

PERMIT NUMBER: B

DATE ACCEPTED:

DTLP 2022 MAR 15 AM 8:31

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1915 Log House Court, City: Mt Airy, State: MD, Zip Code: 21771, Subdivision/Village/Complex Name: Florence Estates, SDP/WP/BA #: , Lot: 5, Tax Map: 12, Parcel: 12, Grading Permit #: 22-079

DESCRIPTION OF WORK REQUIRED

Existing Use: Empty lot, Proposed Use: New Single Family Home, Estimated Cost: \$ 700,000, Trade Work to Be Completed: Mechanical (HVACR), Electrical, Plumbing, None. To build new single family home with integral garage, screened porch, front porch

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): Carl Thacker, Primary Residence: Yes, Owner's Street Address: 5904 Sonoma, City: Bethesda, State: Md, Zip Code: 20817, Phone: 410-977-8927, Email: Justin.Thacker@thackerhackets.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Carrigan Homes Inc., Contact Name: Owen Kelly, Street Address: 28196 Little Rock Way, City: Foston, State: Md, Zip Code: 21601, Phone: 410-977-8927, Email: Carriganhomes@comcast.net

CONTRACTOR INFORMATION REQUIRED

Business Name: Carrigan Homes Inc., Licensee's Name: Owen Kelly, License #: 358, Street Address: 28196 Little Rock Way, City: Foston, State: Md, Zip Code: 21601, Phone: 410-977-8927, Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: N/A, Name: , Street Address: , City: , State: , Zip Code: , Phone: , Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling, Condo: No, Utilities: Electric, Gas, Water Supply: Public, Sewage Disposal: Private (Septic), Heating System: Electric, Natural Gas, Propane, Other, Roadside Tree Project: No, Sprinkler System: NFPA 13, Fire Alarm System: No, Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: # of Bedrooms (SF): 4, # of efficiency units (MF\*): , # of 1 BR (MF\*): , # of 2 BR (MF\*): , # of 3 BR (MF\*): , # Rooms: 10, # Full Baths: 3 1/2, # Half Baths: 1, # Fireplaces: 2, Garage/Carport Info: Attached Garage, Basement/Foundation Info: Unfinished Basement, 1st Fl Width: 50, 1st Fl Depth: 37, 2nd Fl Width: 50, 2nd Fl Depth: 37, Bsmt Width: 50, Bsmt Depth: 57, Energy Method: Prescriptive, Performance, UA Alternative, ERI, Gross Area: 3450 sq ft, Occupiable Area: 3900 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: Owen Kelly, DATE SIGNED: 2-11-22

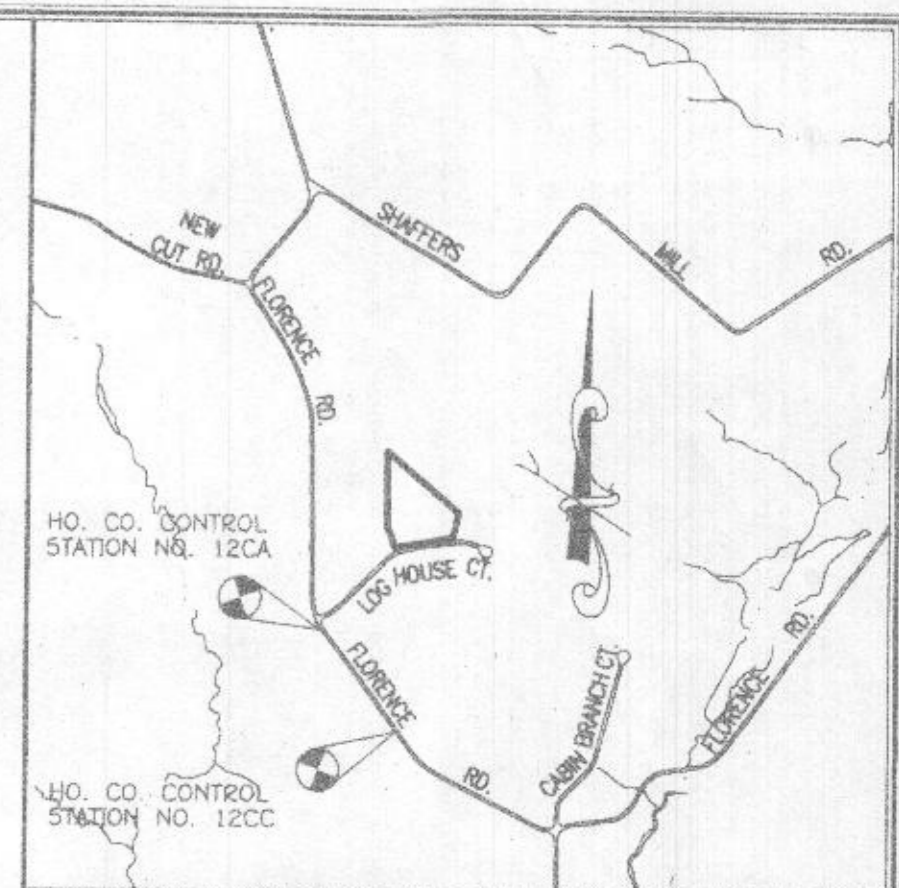
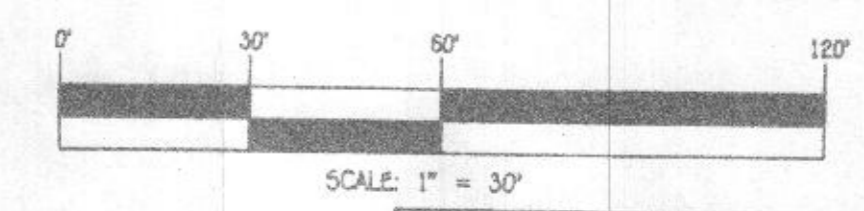
FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR, DPZ, DED, Health, SHA, CID, SUBMITTAL FEES: 150.00, PAYMENT: 4316, ACCEPTED BY: [Signature]



