

PERMIT NUMBER: B 2 1003059

DATE ACCEPTED:



# RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS  
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4  
www.howardcountymd.gov

### BUILDING SITE ADDRESS REQUIRED

Street Address: 815 Iron Rail Ct.		Unit:
City: Woodbine	State: MD	Zip Code: 21797
Subdivision/Village/Complex Name:		SDP/WP/BA #:
Lot: 8	Tax Map:	Parcel:
		Grading Permit #:

### DESCRIPTION OF WORK REQUIRED

Existing Use:	Proposed Use: Storage Pole Barn	Estimated Cost: \$ 45,000
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input checked="" type="checkbox"/> None Pole Barn 33' x 40'		

### PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Steven Clarke		Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 815 Iron Rail Ct.		
City: Woodbine	State: MD	Zip Code: 21797
Phone: 410-419-0592	Email: S.clarke@verizon.net	

### APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Miller Contracting, LLC	Contact Name: Jeffrey Miller Jr
Street Address: 411 Pleasant Valley Rd.	
City: Westminster	State: MD
Phone: 410-830-1959	Zip Code: 21158
Email: Jeffjr@MillerContractingMD.com	

### CONTRACTOR INFORMATION REQUIRED

Business Name: Miller Contracting, LLC	License #: W15945785	MHIC-108501
Licensee's Name: Miller Contracting, LLC		
Street Address: 411 Pleasant Valley Rd.		
City: Westminster	State: MD	Zip Code: 21158
Phone: 410-830-1959	Email: Jeffjr@MillerContractingMD.com	

### ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Zip Code:
Email:	

### BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac

### ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:				
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 1	# Full Baths: 0	# Half Baths: 0	# Fireplaces: 0	
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input checked="" type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1 <sup>st</sup> Fl Width: 33'	1 <sup>st</sup> Fl Depth: 40'	2 <sup>nd</sup> Fl Width: N/A	2 <sup>nd</sup> Fl Depth: N/A	Bsmt Width: N/A   Bsmt Depth: N/A
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area:   sq ft	Occupiable Area:   sq ft	

### AGREEMENT / DISCALIMER REQUIRED

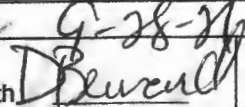
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

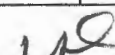
APPLICANT'S ORIGINAL SIGNATURE  DATE SIGNED 8/11/21

### FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

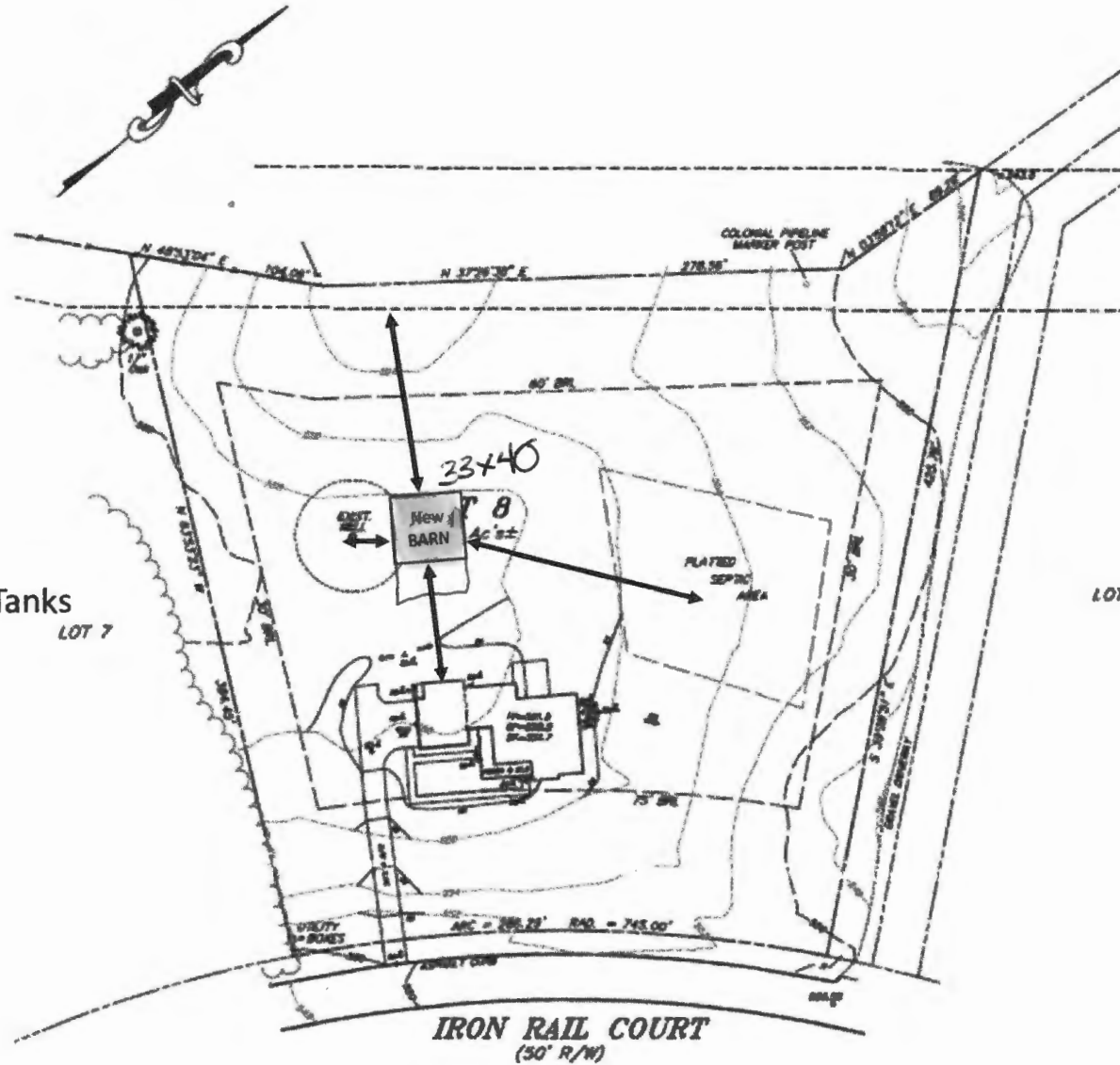
AGENCIES REQUIRED/APPROVALS:

<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input type="checkbox"/> DED	<input checked="" type="checkbox"/> Health 	<input type="checkbox"/> SHA	<input type="checkbox"/> CID
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SUBMITTAL FEES:      PAYMENT:      ACCEPTED BY: 

**New Barn Location**

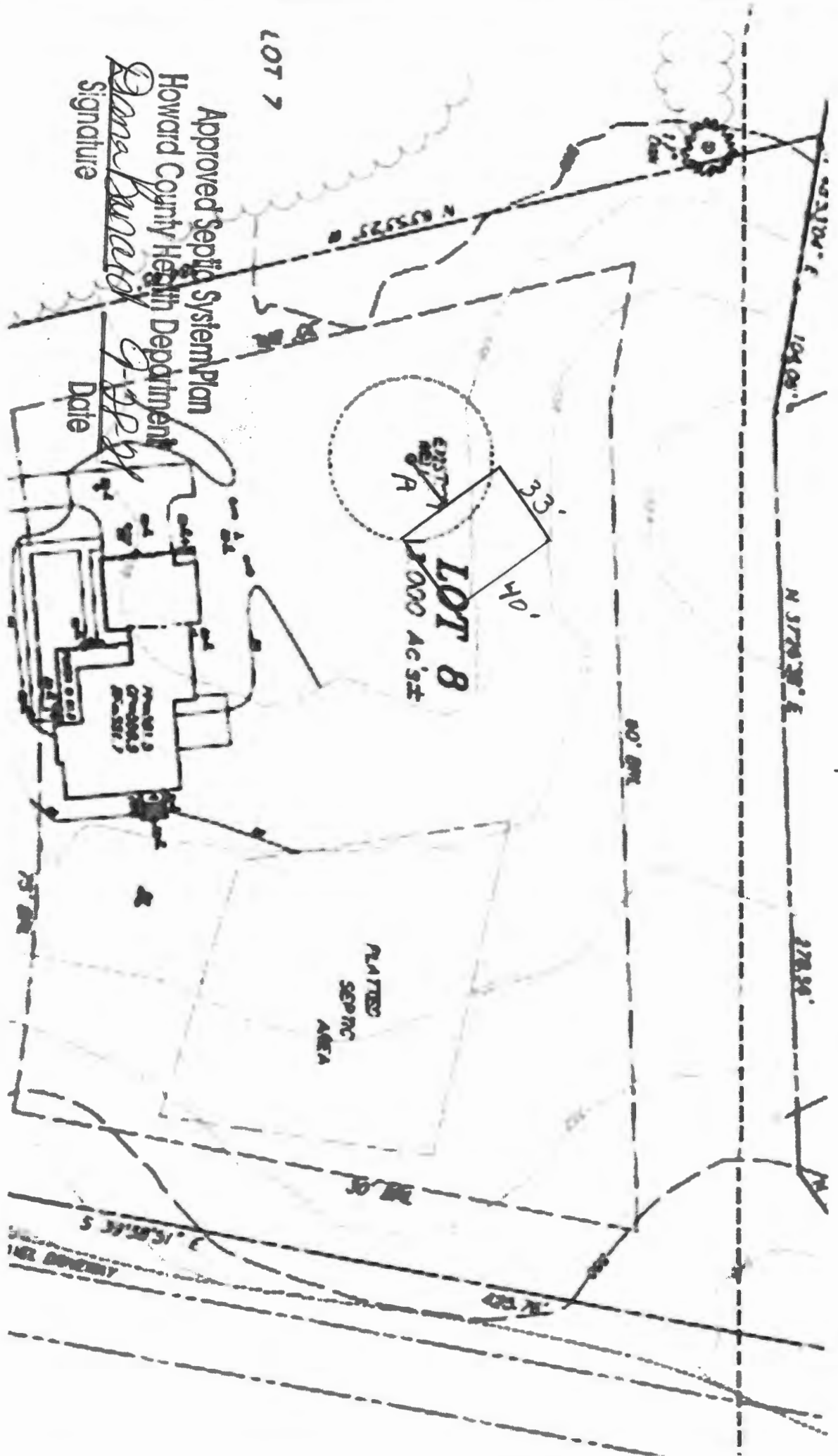
- 3' from Well
- 10' from Buried Propane Tank
- 45' from House
- 100' from Back property line
- 150' from Septic Tanks and Drain Field



