



Building Permit Application

Howard County Maryland
 Department of Inspections, Licenses and Permits
 3430 Court House Drive
 Permits: 410-313-2455
 www.howardcountymd.gov

Date Received: 1/19/18

Permit No.: B18000191

Building Address: 714 MARRIOTTSVILLE RD
 City: MARRIOTTSVILLE State: MD Zip Code: 21104
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Single Family Dwelling
 Proposed Use: Same
 Estimated Construction Cost: \$ 10,000
 Description of Work: Construct 24' x 25' concrete slab on level on ground. Enclose carport into living room
 Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: SYED ALI
 Address: 714 MARRIOTTSVILLE ROAD
 City: MARRIOTTSVILLE State: MD Zip Code: 21104
 Phone: 242-712-0809 Fax: 242-442-1298
 Email: syed.ali514@gmail.com

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: Owner/contractor
 Contact Person: Syed Ali
 Address: 714 Marriottsville Road
 City: Mariottsville State: _____ Zip Code: 21104
 License No.: _____
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>24' x 25'</u>
Area of construction (sq. ft.):	2 nd floor: _____
Use group:	Basement: <input type="checkbox"/> Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Crawl Space <input type="checkbox"/> Slab on Grade
Construction type:	No. of Bedrooms:
<input type="checkbox"/> Reinforced Concrete	Multi-family Dwelling
<input type="checkbox"/> Structural Steel	No. of efficiency units:
<input type="checkbox"/> Masonry	No. of 1 BR units:
<input type="checkbox"/> Wood Frame	No. of 2 BR units:
<input type="checkbox"/> State Certified Modular	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Syed Ali Print Name: SYED ALI
 Email Address: SYED.ALI514@gmail.com Date: 02-19-2018
 Title/Company: OWNER

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check <u>MO 24771182623</u>	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

REQUIRED NOTES PER COMAR 09.1306

- 1) This plat is of benefit to a consumer only insofar as it is required by a lender or title insurance company or its agent in connection with contemplated transfer, financing or refinancing.
- 2) This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements;
- 3) This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.
- 4) The level of accuracy of apparent setback distances is within 5 feet +/-.