INDEX OF SHEETS	
SHEET NO.	NAME
1	SIMPLIFIED ENVIRONMENTAL CONCEPT PLAN
2	NOTES AND DETAILS

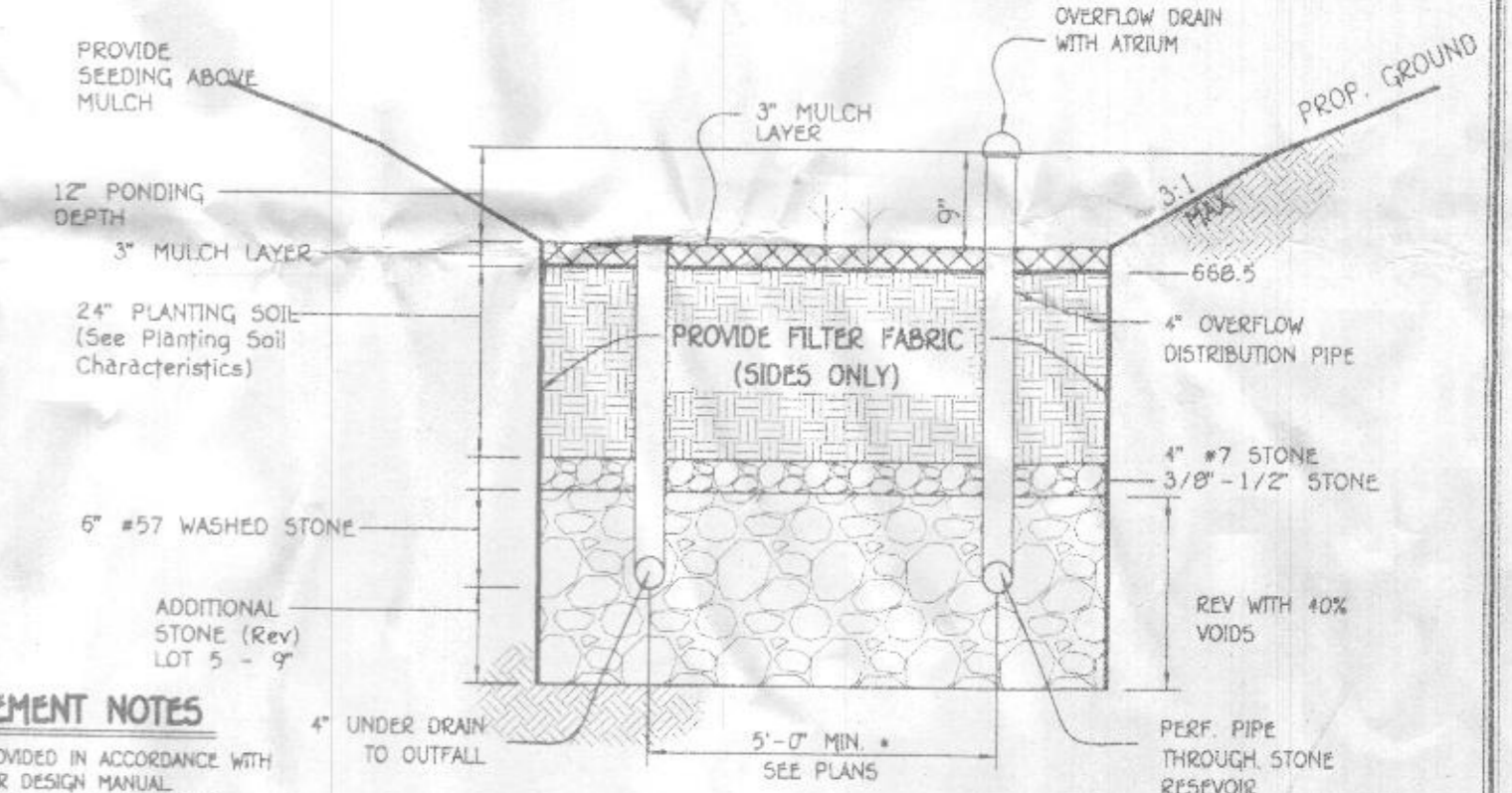


LEGEND	
SYMBOL	DESCRIPTION
(dashed line)	EXISTING CONTOUR 2' INTERVAL
(solid line)	PROPOSED CONTOUR 2' INTERVAL
(tree symbol)	EXISTING TREES
(dotted line)	PROPOSED TREE LINE
(number)	SPOT ELEVATION
(dashed line)	SURFER SALT FENCE
(dashed line)	LIMITS OF DISTURBANCE
(hatched area)	CONVERTS SEWAGE DISPOSAL AREA
(dashed line)	DRAINAGE CANAL
(dashed line)	STABILIZED CONSTRUCTION ENTRANCE (SC2)