A = 20' Setback from well  
B = 33' x 40' Barn

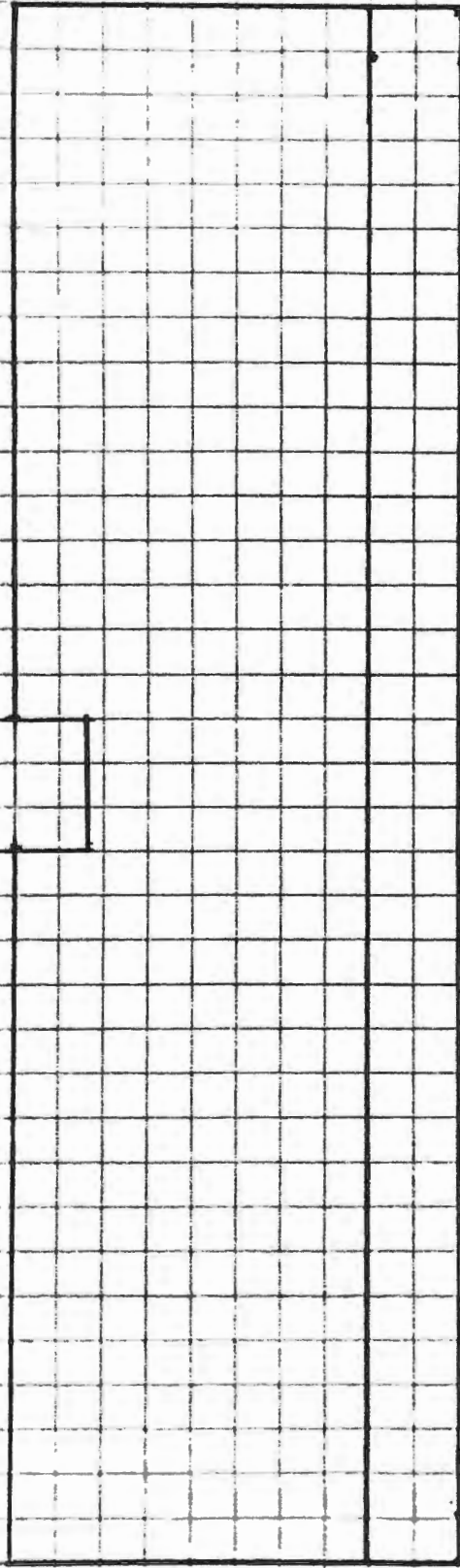
B 2100 3059  
1-50

$\frac{1}{16}'' = 3'$



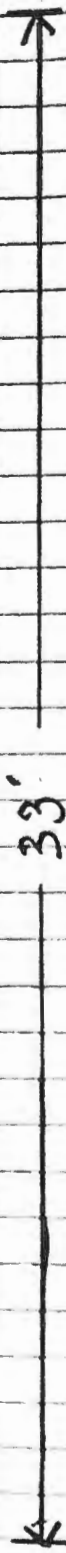
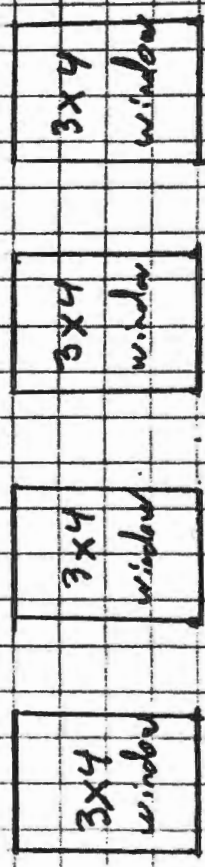
Approved Septic System Plan  
Howard County Health Department  
Signature: *Dana Burdett*  
Date: *9-11-14*

SOUTH  
West  
Wall

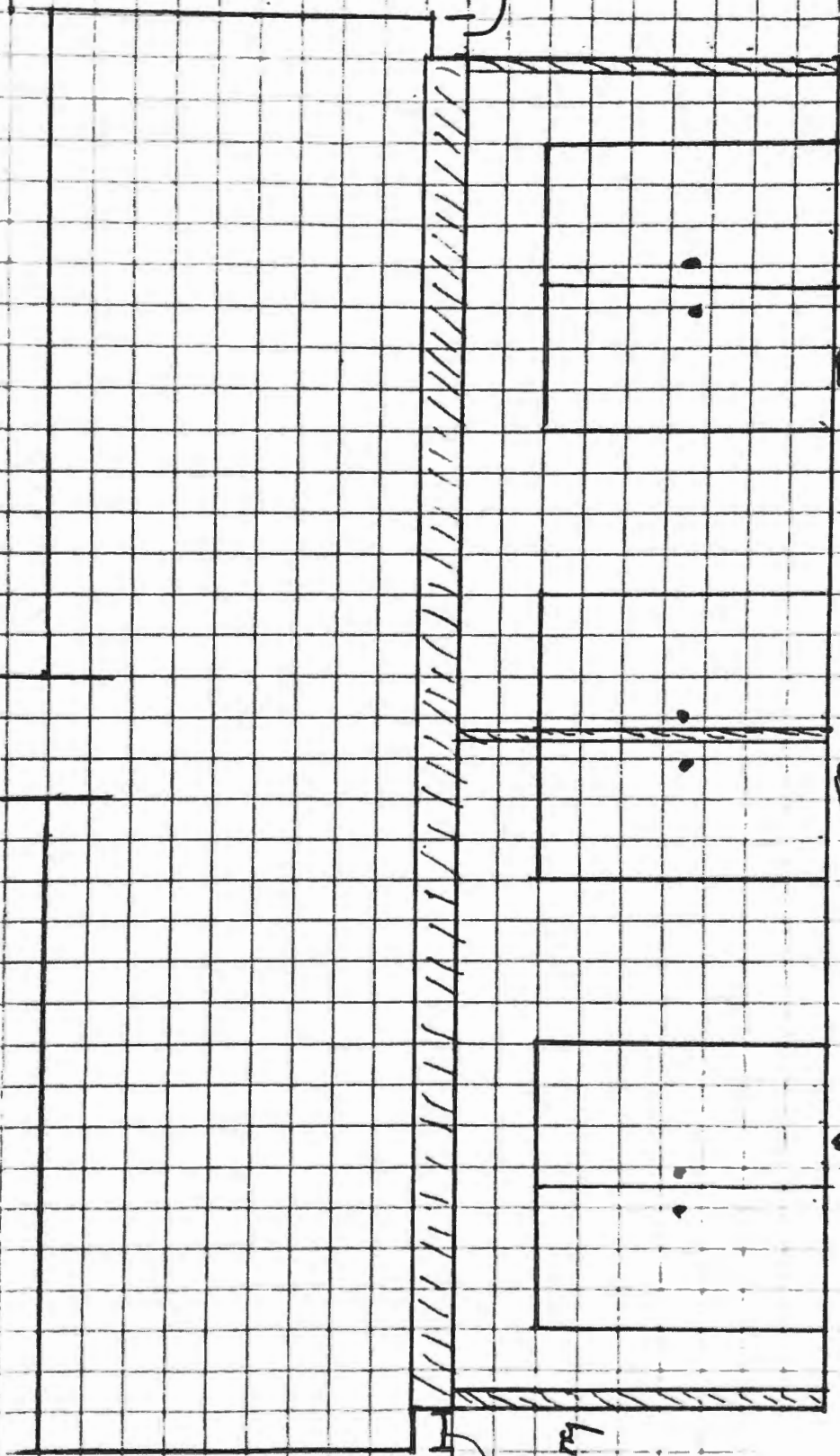


1'-0"  
Overhang

1'-0"  
Overhang



North East Wall



1'-0"  
Overhang

12"

