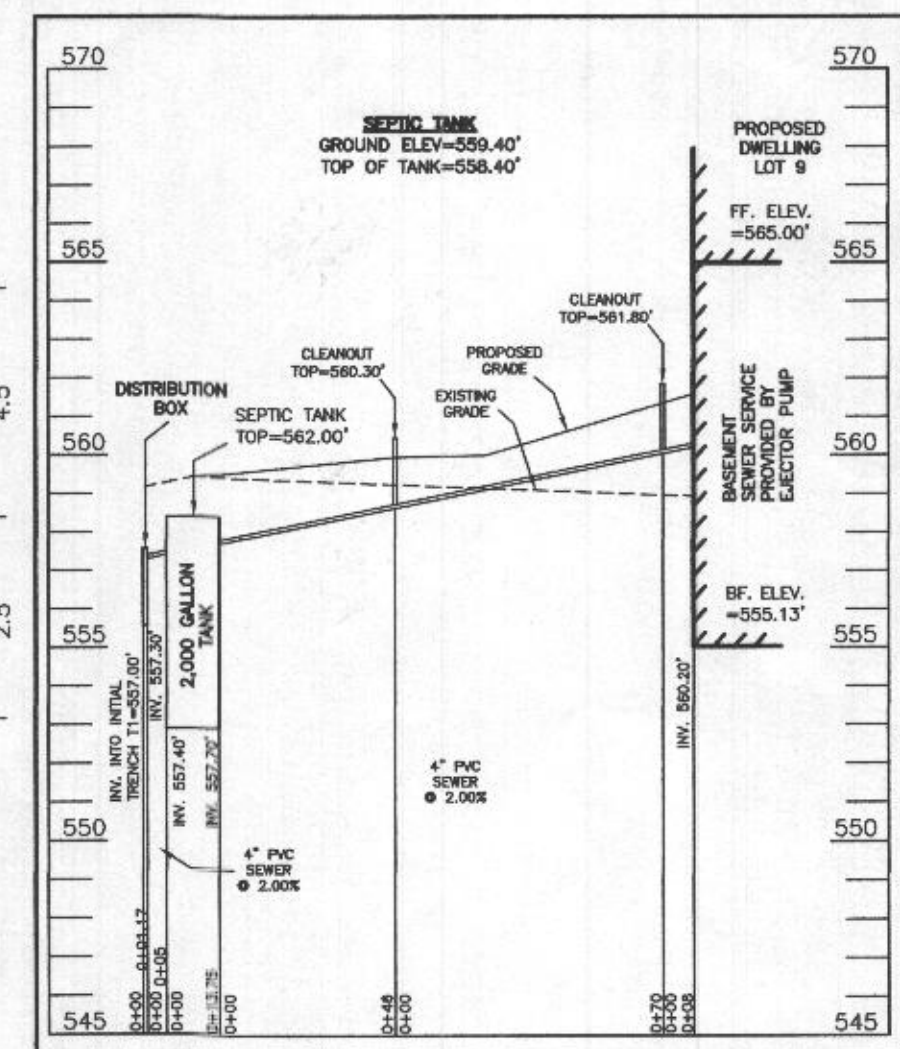