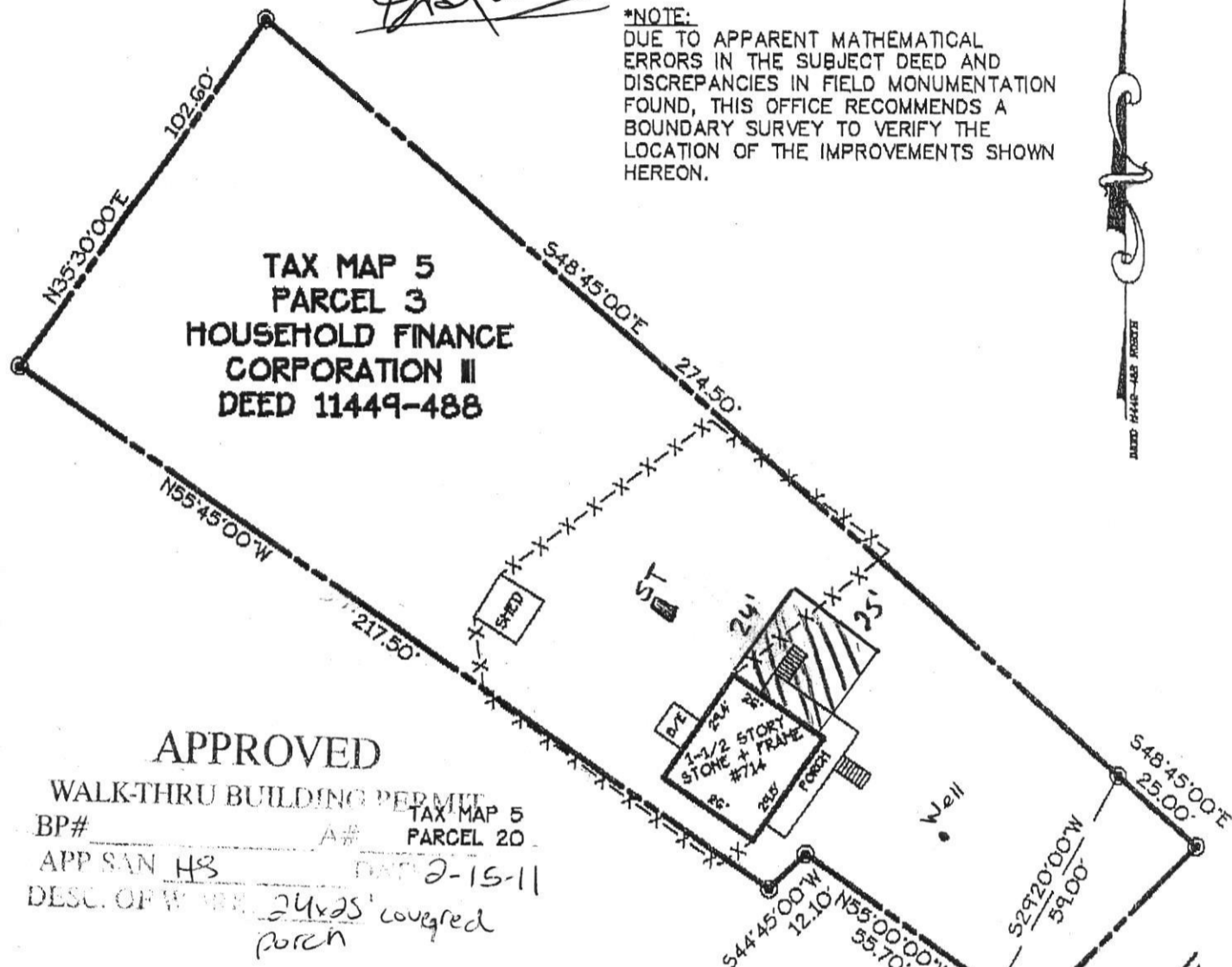
ADDITIONAL NOTES

- 1) The subject property falls in flood zone "A1B" as shown on the flood hazard boundary map 240044 0005B dated 12/4/1986.
- 2) This is not a boundary survey or lot stakeout. No title research furnished to or done by this office.
- 3) This plat shows the principal structure and significant structures (close to the apparent property lines) as required by Maryland law. However, additional internal structures may not be shown.
- 4) Fences shown as are approximate only. The exact location of fences and boundary lines can be accomplished with a boundary survey.
- 5) The licensee either personally prepared this drawing or was in responsible charge over its preparation and the surveying work reflected in it, all in compliance with requirements set forth in Regulation .12 of Chapter 08 Minimum Standards of Practice.
- 6) The source of data, bearings, and/or coordinates used on this drawing are based on the record plat or deed referenced: DEED 11449-488

Buyer Acknowledges receipt of survey as shown at settlement this 27th day of May 2009

Galander

***NOTE:**
DUE TO APPARENT MATHEMATICAL ERRORS IN THE SUBJECT DEED AND DISCREPANCIES IN FIELD MONUMENTATION FOUND, THIS OFFICE RECOMMENDS A BOUNDARY SURVEY TO VERIFY THE LOCATION OF THE IMPROVEMENTS SHOWN HEREON.



APPROVED

WALK-THRU BUILDING PERMIT TAX MAP 5
 BP# _____ A# PARCEL 20
 APP SAN H3 DATE 2-15-11
 DESC. OF WORK 24x25' covered porch



MARRIOTSVILLE ROAD

I hereby certify that the improvements shown hereon to the best of my professional knowledge and ability, have been located by a transit, tape or total-station survey.

Francis B. Collinson
 FRANCIS B. COLLINSON PLS #10104 5/22/2009

714 MARRIOTSVILLE ROAD DEED 11449-488
 LOCATION DRAWING TAX MAP 5 PARCEL 3

HOUSEHOLD FINANCE CORP. III

THIRD ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40' MAY 2009
 FILE #HO 369 PROJECT #25727
 CAD FILENAME: 714-MARRIOTSVILLE-RD
 DRAWN BY: JMS CHECKED BY:

ATTENTION USER: SURVEY ORDER MUST BE ON FILE WITH ADVANCED SURVEYS BEFORE THIS DOCUMENT CAN BE USED.