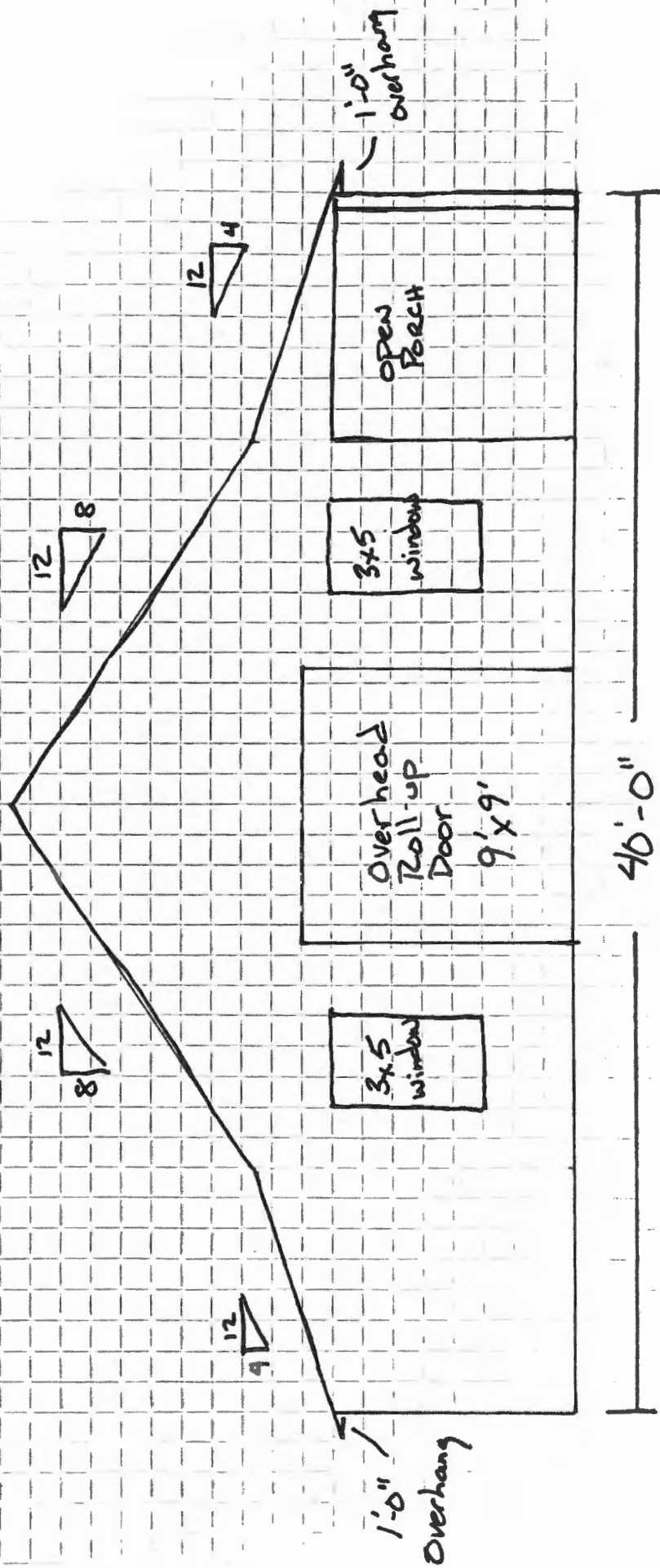
7' X 7' french doors

Centered

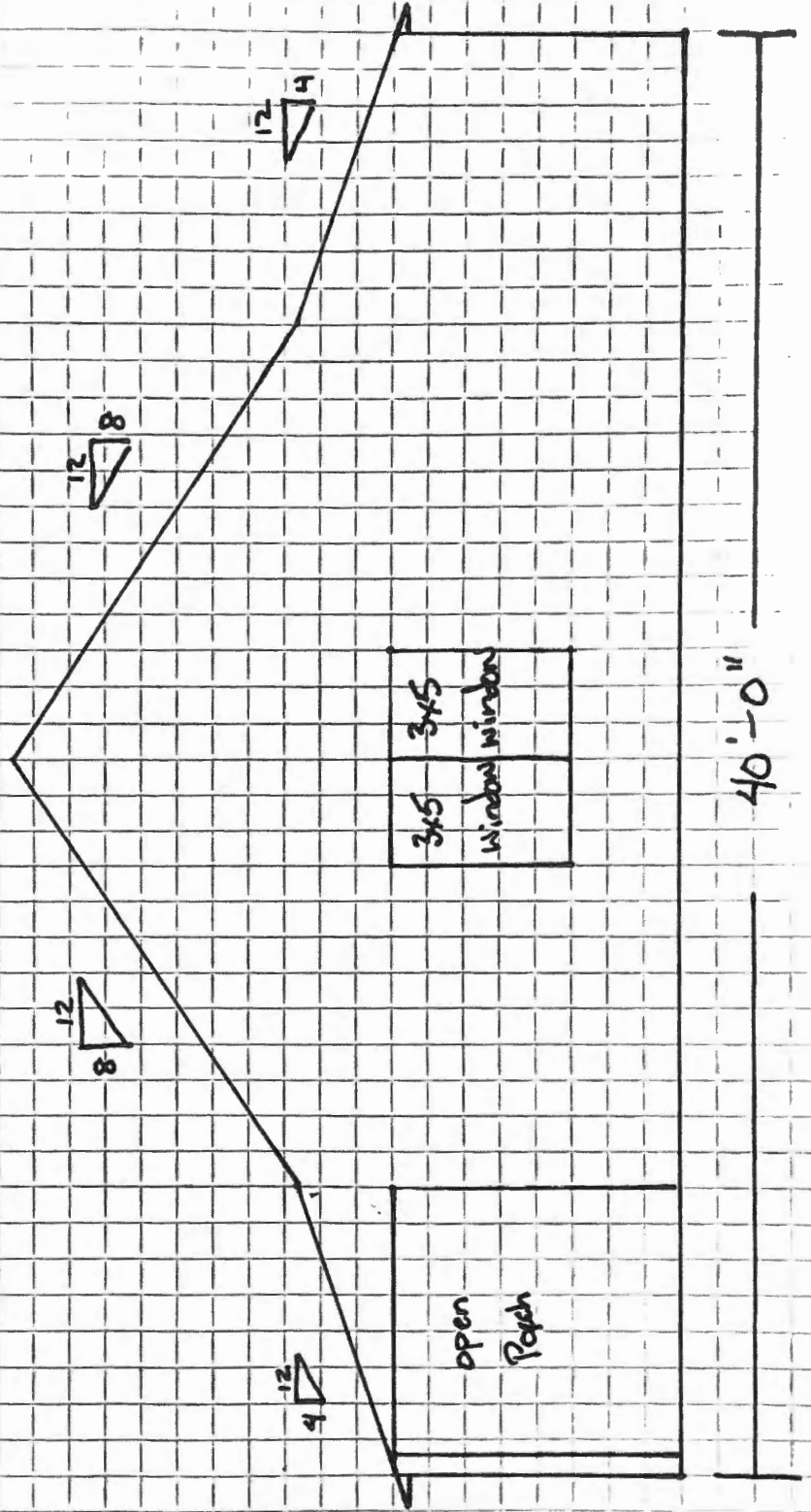
33'-0"

