

Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 5/3/21 **ONSITE SEWAGE DISPOSAL SYSTEM** P 568890

APPROVAL DATE: 6/23/21 (S) **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 3395 Jennings Chapel Road

SUBDIVISION: Casasco Property LOT: 4 TAX ID: _____

CONTRACTOR: South Carroll Backhoe EMAIL: scbackhoe@comcast.net

CONTRACTOR ADDRESS: 4410 Salem Bottom Road, Westminster, MD 21157 PHONE: 410-596-3618

PROPERTY OWNER: Jennifer and Paul Casasco EMAIL: _____

OWNER ADDRESS: 3365 Jennings Chapel Road, Woodbine, MD 21797 PHONE: 301-529-5728

SEPTIC TANK SIZE (GALLONS): _____ TANK MANUFACTURER: _____

PUMP MODEL: _____ PUMP SIZE _____ PUMP TANK CAPACITY: _____

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 4 APPLICATION RATE: 0.6

TRENCHES:	LINEAR FEET REQUIRED: <u>209</u>	INLET DEPTH: <u>3</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>6</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:		

ISSUED BY: Dana Bernard ISSUE DATE: 5/25/21 EXPIRATION DATE: 5/3/22

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E _____
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

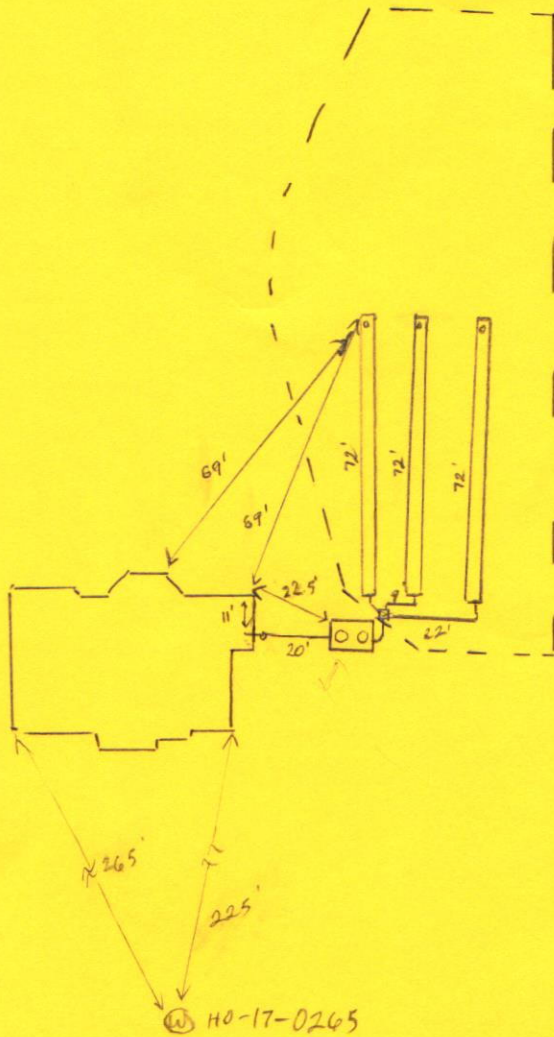
NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

1"=50'

NOT TO SCALE



ROAD NAME Jennings Chapel Rd.

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
<u>3'</u>	<u>3'</u>	<u>8'</u>
NUMBER OF TRENCHES <u>3</u>		
TOTAL LENGTH <u>216'</u>		
ABSORPTION AREA <u>648 sq ft + sidewall</u>		
DISTRIBUTION BOX LEVEL <u>yes</u>		
DISTRIBUTION BOX BAFFLE <u>yes</u>		
DISTRIBUTION BOX PORT <u>yes</u>		

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL _____

MANUFACTURER Babylon

CAPACITY 1500 GAL

SEAM LOC top

TANK LID DEPTH 2'

BAFFLES inlet + outlet

BAFFLE FILTER _____

MANHOLE LOC inlet + outlet

6" PORT LOC _____

WATERTIGHT TEST _____

SLOTTED yes

DATE ON LID 4-30-21

PUMP/SEPTIC TANK LEVEL _____

MANUFACTURER _____

CAPACITY _____ GAL

SEAM LOC _____

TANK LID DEPTH _____

BAFFLES _____

BAFFLE FILTER _____

MANHOLE LOC _____

6" PORT LOC _____

WATERTIGHT TEST _____

SLOTTED _____

DATE ON LID _____

PRE-CONSTRUCTION:

6/16/21 Laid out 3x70' trenches on contour. (S)

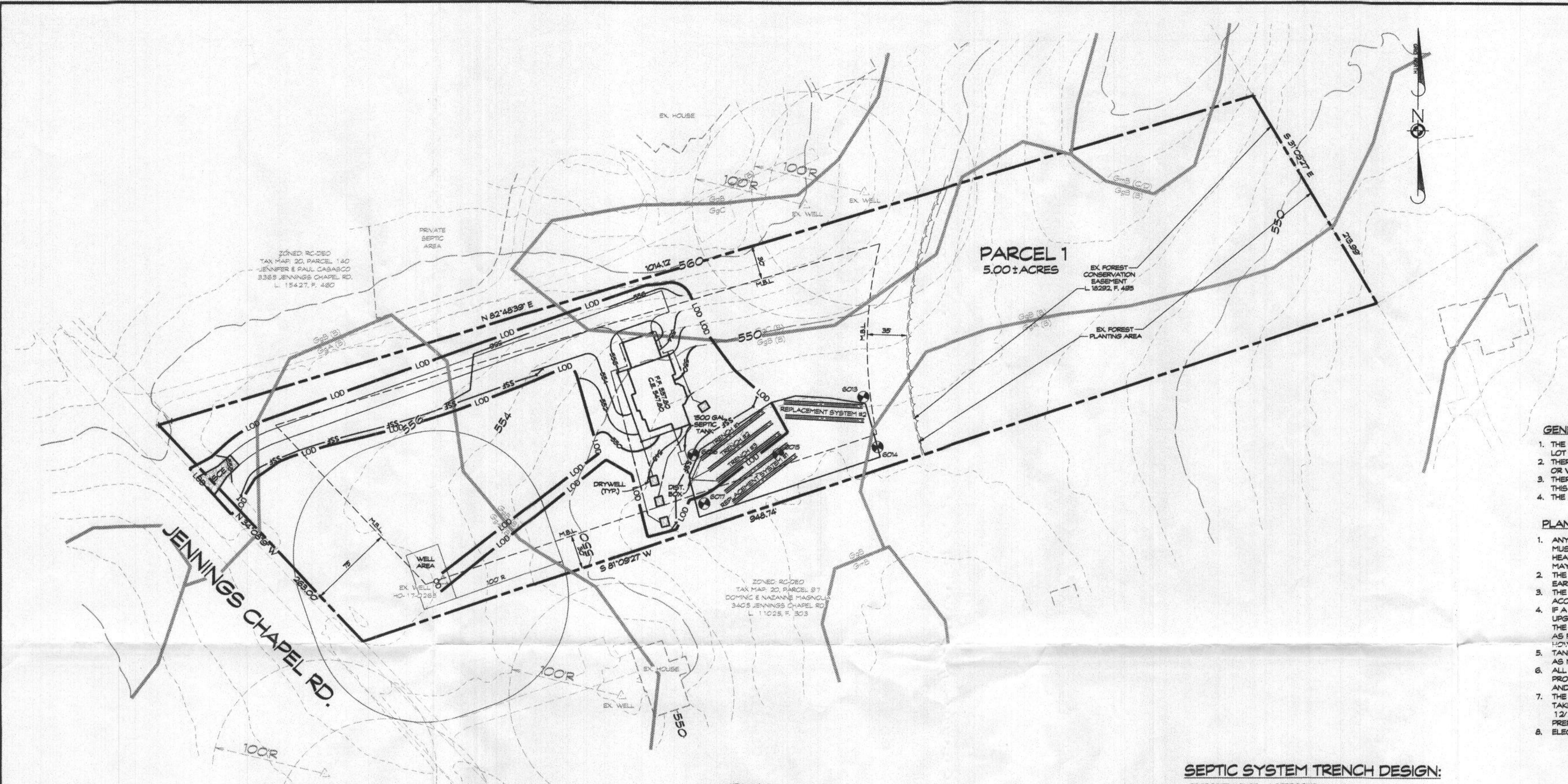
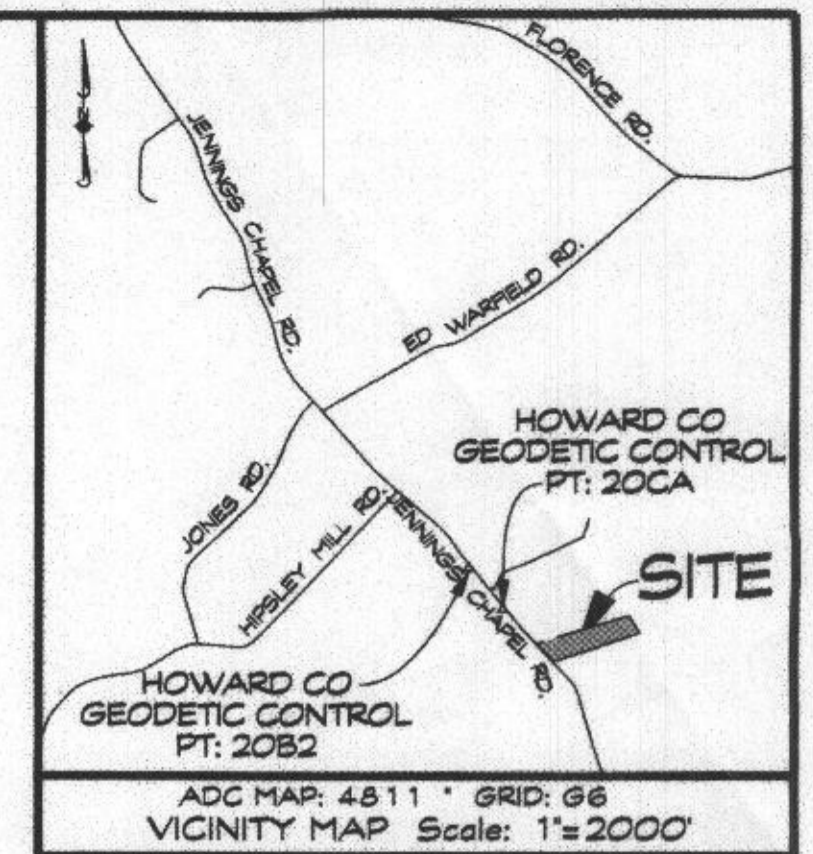
INSTALLATION: 6/16/21 SHC constructed and tank set. (S) 6/21/21 D box set, first trench constructed. Middle trench under construction. (S) 6/23/21 Last two trenches completed. D box leveled. (S)