ADVANCED SURVEYS
 Established 1975
 3140 West Ward Road Suite 103
 Dunkirk, Maryland 20754
 Ph: 410-286-9712 Fax: 410-286-9716
 Toll-Free: 1-800-235-4681

Bricker, Robert

From: Bricker, Robert
Sent: Friday, February 02, 2018 3:07 PM
To: 'sayed.ali514@gmail.com'
Subject: 714 Marriottsville Road_B18000191

Mr. Ali,

I have been assigned to review a Building Permit Application (B18000191) submitted by you for improvements at 714 Marriottsville Road. I am unable to determine the description of work as it is written on the application form. Please provide me with a detailed description of the work you wish to accomplish in relation to this permit application. Also, as part of my review for this proposal, I will conduct an inspection of the property to document the condition of the well and wastewater disposal.

ROBERT BRICKER, REHS/R.S., L.E.H.S.
ENVIRONMENTAL SANITARIAN II
BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM
8930 STANFORD BLVD., COLUMBIA, MD 21045

Phone: Desk, 410-313-2691; Program, 410-313-1771; Bureau, 410-313-1774
Fax: 410-313-2648

E-mail: rbricker@howardcountymd.gov

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FILE INQUIRY NOTES

714 Marriottsville Road.

DATE

RESULTS OF REVIEW FOR FILE

9/13/12 I knocked at the residence door, person who answered identified herself as Rhanna (sp?), wife of the owner. I explained that a perc test had been completed some time ago, but no repair had been implemented. Rhanna responded that the problem had resolved itself. I asked if I could look around (motioning to the back yard), and Rhanna said I could. I found the soil to be very 'soft' over a relatively large area with no evidence of disturbance. The grasses (and weeds) have been mowed recently. I found the cover to the septic tank and slid it aside. The walls of the ~15" riser were coated ^{with} grey & black organic materials, to the surface. The soil surface adjacent to the riser appeared moist, but it was difficult to distinguish a difference in moisture and color to soil more distant from the riser, and there were no flies concentrated in the area. After finishing my inspection, I returned to the residence and spoke with Rhanna. I described my findings at the riser and stated that the wastewater may be discharging out of the riser. I asked if the system was being pumped regularly. Rhanna said she was not there throughout the summer, but her husband was. I asked if they kept invoices from having the tank pumped, and her response was that such papers were routinely discarded.