1'-0"  
Overhang

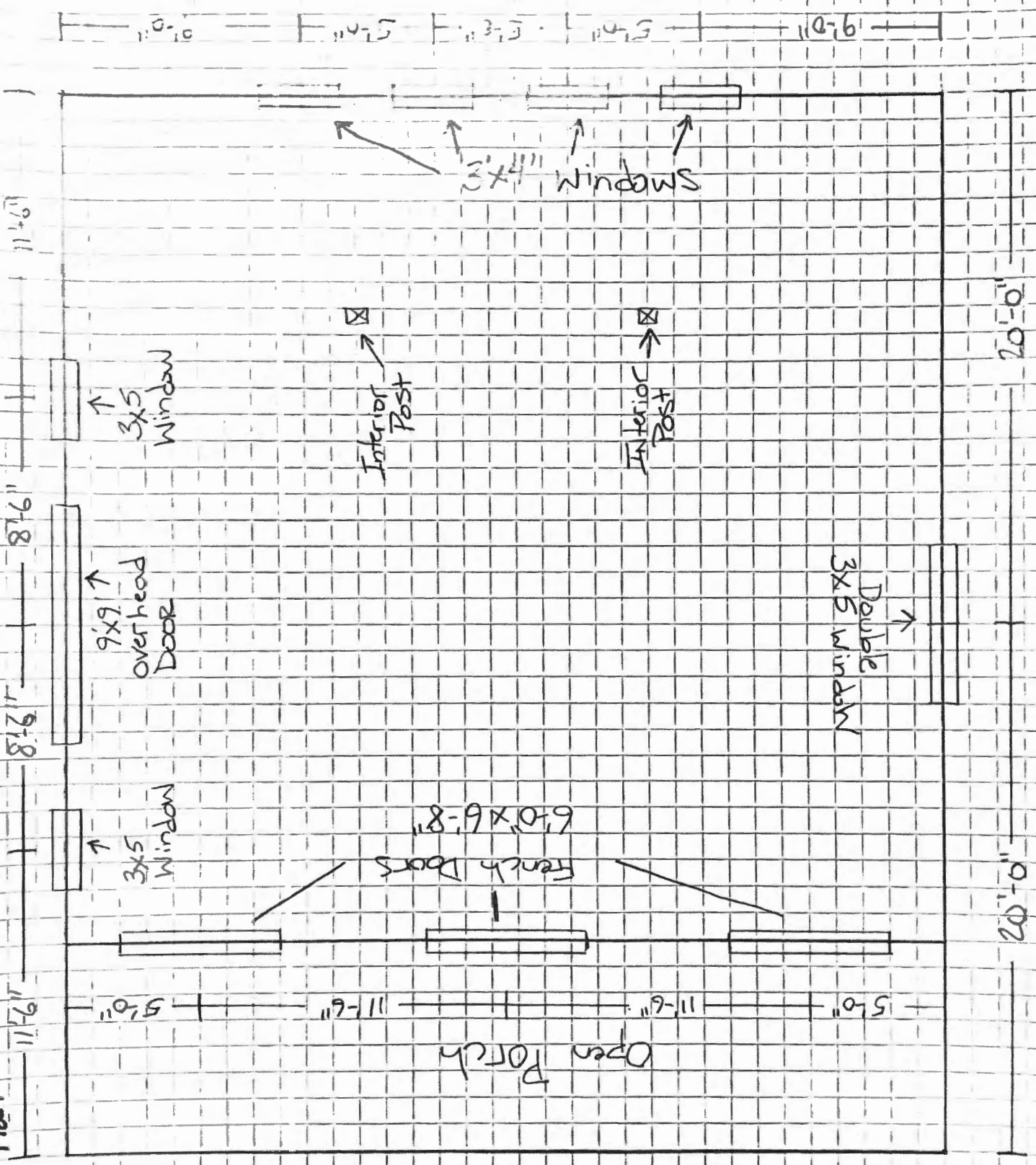
FRONT



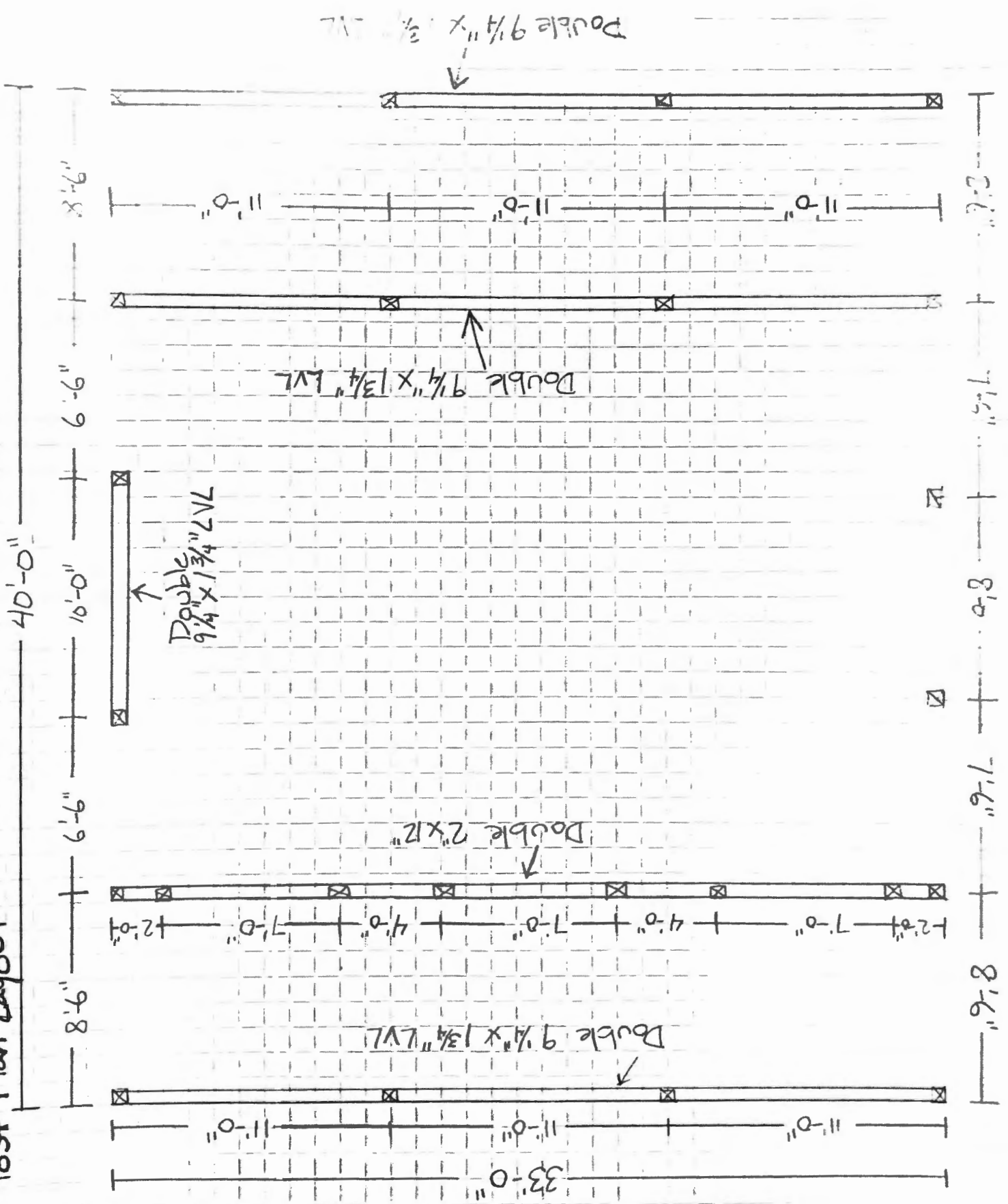
Back



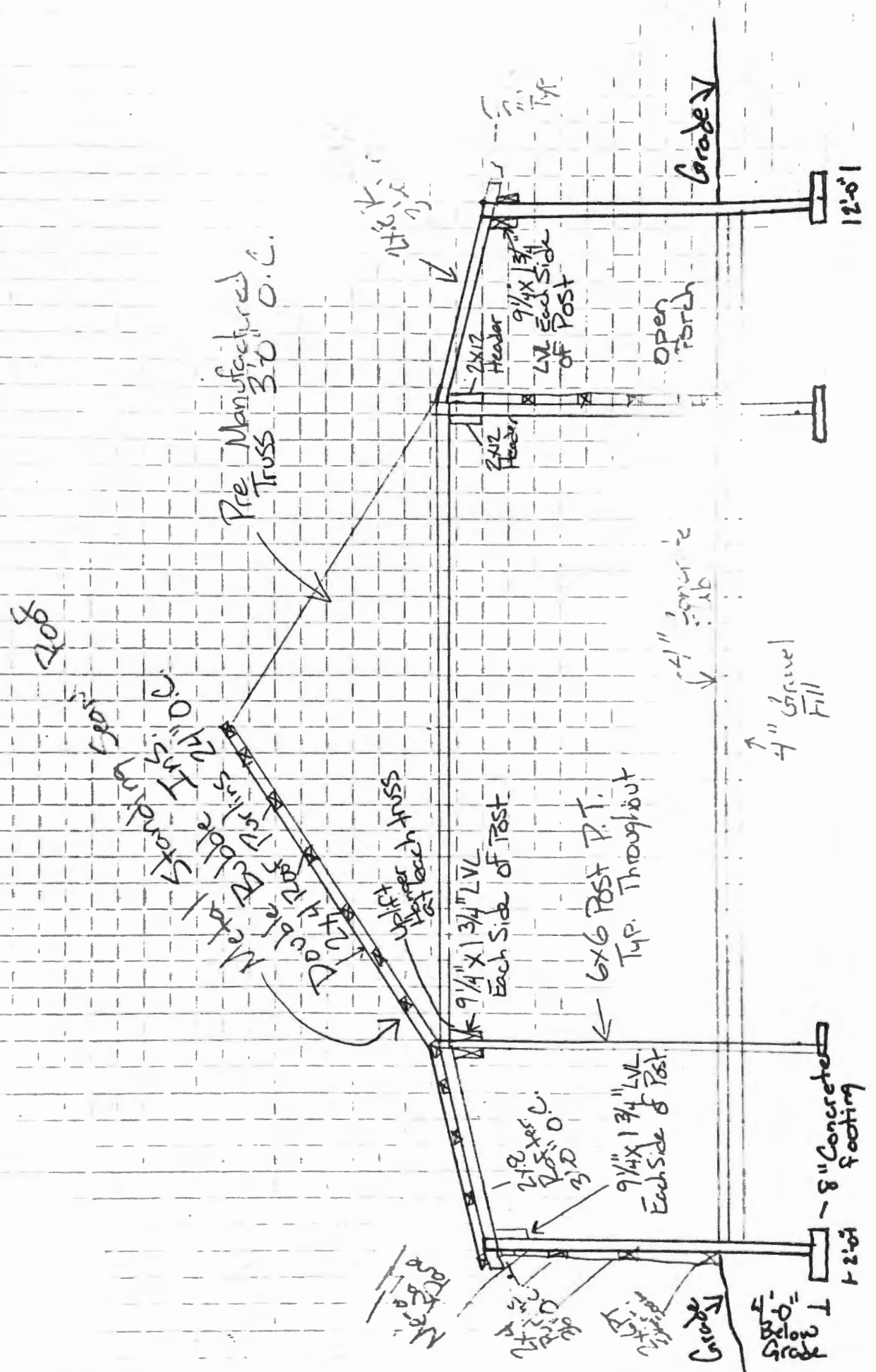
Floor Plan



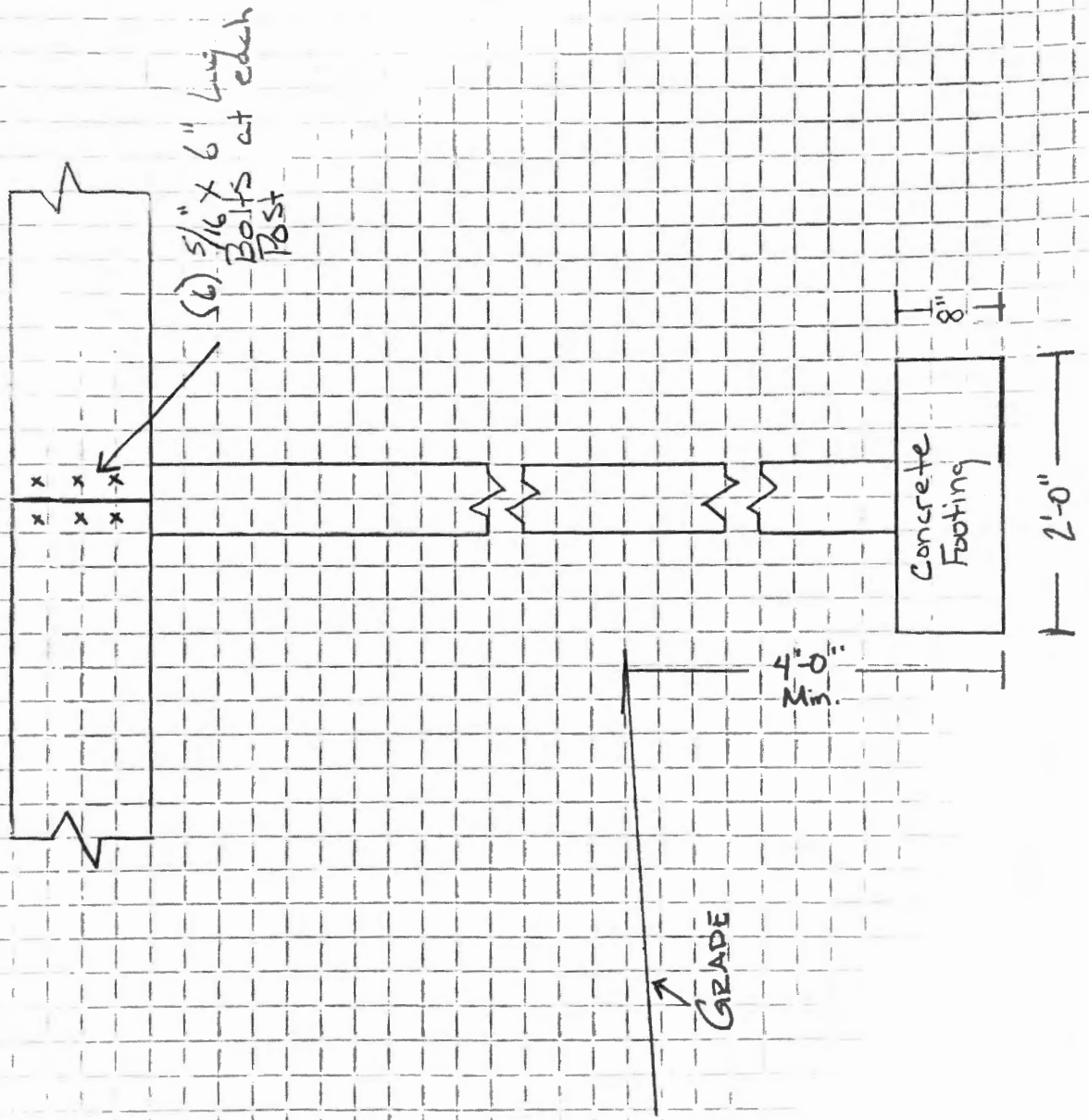
# Post Plan Layout



# Cross Section