FINAL INSPECTOR

Susan Thomas

DATE OF APPROVAL

6/23/21



GENERAL NOTES

1. THE STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY 4 DRYWELLS.
2. THERE ARE NO STREAMS, PONDS, FLOODPLAINS OR WETLANDS ON THIS SITE.
3. THERE ARE NO SLOPES GREATER THAN 20% ON THIS LOT.
4. THE EXISTING WELL HAS BEEN FIELD LOCATED.

PLAN NOTES

1. ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
2. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
3. THE WELL (TAG # HD-17-0265) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
4. IF A BUILDING PERMIT IS SUBMITTED ANY TIME IN THE FUTURE, A SEPTIC SYSTEM UPGRADE WILL BE REQUIRED TO FINISH THE AREA CURRENTLY IDENTIFIED AS THE BASEMENT. AT THAT TIME A SEPTIC SYSTEM UPGRADE WILL BE REQUIRED AS FINISHING THE BASEMENT COULD POSSIBLY CREATE A FIFTH BEDROOM PER HOWARD COUNTY CODE § 30-105.
5. TANK MEASUREMENTS AND ELEVATIONS ARE BASED ON SEPTIC TANKS AS MANUFACTURED BY MAYER BROS., ELKRDGE, MD 410-796-1434
6. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100 FEET OF THE PROPERTY BOUNDARIES AND 200 FEET DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
7. THE PERC TEST LOCATIONS, WELL AREA AND SEPTIC EASEMENT AREA WERE TAKEN FROM THE APPROVED PERCOLATION TEST CERTIFICATION DATED 12/20/2017, TITLED "PERCOLATION CERTIFICATION PLAN SQUARE WOODS" PREPARED BY FISHER, COLLINS & CARTER, INC.
8. ELECTRICAL WORK FOR INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.