GLUTTER DRAIN FILTER DETAIL  
NOT TO SCALE

**GENERAL NOTES**

- SUBJECT PROPERTY ZONED: RR-DEO
- TOTAL AREA OF PROPERTY: 3.74 AC.
- ONE SINGLE FAMILY HOUSE IS PROPOSED FOR THIS LOT.
- SEPTIC CASEMENT SUBJECT TO HOWARD COUNTY HEALTH DEPARTMENT REVIEW.
- LENGTH OF TRENCH TO BE DETERMINED AT TIME OF SEPTIC PERMIT ISSUANCE.
- CONTRACTOR/BUILDER TO VERIFY ELEVATIONS IN THE FIELD BEFORE BEGINNING ANY CONSTRUCTION.
- TOPOGRAPHIC INFORMATION IS BASED ON DIGITAL HOWARD COUNTY AERIAL ALONG WITH FIELD RUN TOPOGRAPHY BY FISHER, COLLINS & CARTER, INC., SEPTEMBER, 2021.
- NO WETLANDS CURRENTLY EXIST ON THE PROPERTY.
- DRIVEWAY CULVERTS SHALL BE CONSTRUCTED AT THE PLOT PLAN.
- STORMWATER MANAGEMENT IS IN ACCORDANCE WITH THE M.D.E. STORM WATER DESIGN MANUAL, VOLUMES I & II, REVISED 2009. WE ARE PROVIDING STORM WATER MANAGEMENT BY THE USE OF 1 MICRO-BIORETENTION (M-6) DEVICE. ALL ARE TO BE MAINTAINED BY THE HOMEOWNER.
- WATER WILL BE PROVIDED BY PRIVATE ON-SITE WELLS. SEWER WILL BE PROVIDED BY PRIVATE SEPTIC SYSTEM.
- SOILS SHOWN HEREON ARE BASED ON NCS WBS SOIL SURVEY.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE REPAIRED AT THE DEVELOPER'S EXPENSE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS SHALL OCCUR AT THE SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN STAGES AND/OR RED-LINE REVISION PROCESS.



**STORMWATER MANAGEMENT NOTES**

- STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL.
- CREEDS ARE GIVEN FOR DISINTEGRATION OF IMPERVIOUS COVERS.
- MAXIMUM CONTRIBUTING ROOFTOP AREA TO EACH DOWNSLOUT SHALL BE LESS THAN 1000 SQ. FT.

**MICRO-BIORETENTION (OVERFLOW)(M-6)**

NO SCALE

- MICRO-BIORETENTION NOTES**
- ONLY THE SIDES OF THE MICRO-BIORETENTION ARE TO BE WRAPPED IN FILTER FABRIC. FILTER FABRIC BETWEEN LAYER OR AT THE BOTTOM OF THE MICRO-BIORETENTION WILL CAUSE THE MBR TO FAIL AND THEREFORE SHALL NOT BE INSTALLED.
  - WRAP THE PERFORATED MBR UNDER DRAIN PIPE WITH 1/4" MESH (4x4) OR SMALLER GALVANIZED HARDWARE CLOTH.
  - PROVIDE 5" MINIMUM SPACING BETWEEN UNDER DRAIN AND PERFORATED PIPE THROUGH STONE RESERVOIR OR SPACE PIPE EQUALLY ACROSS BOTTOM FOR SMALL BAYS. (SEE PLAN)

**OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (M-6)**

- The owner shall maintain the plant material, mulch layer and soil layer annually. Maintenance of mulch and soil is limited to correcting areas of erosion or wash out. Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address dead material and pruning. Acceptable replacement plant material is limited to the following: 2000 Maryland stormwater design manual volume II, table A.4.1 and 2.
- The owner shall perform a plant in the spring and in the fall each year. During the inspection, the owner shall remove dead and diseased vegetation considered beyond treatment, replace dead plant material with acceptable replacement material, treat diseased trees and shrubs and replace all deficient plants and wires.
- The owner shall inspect the mulch each spring. The mulch shall be replaced every two to three years. The previous mulch layer shall be removed before the new layer is applied.
- The owner shall correct soil erosion on an as needed basis, with a minimum of once per month and after each heavy storm.

**DAILY STABILIZATION NOTE**

ALL DISTURBED AREAS NOT DIRECTED TO A SEDIMENT CONTROL DEVICE SHALL BE STABILIZED AT THE END OF EACH WORKDAY. THE CONTRACTOR SHALL NOT DISTURB AN AREA GREATER THAN THAT WHICH CAN BE STABILIZED AT THE END OF EACH WORKDAY IN SUCH AREAS.