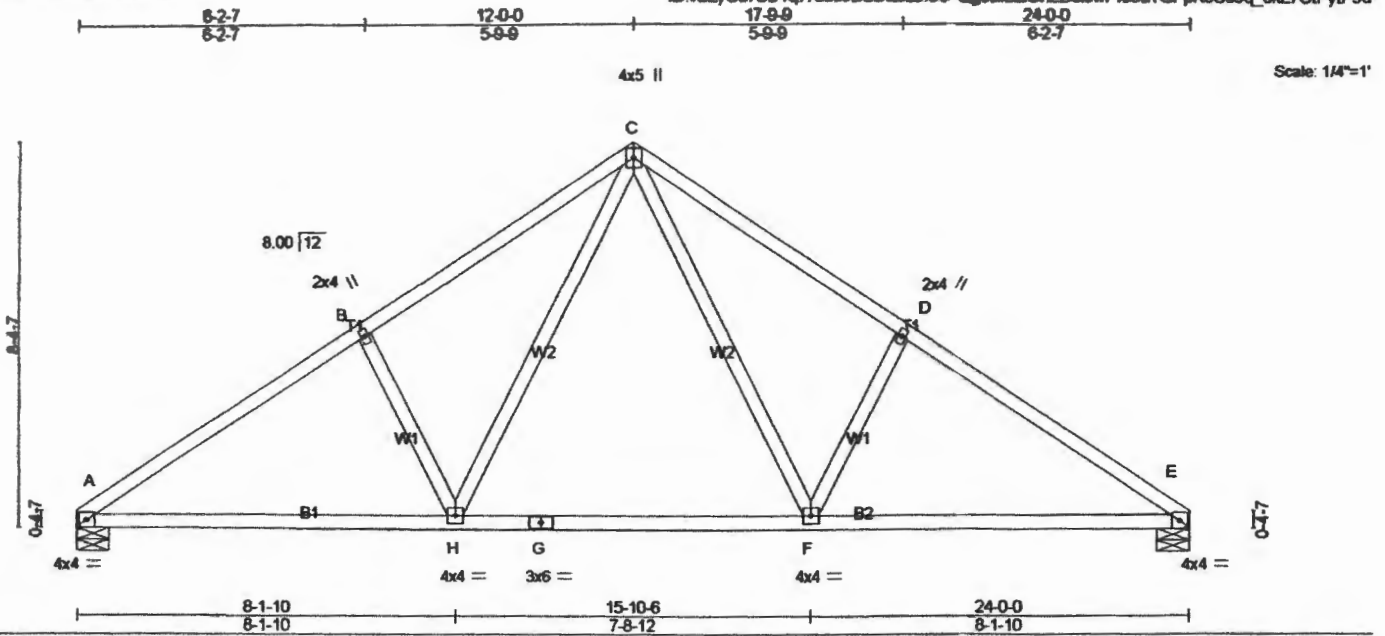
# Post to Beam Connection Detail



Job MV072921	Truss AB24	Truss Type FINK	Qty 1	Ply 1	Job Reference (optional)
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RIGIDPLY RAFTERS, INC, RICHLAND, PA 17087