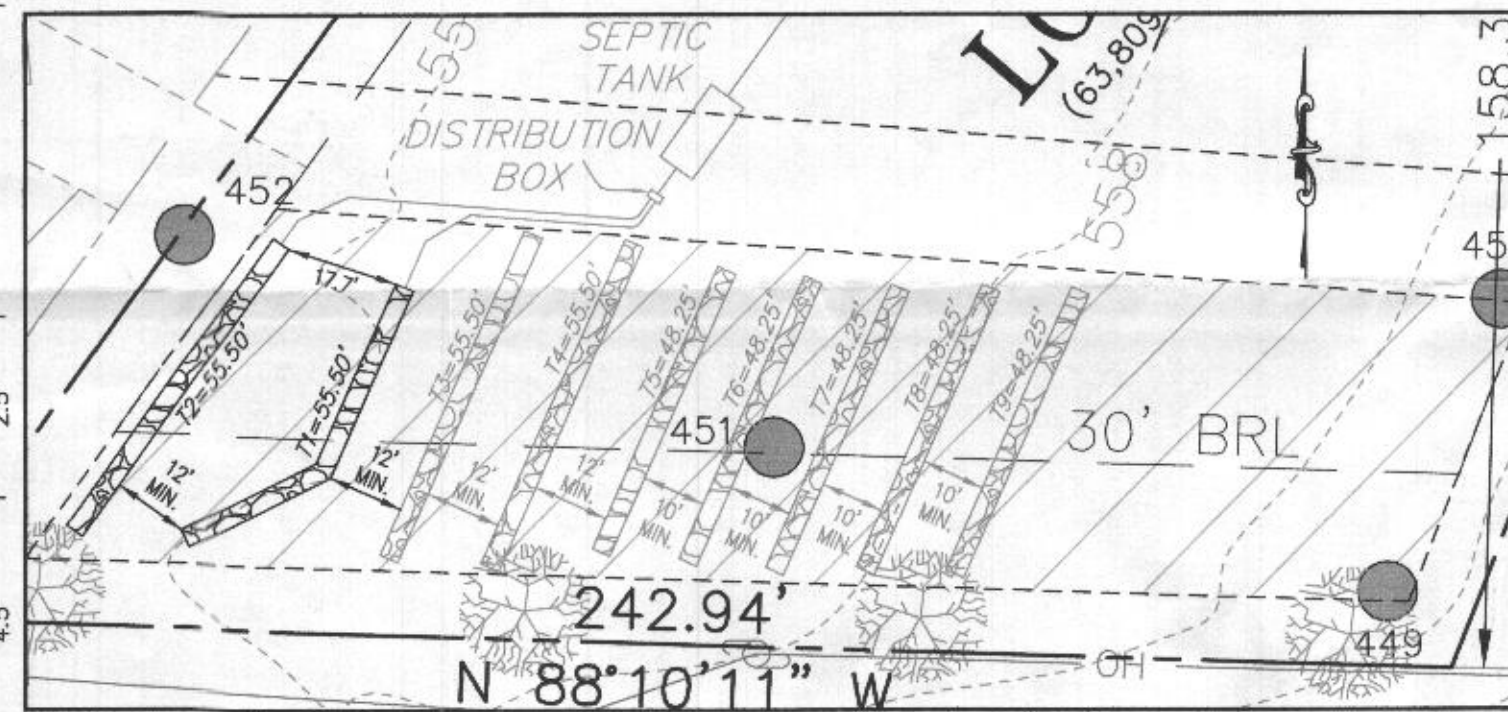
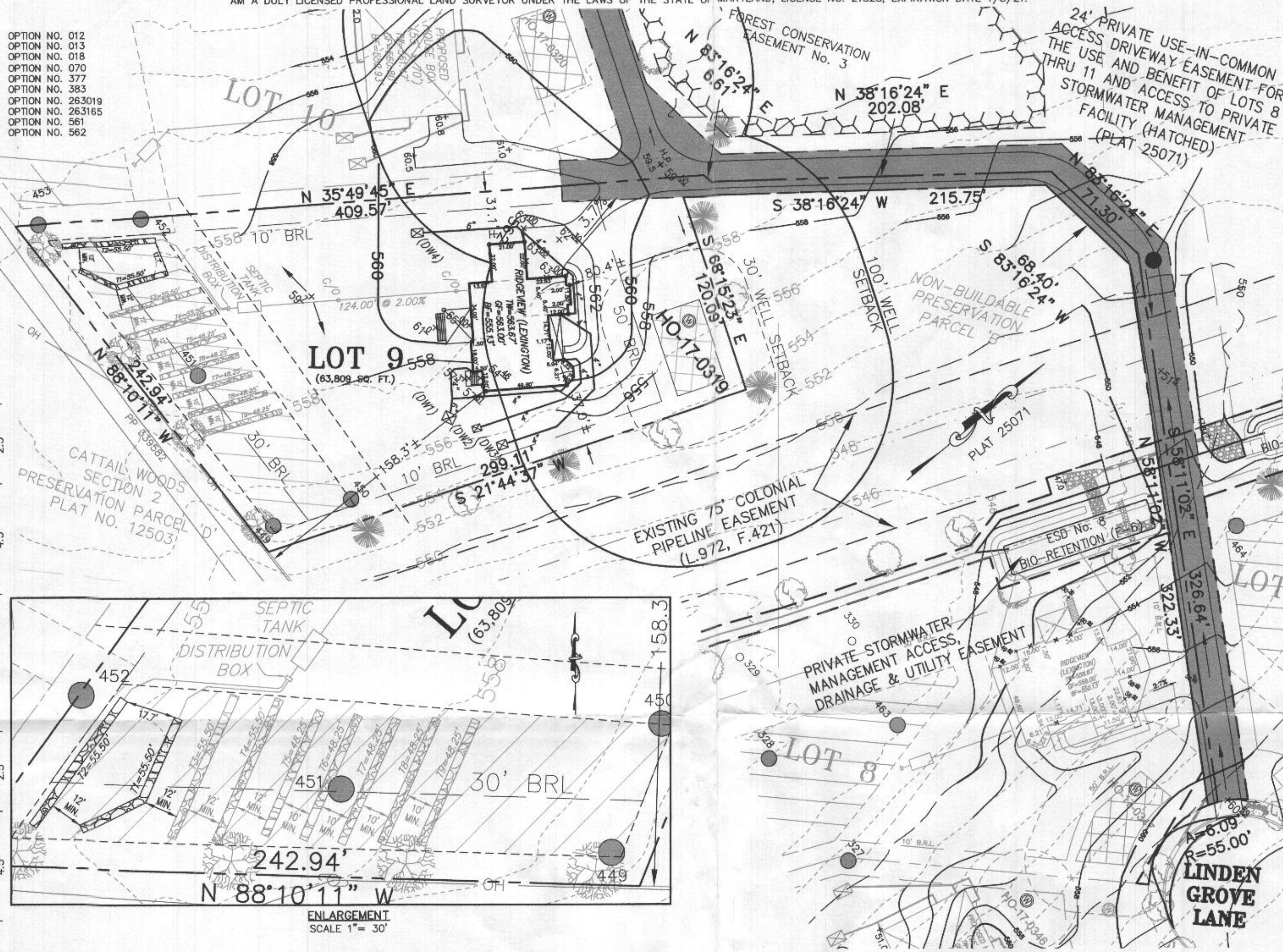
INITIAL SYSTEM TRENCH DETAIL (T1) AND (T2) (NOT TO SCALE)