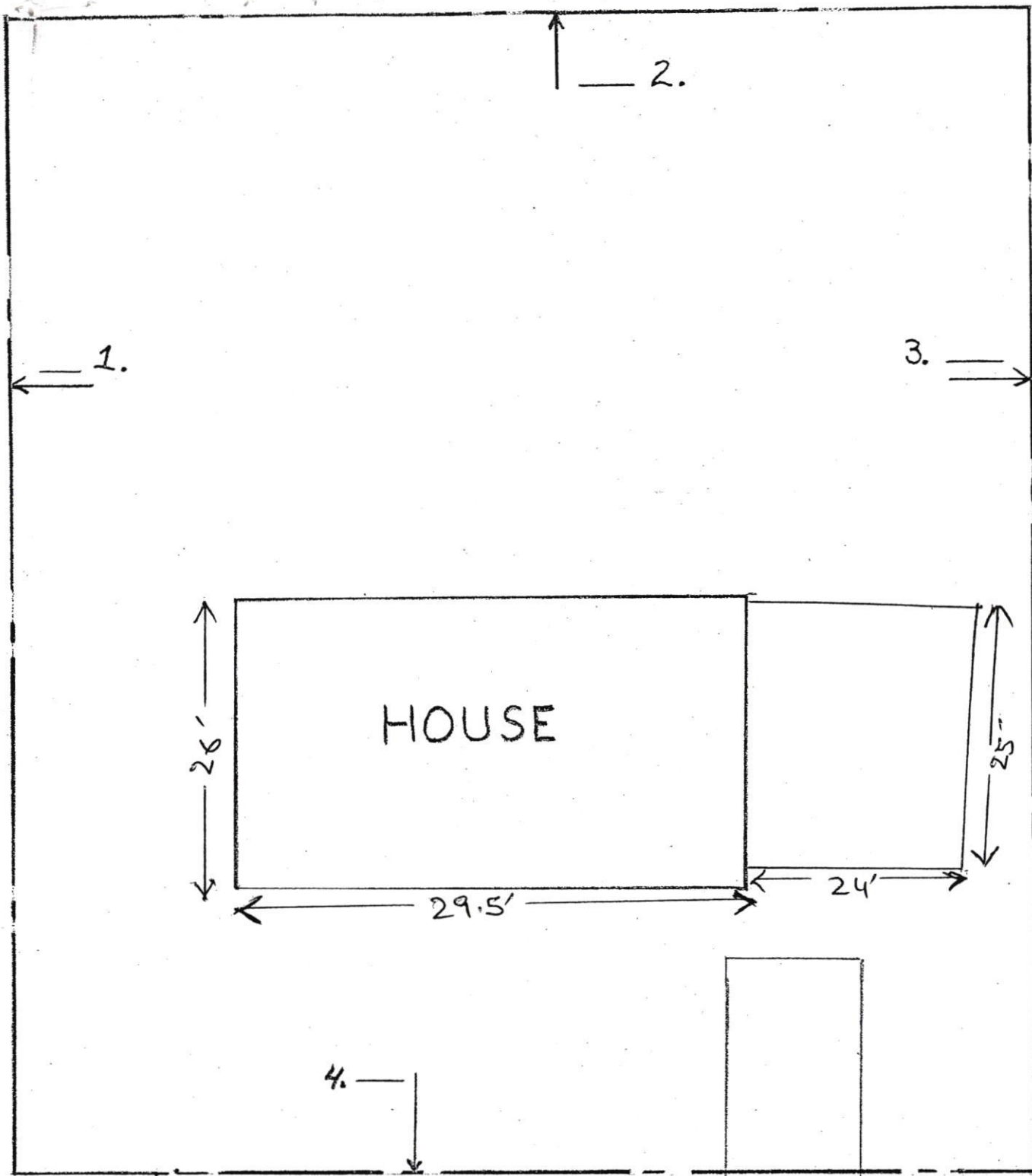
Robert
Buder

9/12/12 cont.

I reiterated that a repair needs to be implemented. I suggested that an alternative may be to design the existing tank ^(to use) as a Holding Tank.