8500 s Jun 8 2021 MiTek Industries, Inc Thu Jul 29 10:30:29 2021 Page 1  
ID:vaLyC07uU1q7Ndd9B52C6z9f0-Cq6mIDZGnZBGLwF108r7GFpKcCs9q\_cldL7CTPyf9u



Scale: 1/4"=1'

<b>LOADING (psf)</b>	<b>SPACING-</b>	<b>CSI.</b>	<b>DEFL.</b>	<b>PLATES</b>	<b>GRIP</b>
TCLL (roof) 30.0	3-0-0	TC 0.71	in (loc) l/defl L/d	MT20	197/144
Snow (Ps/Pg) 25.2/30.0	Plate Grip DOL 1.15	BC 0.70	Vert(LL) -0.12 A-H >999 360		
TCDL 5.0	Lumber DOL 1.15	WB 0.22	Vert(CT) -0.20 A-H >999 360		
BCLL 0.0	Rep Stress Incr NO	Matrix-RH	Horz(CT) 0.05 E n/a n/a		
BCDL 5.0	Code IBC2015/TP12014			Weight: 90 lb	FT = 5%

<b>LUMBER-</b>	<b>BRACING-</b>
TOP CHORD 2x4 SPF 1650F 1.5E	TOP CHORD 2-0-0 oc purlins (4-4-3 max.).
BOT CHORD 2x4 SPF No.2 "Except"	BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
B2: 2x4 SPF 1650F 1.5E	
WEBS 2x4 SPF No.2	

**REACTIONS.** (lb/size) A=1232/0-8-4 (min. 0-2-3), E=1232/0-8-4 (min. 0-2-3)  
 Max Horz A=187(LC 6)  
 Max Uplift A=108(LC 9), E=108(LC 10)  
 Max Grav A=1400(LC 2), E=1400(LC 2)

**FORCES.** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
 TOP CHORD A-B=-2066/170, B-C=-1797/228, C-D=-1797/228, D-E=-2066/170  
 BOT CHORD A-H=-160/1565, G-H=-12/1013, F-G=-12/1013, E-F=-72/1564  
 WEBS B-H=-576/207, C-H=-134/733, C-F=-134/733, D-F=-574/207

- NOTES-**
- 1) Unbalanced roof live loads have been considered for this design.
  - 2) Wind: ASCE 7-10; Vult=115mph Vasd=91mph; TCDL=3.0psf; BCDL=3.0psf; h=20ft; Cat. II; Exp B; Enclosed; MWFRS (envelope); Lumber DOL=1.33 plate grip DOL=1.33
  - 3) TCLL: ASCE 7-10; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pg=30.0 psf (ground snow); Ps=25.2 psf (roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially Exp.; Ct=1.20
  - 4) Roof design snow load has been reduced to account for slope.
  - 5) Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
  - 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 108 lb uplift at joint A and 108 lb uplift at joint E.
  - 7) This truss is designed in accordance with the 2015 International Building Code section 2306.1 and referenced standard ANSI/TP1 1.
  - 8) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

**LOAD CASE(S)** Standard

## **Bernard, Dana**

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**From:** Bernard, Dana  
**Sent:** Friday, August 20, 2021 10:55 AM  
**To:** s.clarke@verizon.net  
**Cc:** jeffJr@MillerContractingmd.com  
**Subject:** 815 Iron Rail Court

Hello All,

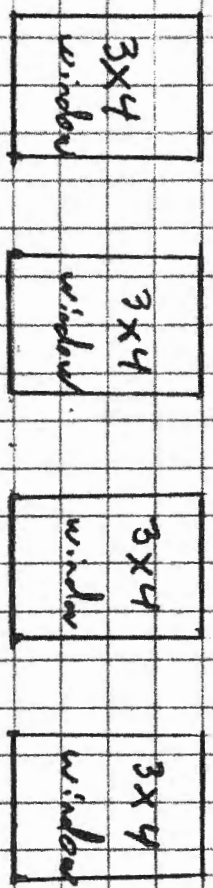
I have reviewed your building permit (B21003059) application and the plan submitted is not very clear. The dimensions of the barn is not very clear because the scale is not clear. The well must be at least 30 feet away from the your proposed addition if it is placed on a concrete foundation. Please resubmit with the corrections and your plan will be reviewed when received. If you have any questions don't hesitate to send me an email. I will be on vacation starting 8/23/2021, however I will be checking my email and responding to any customers I have reached out to before my vacation.

I hope to hear from you soon.

Thank You  
Dana Bernard  
Howard County Health Department  
Well and Septic Program



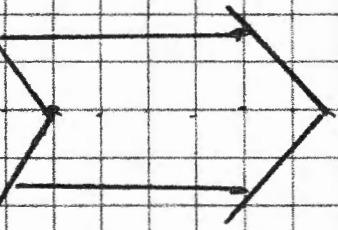
SOUTH WEST WALL



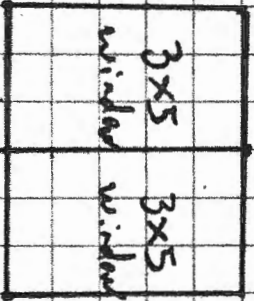
33'



Back

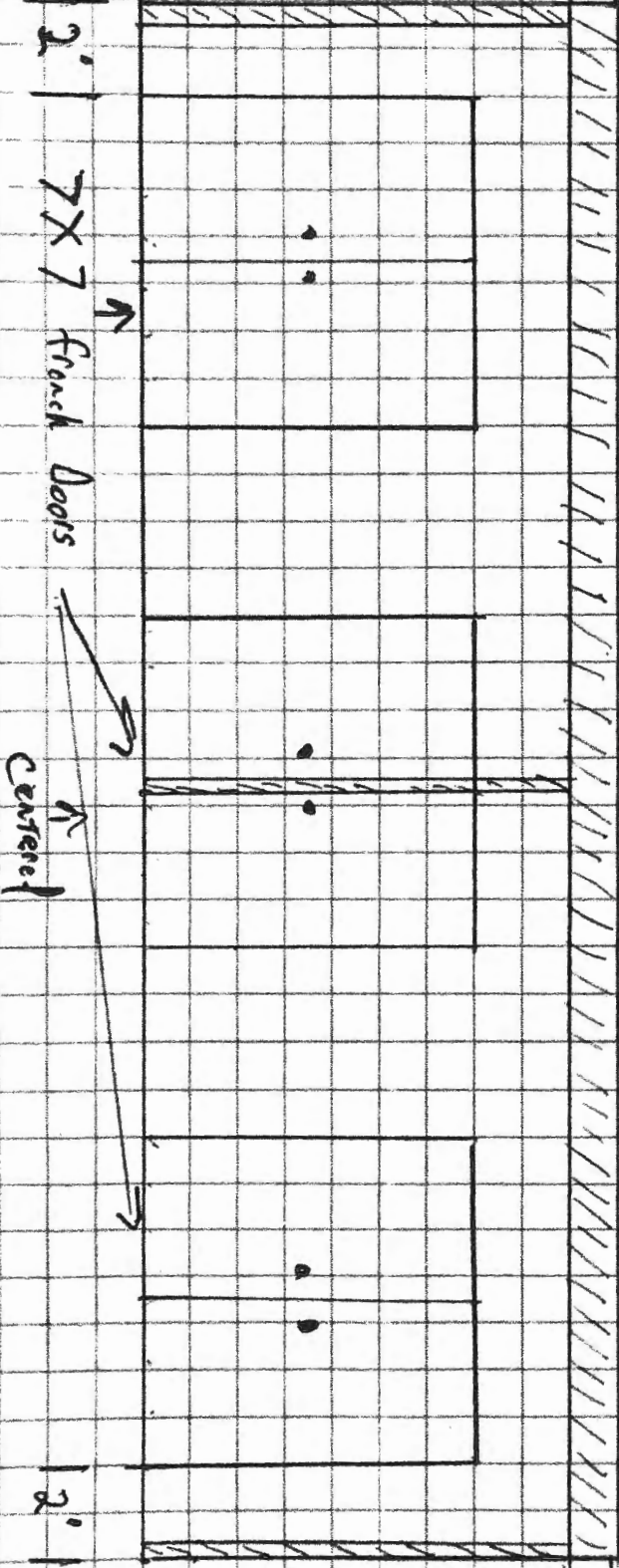
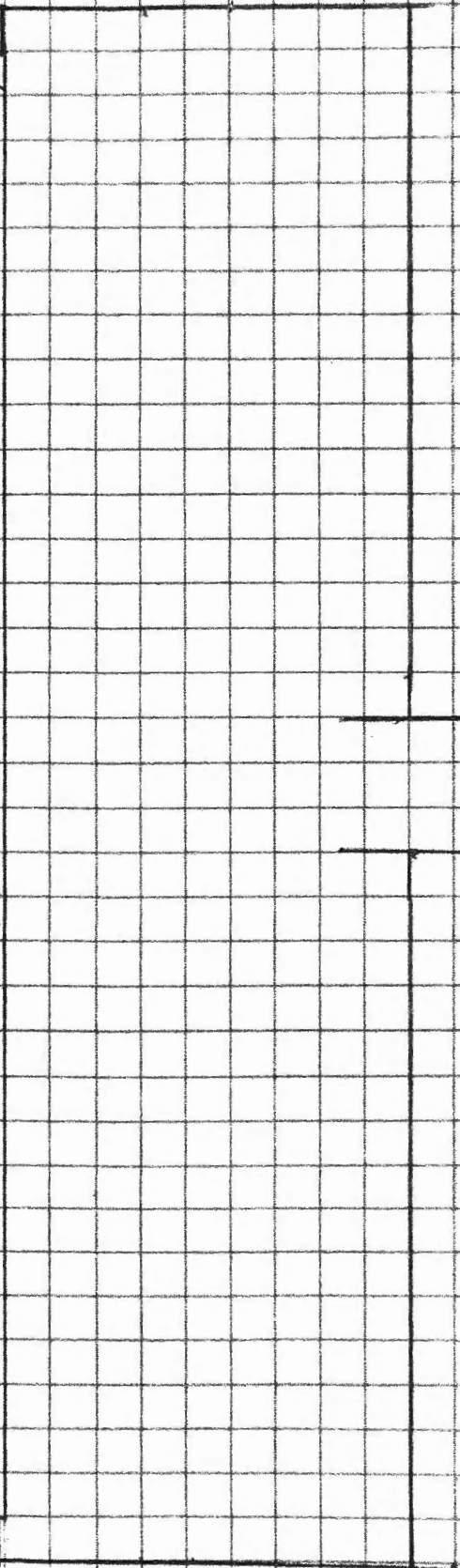