PLAN
SCALE: 1"=50'

SEPTIC SYSTEM TRENCH DESIGN:

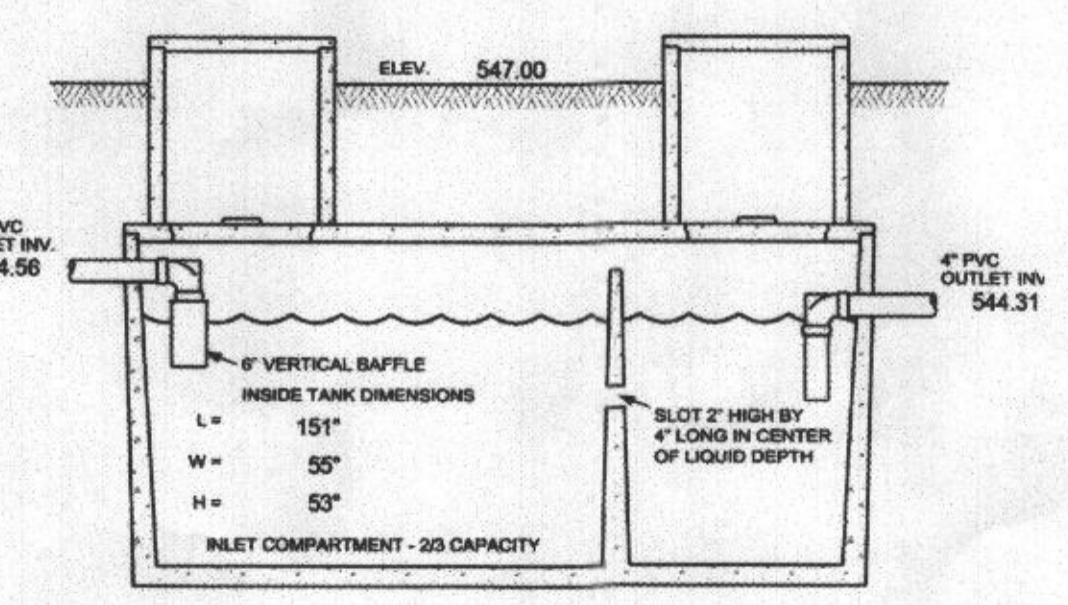
PROPOSED HOUSE = 4 BEDROOMS

INITIAL SYSTEM:
 APPLICATION RATE = 0.6 GPD/SQ. FT.
 EFFECTIVE DEPTH IS 2'
 TRENCH WIDTH = 2'
 150 GAL x 4 BEDROOMS = 600 GAL/DAY
 600 GAL/DAY / 0.6 GAL/DAY/SQ. FT. = 1000 SQ. FT.
 1000 SQ. FT. / 3' = 333 L.F.
 333 L.F. x .625' = 208.12' - 209' L.F. OF DEEP TRENCH
 USE 3 - 70 L.F. OF TRENCH FOR EACH SYSTEM