**GRADING PLAN  
FLORENCE ESTATES, LOT 5  
1915 LOG HOUSE COURT**

ZONING: RC-DEO  
TAX MAP No. 12 GRID No. 6 PARCEL No. 12  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30' DATE: NOVEMBER, 2021

**OWNER**  
CARL THACKER  
CATHERINE DATIN  
2804 SONOMA  
BETHESDA MD 21171

**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Paul G. Cavanagh* Dec 17, 2021  
SIGNATURE OF ENGINEER DATE

**PROFESSIONAL CERTIFICATION**

"I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24."

*Paul G. Cavanagh* Dec 17, 2021  
SIGNATURE OF ENGINEER DATE



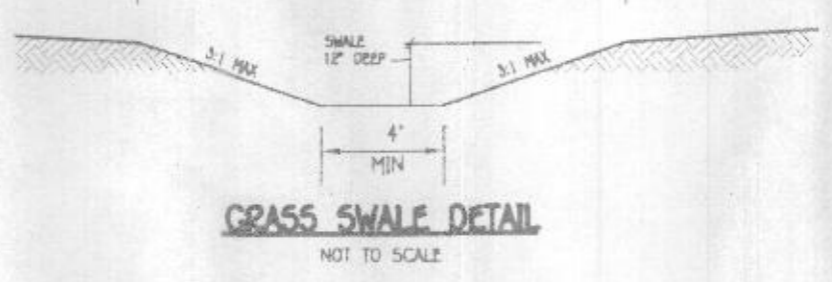
**DEVELOPER'S CERTIFICATE**

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Paul G. Cavanagh* 12/15/21  
SIGNATURE OF DEVELOPER DATE

Table B.4. Materials Specifications for Micro-Bio-retention, Rain Gardens & Landscape Infiltration

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil (2" to 4" deep)	loamy sand 50-65% compost 30-40% or sandy loam 30% coarse sand 30% compost 40%		USDA soil types loamy sand or sandy loam; clay content <5%
Organic Content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum
Pest gravel diaphragm	pest gravel: ASTM-D-440	No. 8 or No. 9 (1/8" to 3/8")	
Curtain drain	ornamental stone: washed cobble	stone: 2" to 3"	
Geotextile	n/a	n/a	PE Type 1 nonwoven
Gravel (underdrain and infiltration berms)	AASHTO M-43	No. 57 or No. Aggregate (3/8" to 3/4")	
Underdrain piping	F-750, Type F5 20" or AASHTO M-378	4" to 6" rigid schedule 40 PVC or HDPE	slotted or perforated pipe, 3/16" perft @ 4" on center, 4 holes per ft; minimum of 3" of gravel over pipe; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4" inch geotextile haircure cloth
Poured in place concrete (if required)	MSHA Mix No. 3, f = 3500 psi at 28 days, nominal weight, air-entrained, reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using precast! Approved site or local aggregate requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.8.7.9; vertical loading 10-10 or H-202; allowable horizontal loading (based on soil pressures); and analysis of potential cracking.
Sand	AASHTO-M-6 or ASTM-C-33	0.075" to 0.04"	Sand substitutions such as Diabase and Greystone (AASHTO #10) are not acceptable. No calcium chlorinated or dolomitic sand substitutions are acceptable. No rock dust can be used for sand.



PLAN  
SCALE: 1" = 30'

**SITE ANALYSIS DATA CHART**

- TOTAL AREA OF PROPERTY = 163,350 SQ. FT. OR 3.75 AC.
- LIMIT OF DISTURBED AREA = 62,546 SQ. FT. OR 1.44 AC.
- PRESENT ZONING DESIGNATION = RR-DEO
- PROPOSED USE: RESIDENTIAL
- PREVIOUS HOWARD COUNTY FILES: SF-75-031, F-83-93
- TOTAL AREA OF FLOODPLAIN LOCATED ON-SITE = 0.00 AC.
- TOTAL AREA OF SLOPES IN EXCESS OF 15% = 0.00 AC.
- TOTAL AREA OF WETLANDS (INCLUDING BUFFER) = 0.00 AC.
- TOTAL AREA OF STREAM (INCLUDING BUFFER) = 0.00 AC.
- TOTAL AREA OF EXISTING FOREST = 0.00 AC.
- TOTAL GREEN OPEN AREA OR = 156,478 SQ. FT. OR 3.59 AC.
- TOTAL PROPOSED IMPERVIOUS AREA = 6,972 SQ. FT. OR 0.16 AC.
- TOTAL PROPOSED IMPERVIOUS PAVING AREA = 3,518 SQ. FT. OR 0.08 AC.
- TOTAL PROPOSED IMPERVIOUS ROOF AREA = 3,254 SQ. FT. OR 0.07 AC.
- TOTAL AREA OF ERODIBLE SOILS = 0.0 AC.