Robert Buck

PLOT PLAN



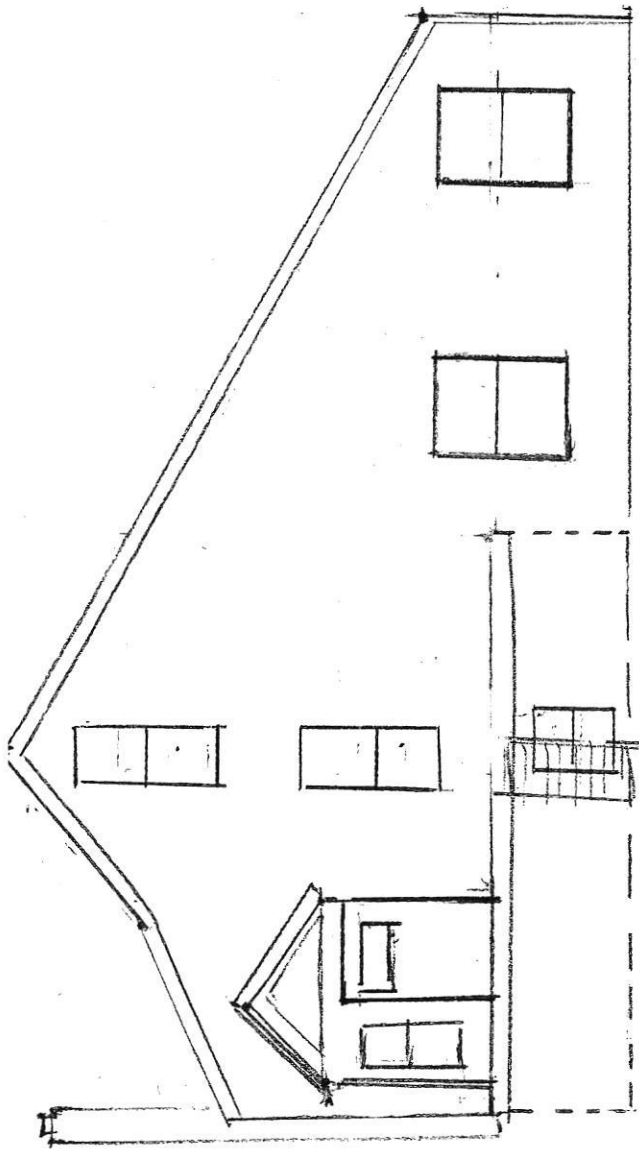
MARRIOTTSVILLE ROAD
STREET

NAME: SYED ALI

ADDRESS: 714 MARRIOTTSVILLE R
MARRIOTTSVILLE MD 2110

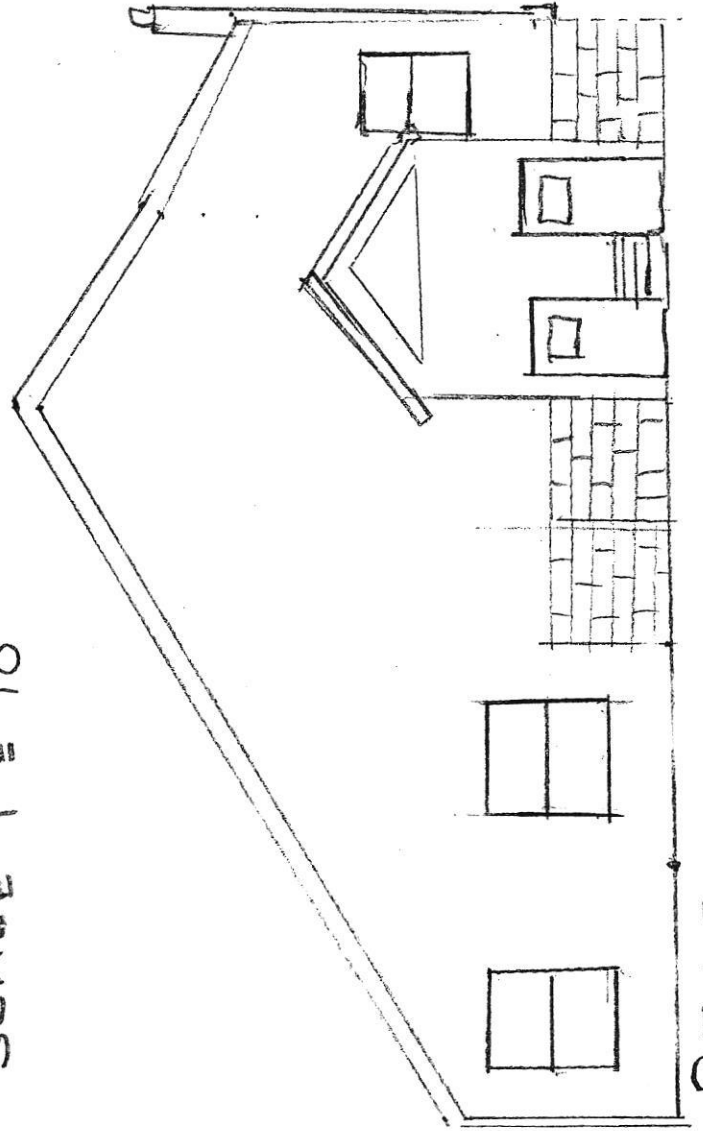
HEALTH DEPT

B18000191



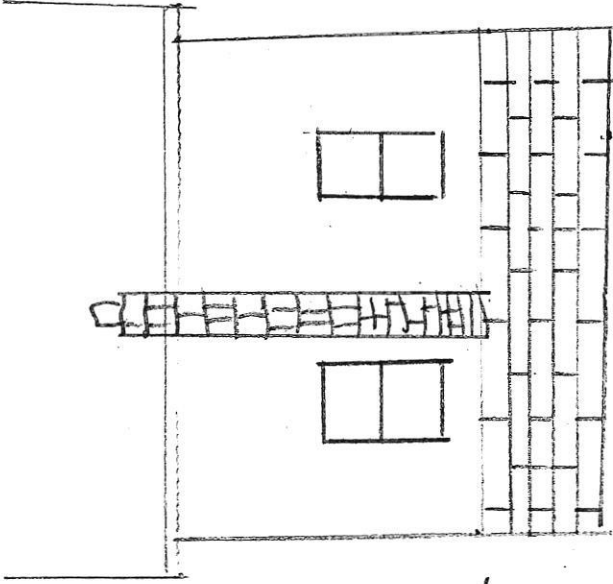
FRONT ELEVATION

SCALE 1" = 10'