1ST REPLACEMENT SYSTEM TRENCH DETAIL (T3) AND (T4) (NOT TO SCALE)



2ND REPLACEMENT SYSTEM TRENCH DETAIL (T5) THRU (T9) (NOT TO SCALE)



SEPTIC SYSTEM PROFILE SCALE = HORIZONTAL: 1"=50' VERTICAL: 1"=5'

SEWAGE DISPOSAL SYSTEM DATA (7 BDRM)

- PROPOSED INVERT AT FOUNDATION WALL: 560.2'
- 1. EX. GRADE OVER TANK: 559.4'
PROPOSED GRADE OVER TANK: 559.4'
INVERT IN: 557.7' INVERT OUT: 557.4'
- 2. DISTRIBUTION BOX
EXISTING GRADE OVER TANK: 559.2'
PROPOSED GRADE OVER TANK: 559.2'
INVERT IN: 557.3' INVERT OUT: 557.0'
- 3. INITIAL TRENCH DESIGN (7 BDRM X 150 GPD/BDRM = 1,050 GPD)
1,050 GPD + 1.2 APP. RATE = 875 SF
USE 3" WIDE TRENCH WITH 54" GRAVEL BELOW PIPE
12' MIN. SPACING BETWEEN TRENCH EDGES
875 SF + 3' WIDTH = 291.67 LF X 0.38 (SIDEWALL REDUCTION) = 110.83 LF MIN.
USE 2 55.50' LONG TRENCHES = 111 LF
- 4. 1ST REPLACEMENT TRENCH DESIGN (7 BDRM X 150 GPD/BDRM = 1,050 GPD)
1,050 GPD + 1.2 APP. RATE = 875 SF
USE 3" WIDE TRENCH WITH 54" GRAVEL BELOW PIPE
12' MIN. SPACING BETWEEN TRENCH EDGES
875 SF + 3' WIDTH = 291.67 LF X 0.38 (SIDEWALL REDUCTION) = 110.83 LF MIN.
USE 2 55.50' LONG TRENCHES = 111 LF
- 5. 2ND REPLACEMENT TRENCH DESIGN (7 BDRM X 150 GPD/BDRM = 1,050 GPD)
1,050 GPD + 0.8 APP. RATE = 1,312.50 SF
USE 3" WIDE TRENCH WITH 48" GRAVEL BELOW PIPE
10' MIN. SPACING BETWEEN TRENCH EDGES
1,312.50 SF + 3' WIDTH = 437.50 LF X 0.55 (SIDEWALL REDUCTION) = 240.63 LF MIN.
USE 5 48.25' LONG TRENCHES = 241.25 LF

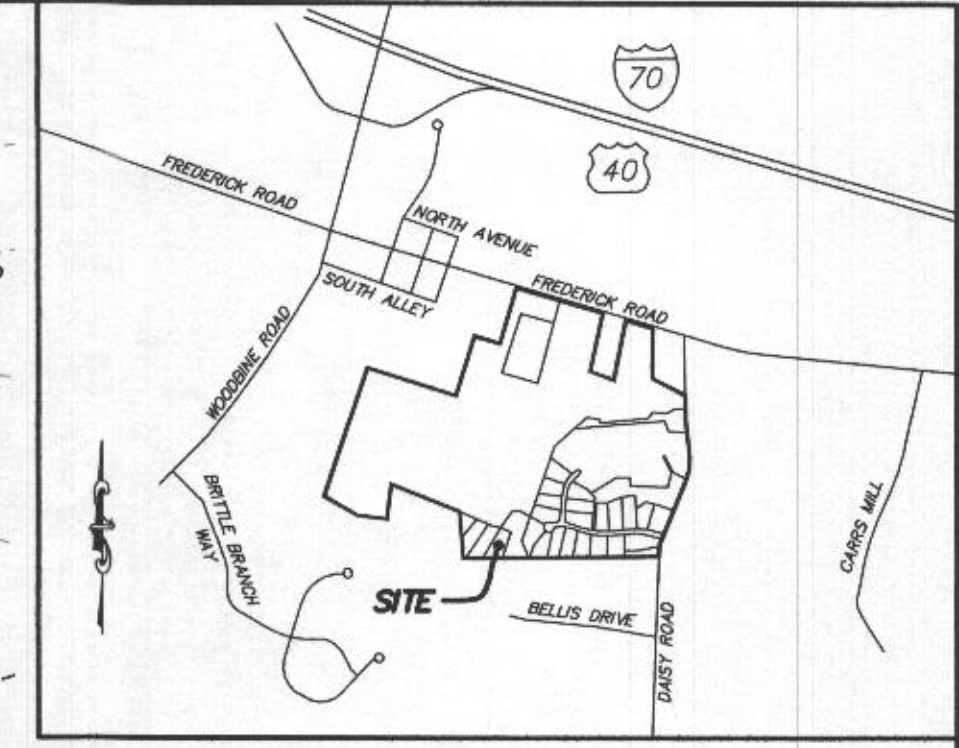


- LEGEND:**
- BRL BUILDING RESTRICTION LINE
 - (W) WELL LOCATION
 - T.W. TOP OF WALL
 - G.F. GARAGE FLOOR
 - B.F. BASEMENT FLOOR
 - PASSED PERC LOCATION
 - FAILED PERC LOCATION
 - ▨ SEPTIC RESERVE AREA
 - WELL BOX AREA
 - PROPOSED TREE
 - PROPOSED TREE