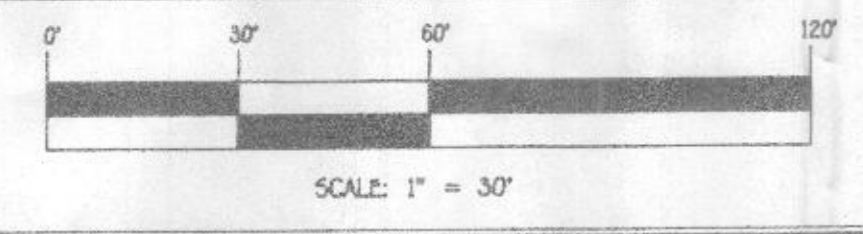
**SOILS LEGEND**

SOIL	NAME	CLASS	T' VALUE
GgB	Glenside loam, 3 to 8 percent slopes	B	.24
GgC	Glenside loam, 8 to 15 percent slopes	B	.24

**STORMWATER MANAGEMENT PRACTICES**

LOT	ADDRESS	DEWELLS (M-5) Y/N, NUMBER	ROOFTOP DISCONNECTION (N-2) Y/N, NUMBER	NON-ROOFTOP DISCONNECTION (N-1) Y/N, NUMBER	MICRO-BIO (M-6) Y/N, NUMBER
5	1915 LOG HOUSE COURT	N	N	N	Y

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*Alonzo B. Baskin* 11/5/22  
HOWARD SOIL CONSERVATION DISTRICT DATE