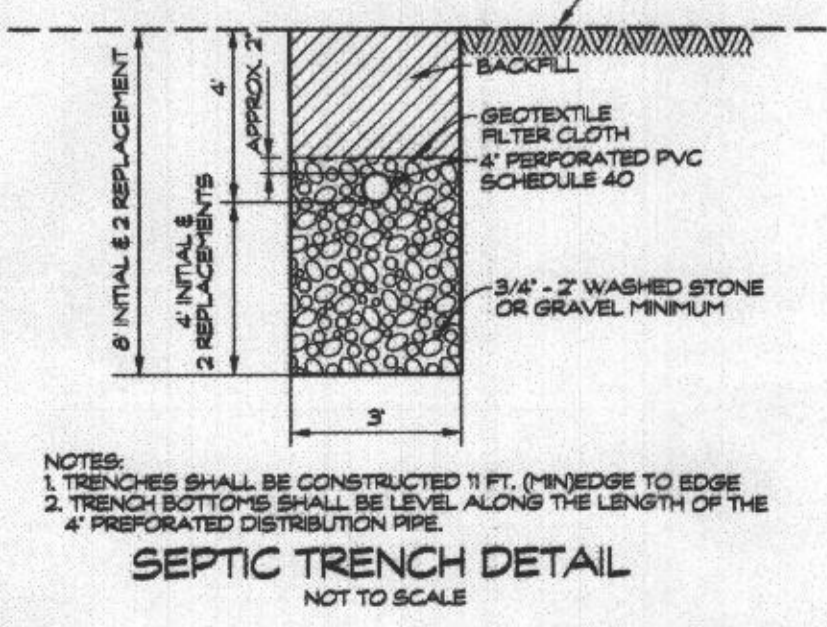
REPLACEMENT SYSTEM #1 & #2:
 APPLICATION RATE = 0.8 GPD/SQ. FT.
 EFFECTIVE DEPTH IS 3'
 TRENCH WIDTH = 3'
 150 GAL x 4 BEDROOMS = 600 GAL/DAY
 600 GAL/DAY / 0.8 GAL/DAY/SQ. FT. = 750 SQ. FT.
 750 SQ. FT. / 3' = 250 L.F.
 250 L.F. x .56' = 140 L.F. OF DEEP TRENCH
 USE 2 - 70 L.F. OF TRENCH FOR EACH SYSTEM

TRENCH CHART

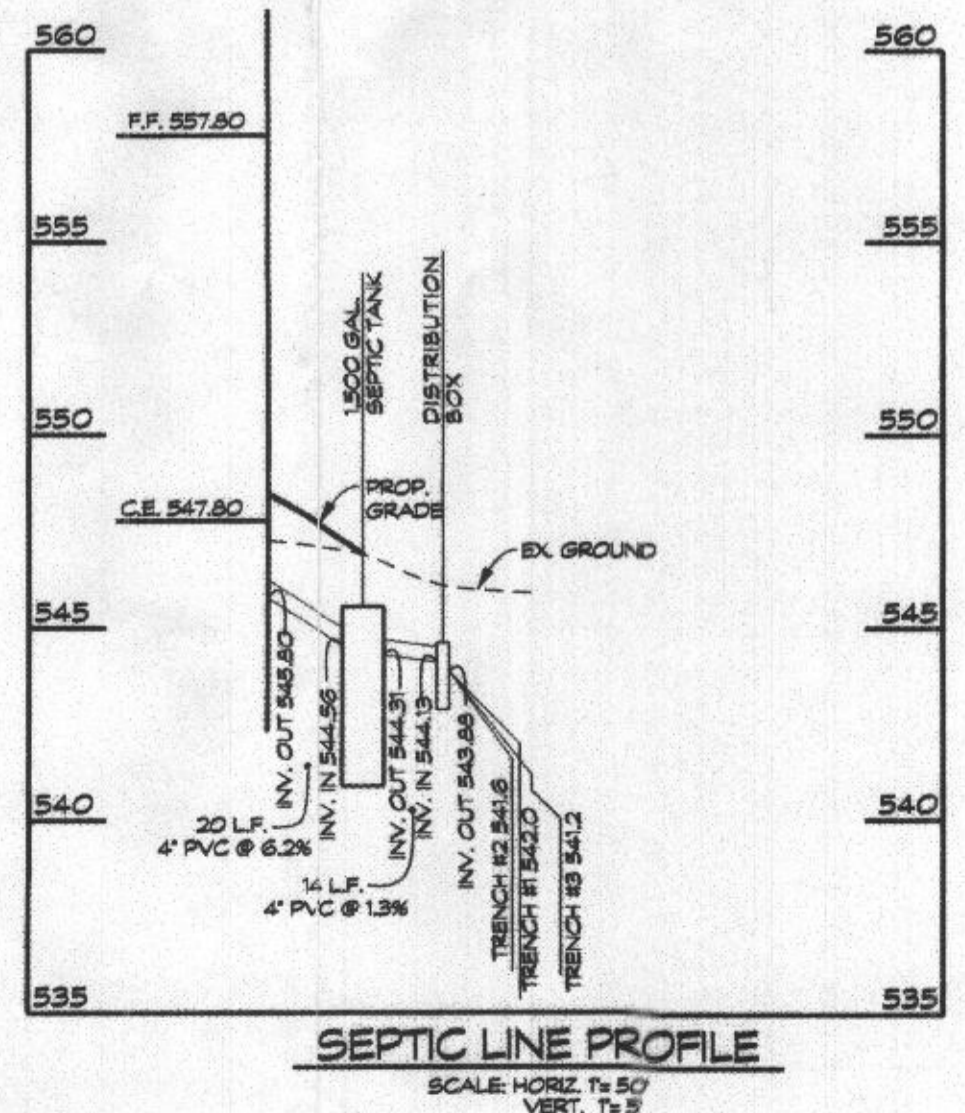
TRENCH	EXISTING GROUND	INVERT ELEV.	BOTTOM TRENCH
1	546.0	542.0	538.0
2	545.6	541.6	537.6
3	545.2	541.2	537.2