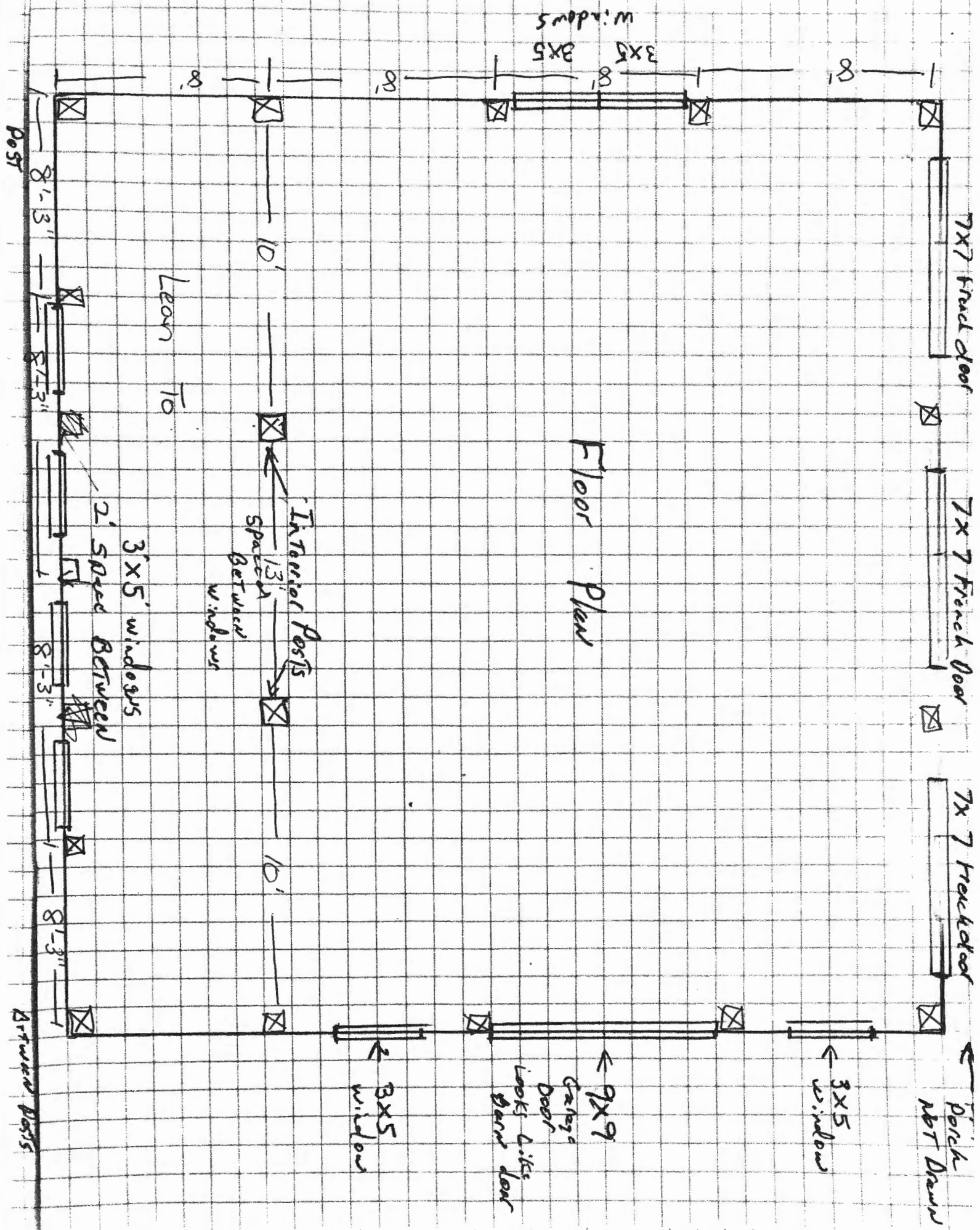
open porch



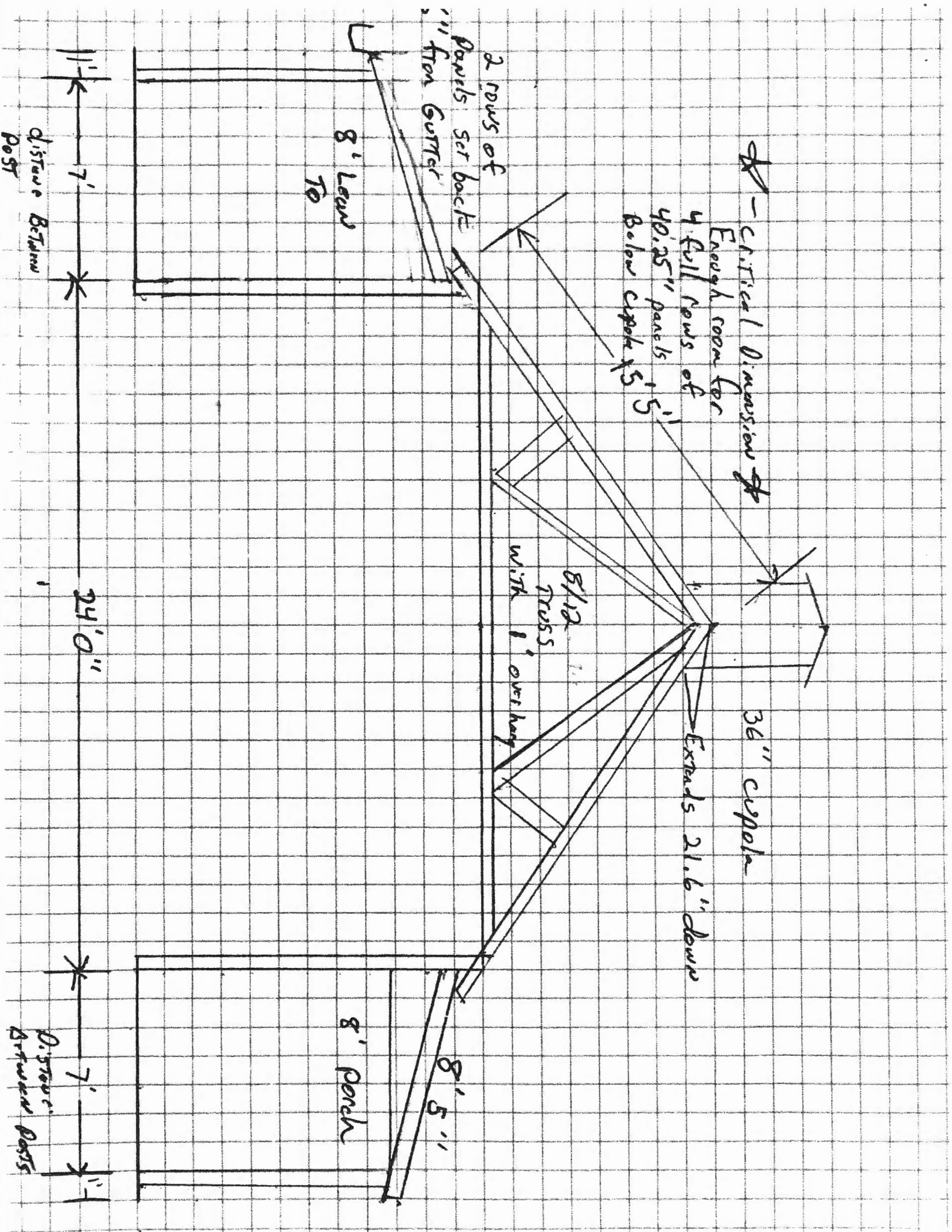
Enclosure  
lean to

North  
East  
Wall





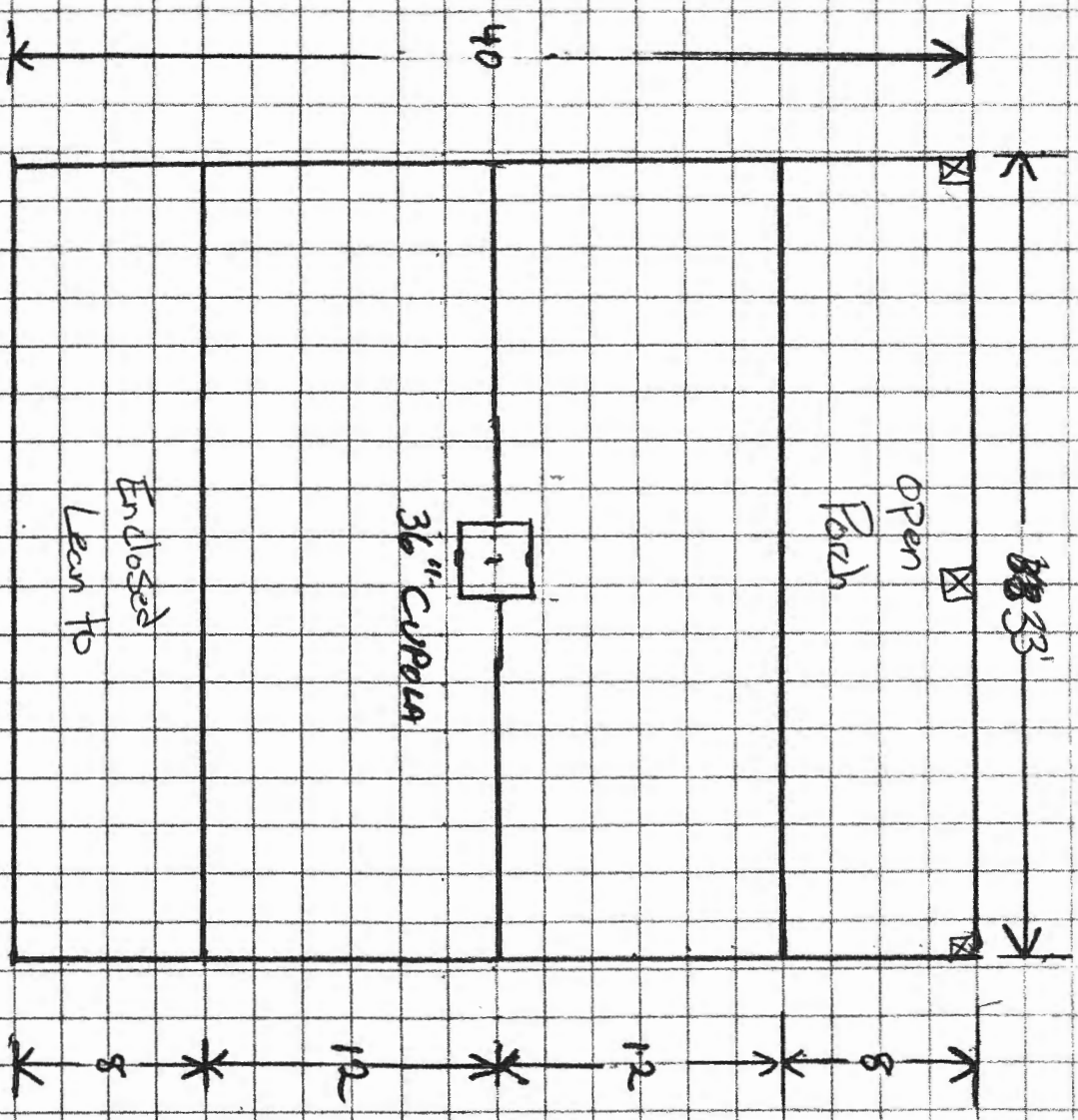
Floor Plan



Top View

North East with Porch

Back with 2 windows



12" Overhang

SOUTH WEST

Window or Enclosed

Lean to

12 Panels

24 Panels

Front w/ Garage, 20'

12 Panels

12 Panels

12" Overhang

1'



36" CURBOUT

Enclosed Lean to

Open Porch

33'

40

40

8

8

12

12

12

8

8

1'

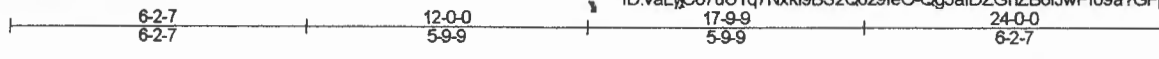
1'

Job MV072921	Truss AB24	Truss Type FINK	Qty 1	Ply 1	Job Reference (optional)