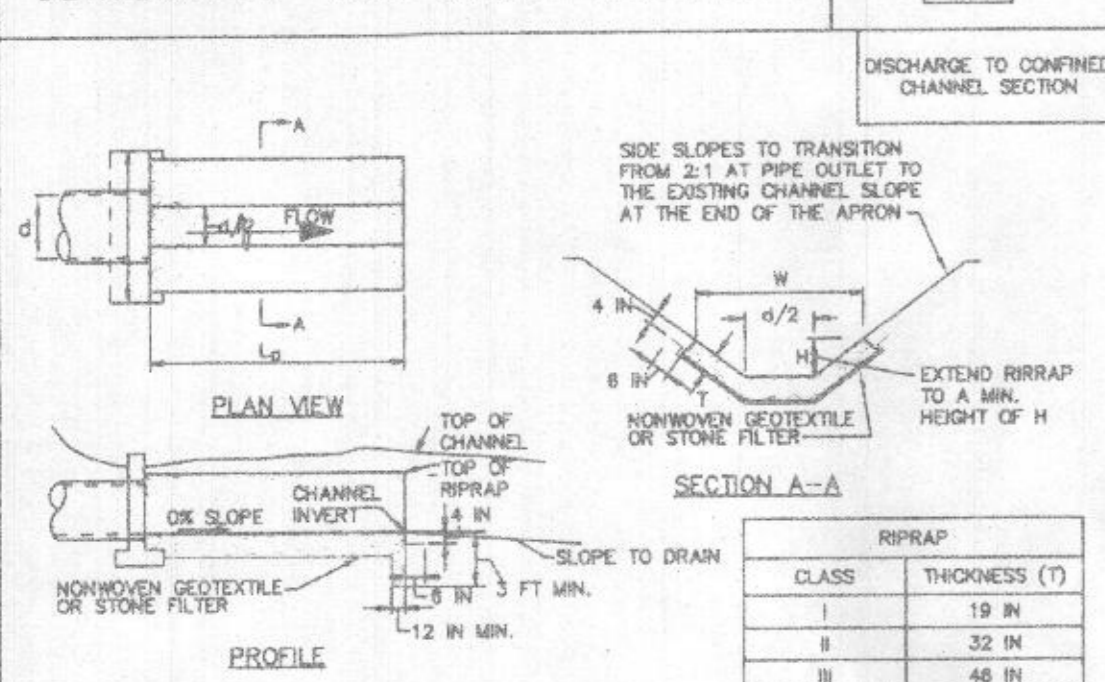


**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21116  
(410) 481 - 2895



**DETAIL D-4-1-B ROCK OUTLET PROTECTION II**

STANDARD SYMBOL  
ROPII

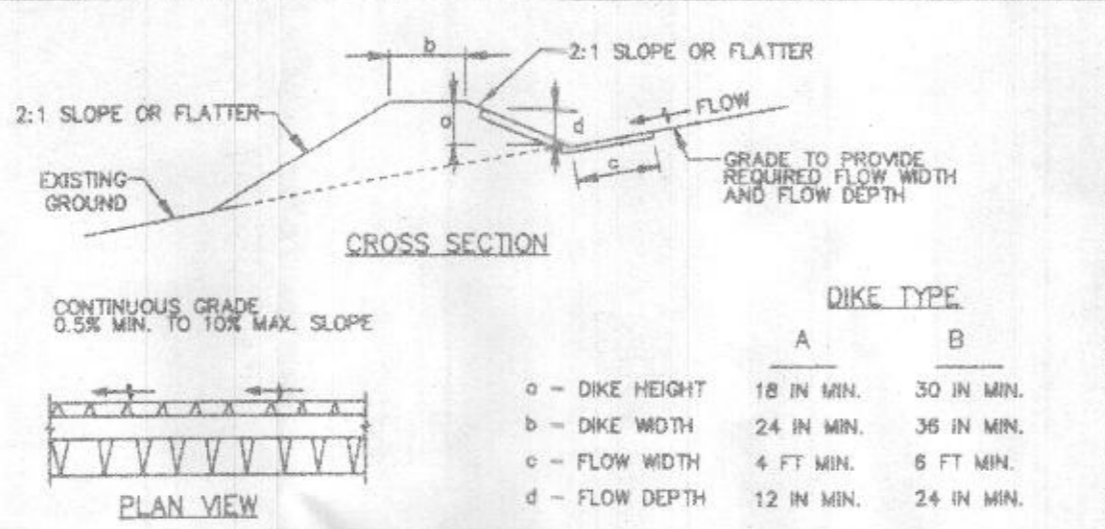


- CONSTRUCTION SPECIFICATIONS**
1. RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
  2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
  3. PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (3/4 TO 1 1/2 INCH STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
  4. EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
  5. CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPILLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE STONE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
  6. WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
  7. CONSTRUCT APRON WITH 0.5% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
  8. MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SOODOR AND DISLOGGED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**DETAIL C-1 EARTH DIKE**

STANDARD SYMBOL  
A-2



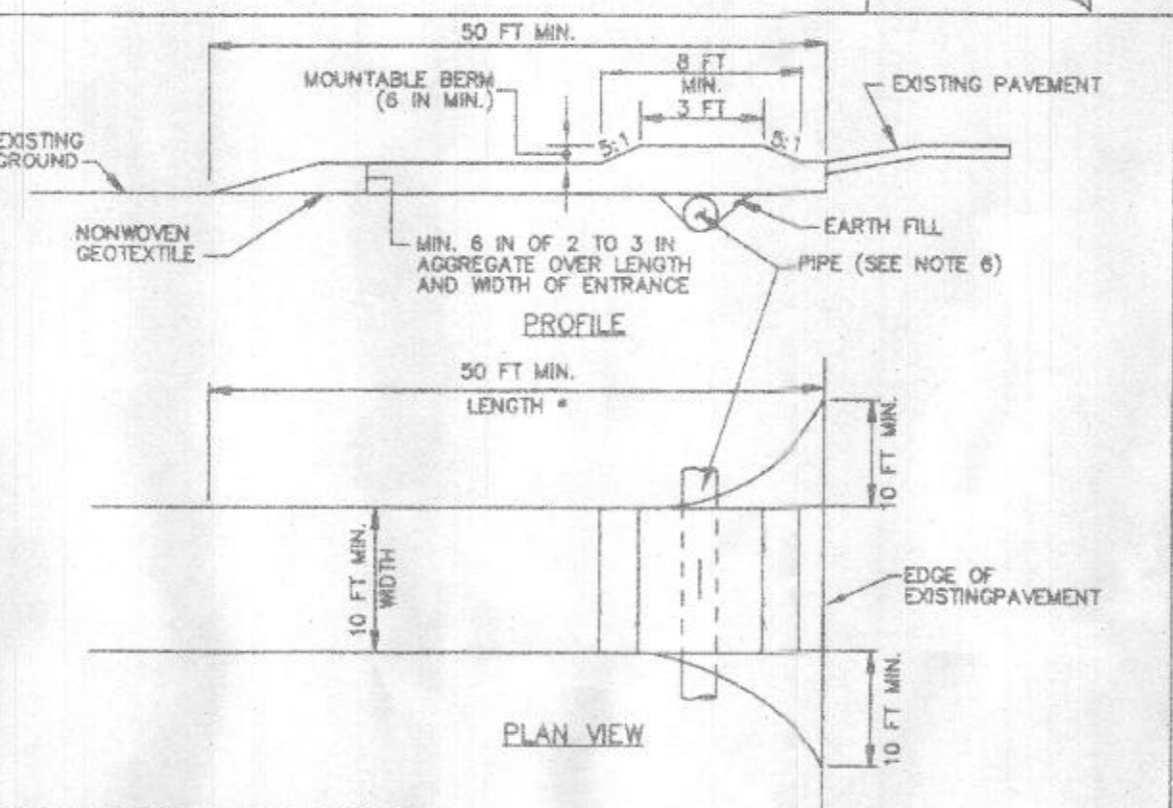
DIKE TYPE	A	B
a - DIKE HEIGHT	18 IN MIN.	30 IN MIN.
b - DIKE WIDTH	24 IN MIN.	36 IN MIN.
c - FLOW WIDTH	4 FT MIN.	6 FT MIN.
d - FLOW DEPTH	12 IN MIN.	24 IN MIN.