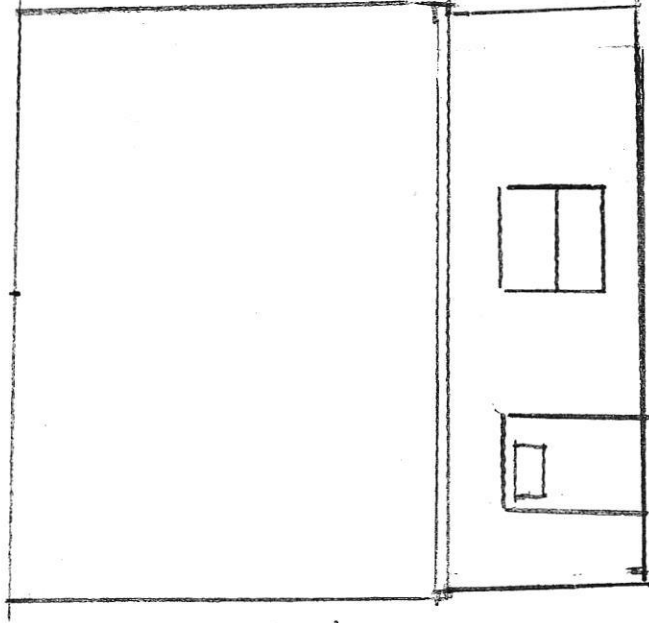


REAR ELEVATION

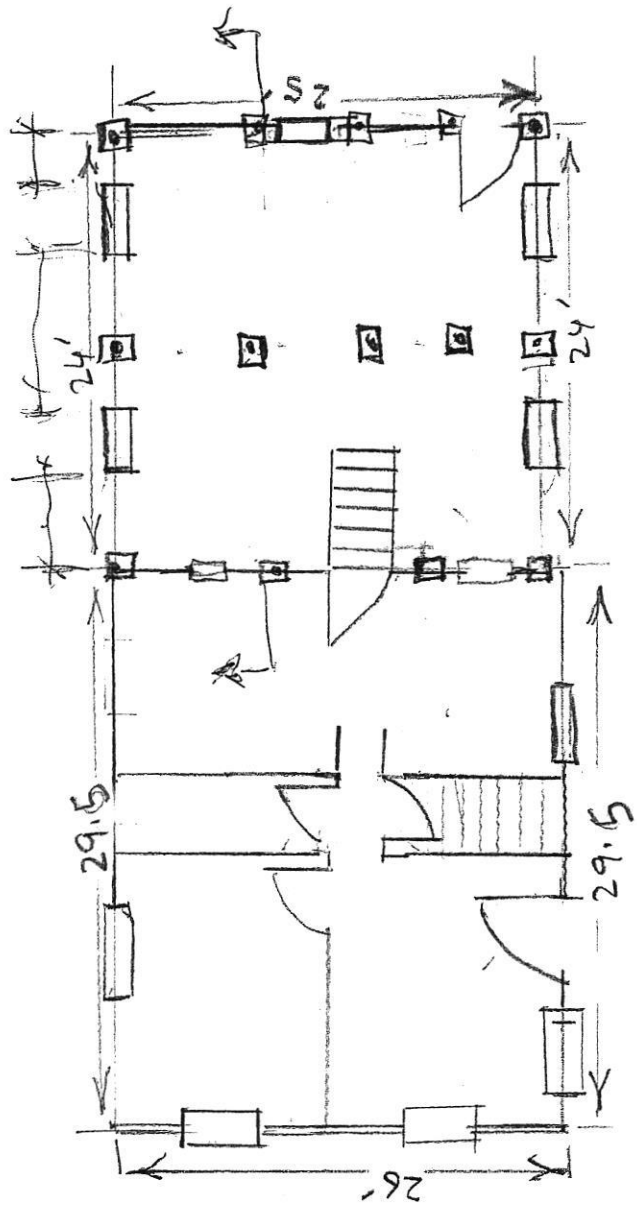
SCALE 1" = 10'