WELL LOCATION CERTIFICATION:

THE EXISTING WELL SHOWN FOR LOT 9 (TAG NO. HO-17-0319) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

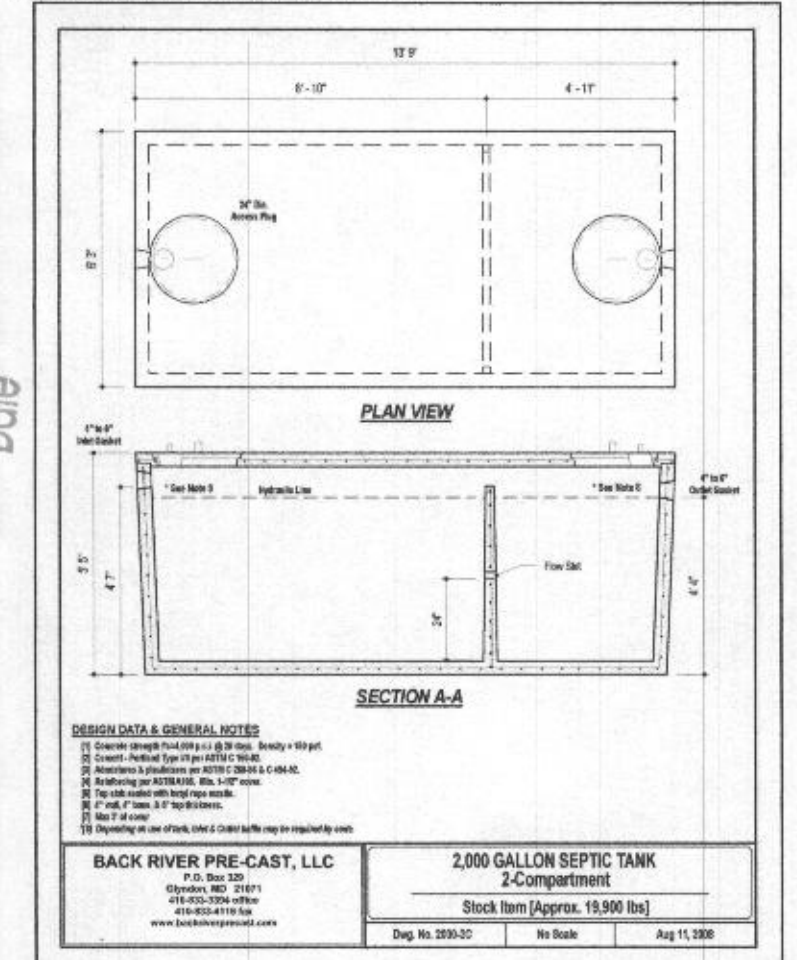
ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN
LOT 9
LINDEN GROVE
 LIBER 15899, FOLIO 246
 PLAT NO. 25071
 ELECTION DISTRICT No. 4
 HOWARD COUNTY, MARYLAND
 ADDRESS: 15641 LINDEN GROVE LANE
 WOODBINE, MARYLAND 21797



VICINITY MAP 1" = 1000'

GENERAL NOTES:

1. THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS UNTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
2. EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
3. ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
4. BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.
5. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
6. THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
7. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
8. THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS. 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.



ESE CONSULTANTS
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.
 7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046
 T: 410-872-9105

DATE: 07/19/2020 SCALE: 1"= 50' FILE: OSDS LOT 9_rev1
 CHK'D: M.J.B. JOB NO: 4683 DRAWN: R.C.K.