NOTE:
THE SEPTIC TANK RISERS TO TERMINATE AT LEAST 6" ABOVE FINAL GRADE.



NOTES:
 1. TRENCHES SHALL BE CONSTRUCTED 1 FT. (MIN) WIDE TO EDGE
 2. TRENCH BOTTOMS SHALL BE LEVEL ALONG THE LENGTH OF THE 4" PERFORATED DISTRIBUTION PIPE.



- LEGEND**
- ▲ EXISTING WELL LOCATION
 - △ SOIL LINES
 - DENOTES FLOW DIRECTION
 - SF — DENOTES SILT FENCE
 - SF — DENOTES SUPER SILT FENCE
 - DENOTES LIMIT OF DISTURBANCE
 - ▭ STABILIZED CONSTRUCTION ENTRANCE
 - EXISTING TREELINE
 - PROPOSED TREELINE
 - ⊙ APPROVED PERCOLATION TESTS

Approved Septic System Plan
 Howard County Health Department
 Dana Buraw 5-25-21
 Signature Date

OWNER/DEVELOPER
 JACK SCHINER
 ALEX ROGERS
 661 WEST WATERVILLE ROAD
 MOUNT AIRY, MD. 21771
 443-927-6965

**ONSITE SEWAGE DISPOSAL
SYSTEM DESIGN PLAN**
CASASCO PROPERTY
 3395 JENNINGS CHAPEL ROAD
 4th ELECTION DISTRICT • HOWARD COUNTY, MD
 TAX MAP: 20 • BLOCK: 4 • PARCEL: 94

[Signature]
 11-19-2020
 Luis D. Alexander
 Civil Engineer



439 East Main Street Westminster, MD 21157-5539
 (410) 848-1790 FAX (410) 848-1791

Date	Revisions	Drawn By: LDA
		Designed By: LDA
		Reviewed By:
		Date: NOV. 2020
		Scale: AS SHOWN
		Job No: 2019103
		Sheet: 1 OF 1

ZONED: RC-OEO
TAX MAP: 20, PARCEL 140
JOHN & MARJORIE BOSLEY
3415 JENNINGS CHAPEL RD.
L. 13276, F. 372

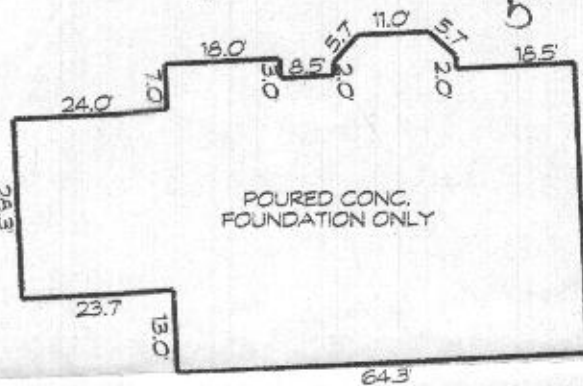
ZONED: RC-OEO
TAX MAP: 20, PARCEL 140
JENNIFER & PAUL CASASCO
3365 JENNINGS CHAPEL RD.
L. 15427, F. 460

I hereby certify that I have surveyed the property shown hereon for the sole purpose of locating the improvements. This plan is a benefit to the customer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. It is not to be relied upon for the establishment of boundary, easement or right-of-way lines for any reason, such as the location of fences, garages, buildings, or other existing or future improvements. Offsets of buildings to property lines are to the nearest foot (1) unless otherwise noted, and has an accuracy of ± 1 foot.