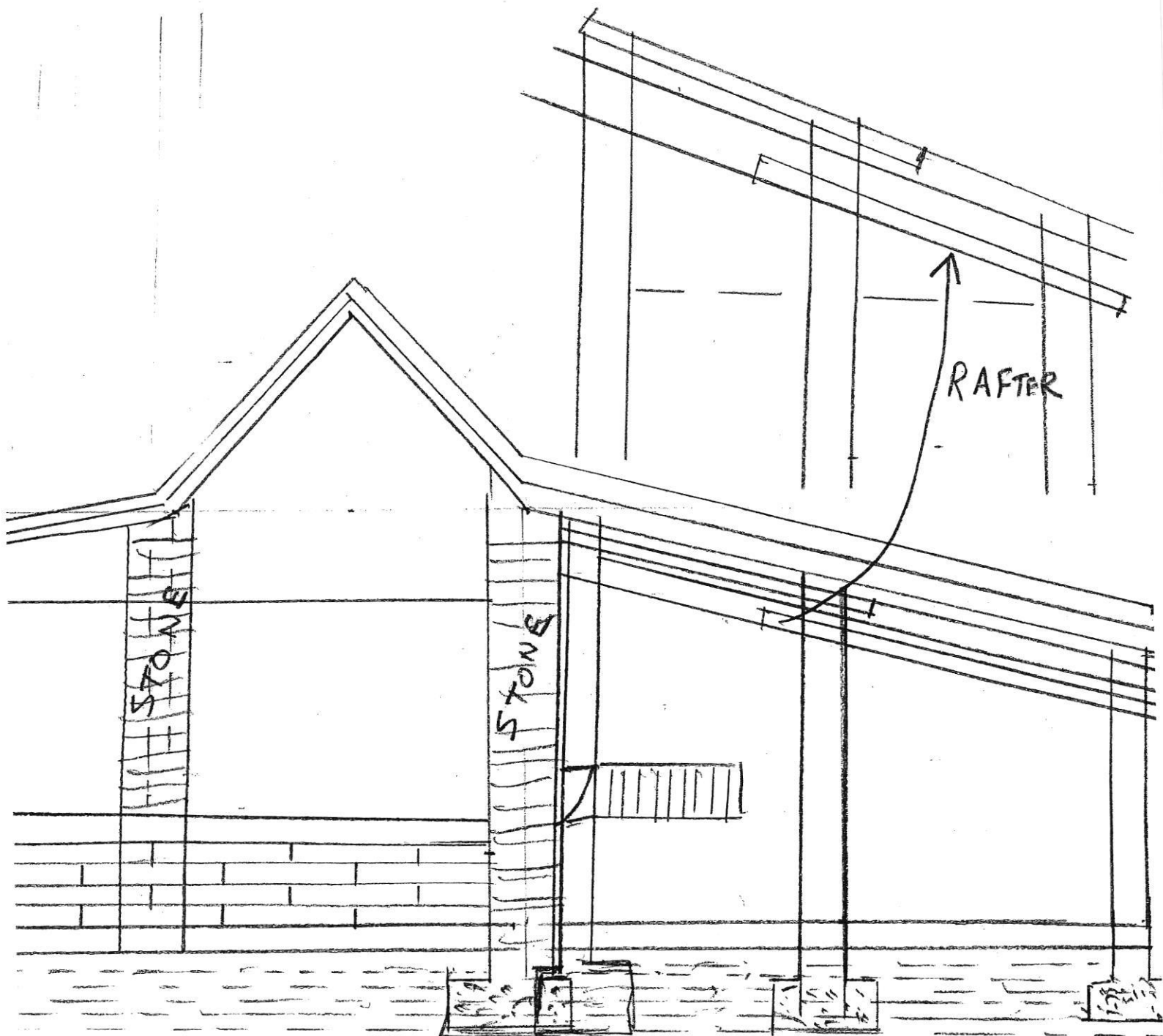
LEFT SIDE
ELEVATION
SCALE 1" = 10'



RIGHT SIDE
ELEVATION
SCALE 1" = 10'



1 FLOOR PLAN
 SCALE 1" = 10'



SECTION A'-A'
SCALE 1" = 5'