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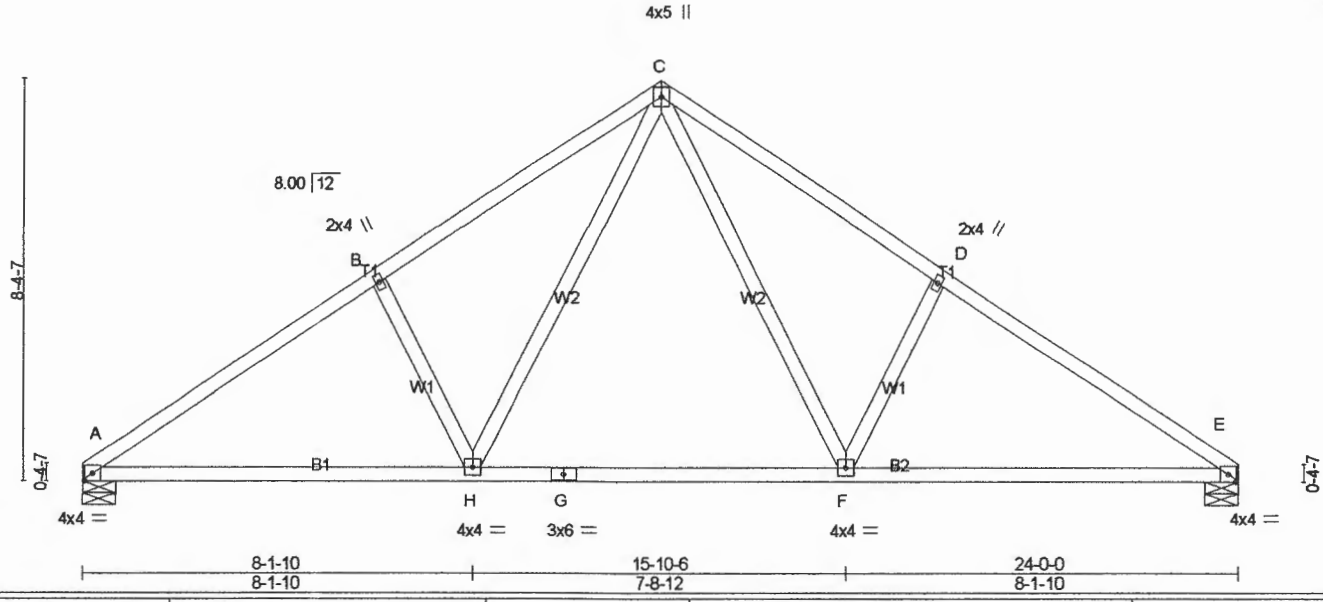
RIGIDPLY RAFTERS, INC, RICHLAND, PA 17087

8,500 s Jun 8 2021 MiTek Industries, Inc. Thu Jul 29 10:30:29 2021 Page 1

ID:valyC07uU1q7NxxI9BS2Q6z9feO-Qg5alDZGnZB6IwPI09a?GFpKcCs9q\_ckL7CtPytF9u



Scale: 1/4"=1'



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BCLL 0.0	Rep Stress Incr NO	Matrix-RH	Horz(CT) 0.05 E n/a n/a		
BCDL 5.0	Code IBC2015/TPI2014			Weight: 90 lb	FT = 5%

**LUMBER-**  
 TOP CHORD 2x4 SPF 1650F 1.5E  
 BOT CHORD 2x4 SPF No.2 \*Except\*  
 B2: 2x4 SPF 1650F 1.5E  
 WEBS 2x4 SPF No.2

**BRACING-**  
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