- FLOW CHANNEL STABILIZATION**
- A-1 SEED WITH STRAW MULCH AND TACK. (NOT ALLOWED FOR CLEAR WATER DIVERSIONS)
- A-2/B-2 SEED WITH SOIL STABILIZATION MATTING OR LINE WITH SOG.
- A-3/B-3 4 TO 7 INCH STONE OR EQUIVALENT RECYCLED CONCRETE PRESSED INTO SOIL. A MINIMUM OF 7 INCHES AND FLUSH WITH GROUND.
- CONSTRUCTION SPECIFICATIONS**
1. REMOVE AND DISPOSE OF ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SO AS NOT TO INTERFERE WITH PROPER FUNCTION OF EARTHDIKE.
  2. EXCAVATE OR SHAPE EARTH DIKE TO LINE, GRADE, AND CROSS SECTION AS SPECIFIED. BANK PROJECTIONS OR OTHER IRREGULARITIES ARE NOT ALLOWED.
  3. COMPACT FILL.
  4. CONSTRUCT FLOW CHANNEL ON AN UNINTERRUPTED, CONTINUOUS GRADE, ADJUSTING THE LOCATION DUE TO FIELD CONDITIONS AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE.
  5. PROVIDE OUTLET PROTECTION AS REQUIRED ON APPROVED PLAN.
  6. STABILIZE EARTH DIKE WITHIN THREE DAYS OF INSTALLATION. STABILIZE FLOW CHANNEL FOR CLEAR WATER DIVERSION WITHIN 24 HOURS OF INSTALLATION.
  7. MAINTAIN LINE, GRADE, AND CROSS SECTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS, AND MAINTAIN POSITIVE DRAINAGE. KEEP EARTH DIKE AND POINT OF DISCHARGE FREE OF EROSION, AND CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.
  8. UPON REMOVAL OF EARTH DIKE, GRADE AREA FLUSH WITH EXISTING GROUND. WITHIN 24 HOURS OF REMOVAL STABILIZE DISTURBED AREA WITH TOPSOIL, SEED, AND MULCH, OR AS SPECIFIED ON APPROVED PLAN.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE**

STANDARD SYMBOL  
SCE

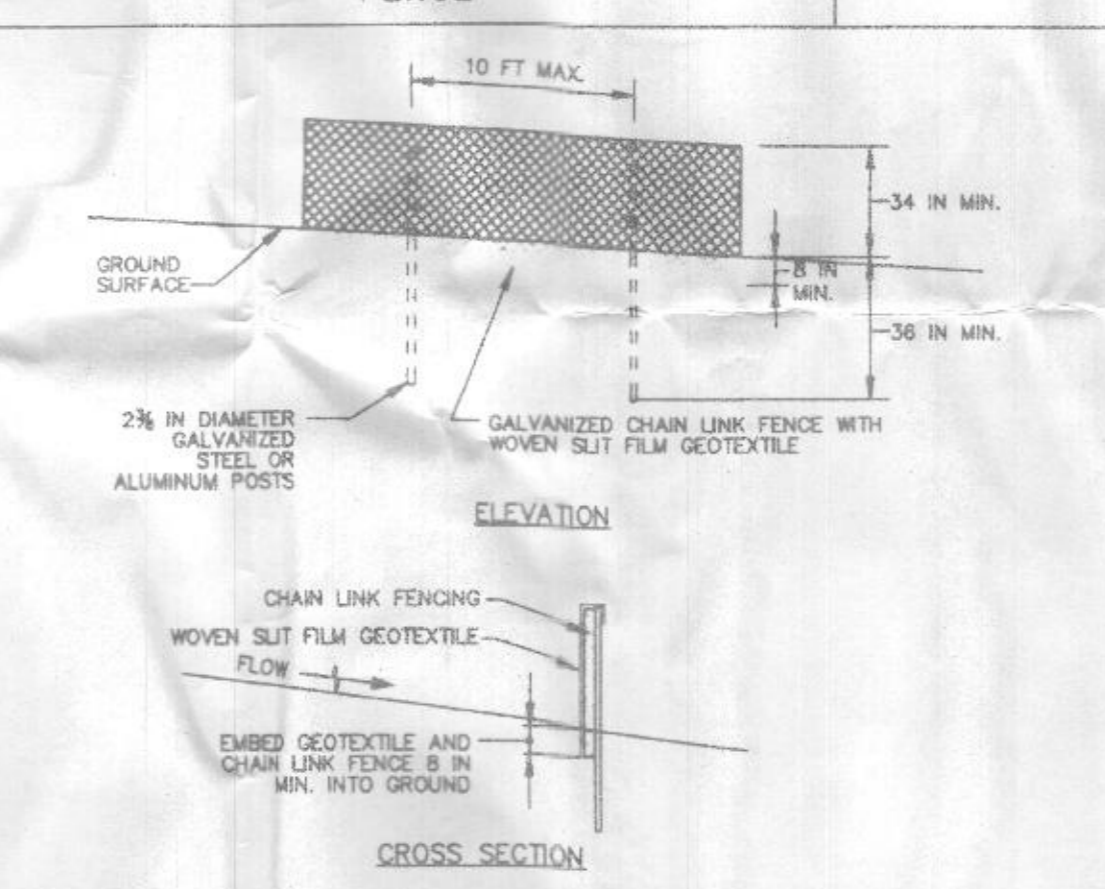


- CONSTRUCTION SPECIFICATIONS**
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (50 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE TO 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
  2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 2:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
  3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
  4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 8 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
  5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLS, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**DETAIL E-3 SUPER SILT FENCE**

STANDARD SYMBOL  
SSF

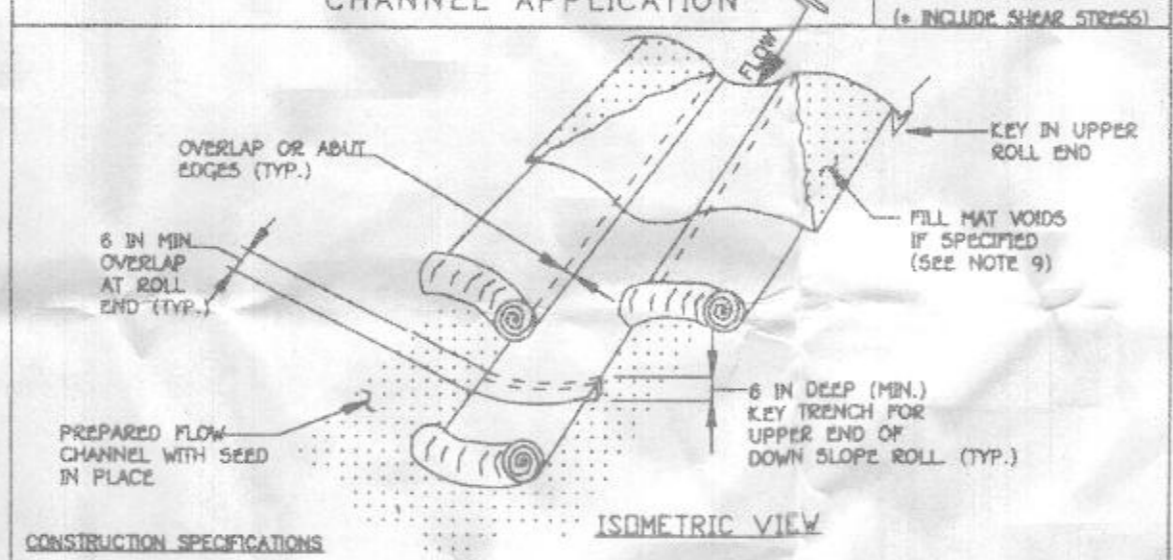


- CONSTRUCTION SPECIFICATIONS**
1. INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.065 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
  2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 3/8 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
  3. FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
  4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
  5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
  6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
  7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 20% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**DETAIL B-4-6-C PERMANENT SOIL STABILIZATION MATTING CHANNEL APPLICATION**

STANDARD SYMBOL  
PSSM # 25 lb/ft<sup>2</sup> (to include STAPLE STRESS)



- CONSTRUCTION SPECIFICATIONS**
1. USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
  2. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. DIMENSIONS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-HAZARDOUS TO THE SOIL. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2 1/2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
  3. SECURE MATTING USING STEEL STAPLES OR WOOD STAPLES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 8 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 4 INCH HEAD. WOOD STAPLES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1 1/2 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
  4. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDING PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS. UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
  5. UNROLL MATTING IN DIRECTION OF WATER FLOW CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE AND STRETCHING THE MATTING.
  6. OVERLAP OR ADJUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 8 INCHES (MINIMUM) WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
  7. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
  8. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
  9. IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYS AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL, AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.
  10. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

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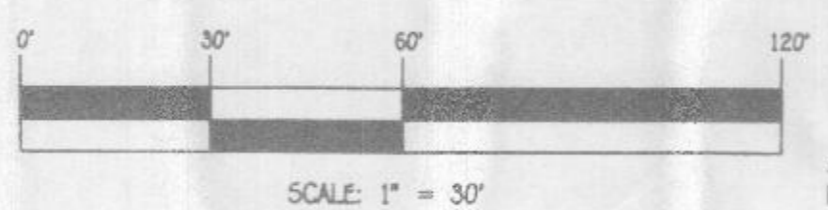
**ENGINEER'S CERTIFICATE**

I/WE CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Paul G. Cavanaugh*  
SIGNATURE OF ENGINEER DATE: *Dec 17, 2021*

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
10200 BALDWIN BLVD., SUITE 100  
ELLSWORTH CITY, MARYLAND 21042  
(410) 481-1899

**OWNER**  
CARL THACKER  
CATHERINE DATN  
5804 SONOMA  
BETHESDA MD 21771



THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*Alexander Prochuk*  
HOWARD SOIL CONSERVATION DISTRICT DATE: *11/5/22*

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Paul G. Cavanaugh*  
SIGNATURE OF DEVELOPER DATE: *12/15/21*

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/22.

*Paul G. Cavanaugh*  
DATE: *Dec 17, 2021*

**GRADING PLAN  
FLORENCE ESTATES, LOT 5**

1915 LOG HOUSE COURT  
ZONING: RC-DEO  
TAX MAP No. 12 GRID No. 6 PARCEL No. 12  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1"=30' DATE: DECEMBER, 2021  
SHEET 3 OF 3 GP 22-079