By: Javier Morales Roldan
Date: 3/12/21
Javier Morales Roldan Professional Land Surveyor No. 21885
My license expires August 09, 2021

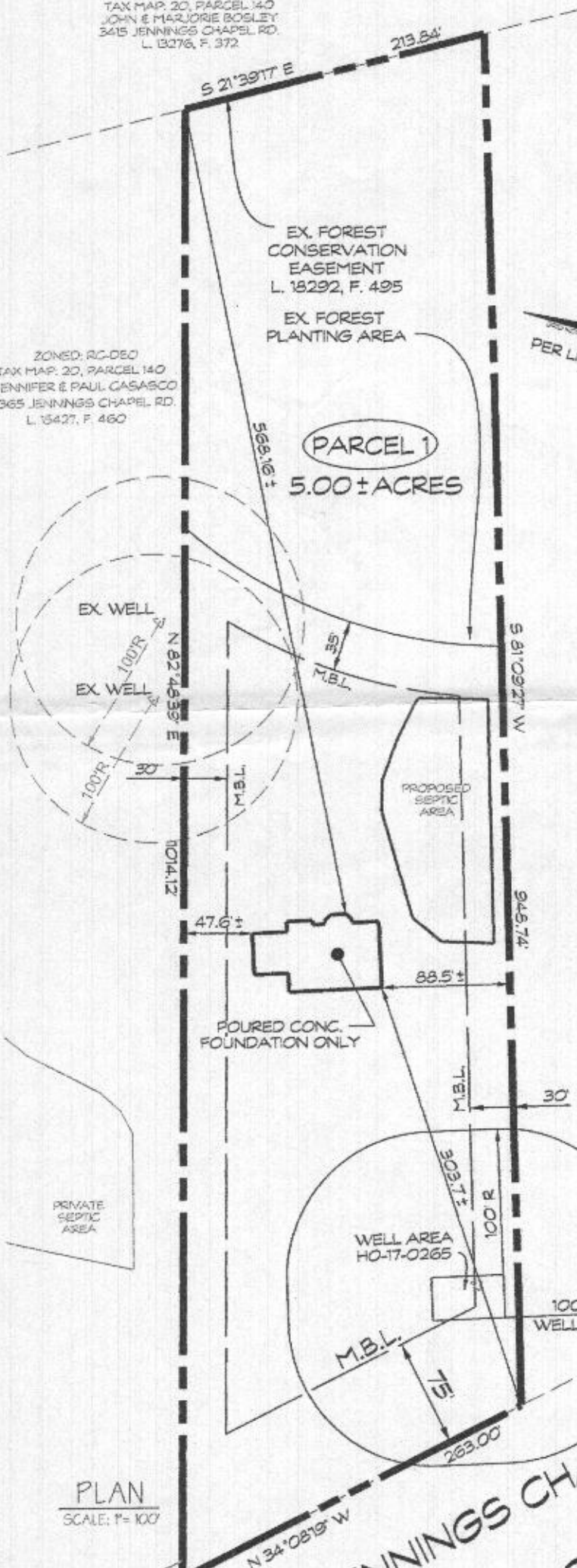


Wall check OK 5-25-21



DETAIL
SCALE: 1" = 30'

ZONED: RC-OEO
TAX MAP: 20, PARCEL 97
DOMING & NAZANNE MAGNOLIA
3405 JENNINGS CHAPEL RD.
L. 11025, F. 503



PLAN
SCALE: 1" = 100'



FOUNDATION CERTIFICATION CASASCO PROPERTY

3395 JENNINGS CHAPEL ROAD
4th ELECTION DISTRICT • HOWARD COUNTY, MD
TAX MAP: 20 • BLOCK: 5 • PARCEL: 94



439 East Main Street Westminster, MD 21157-5539
(410) 848-1780 FAX (410) 848-1791

DRAWN BY:	JLW
DESIGN BY:	
REVIEW BY:	JMR
DATE:	03-11-2021
SCALE:	AS SHOWN
JOB NO:	2019103
SHEET:	1 OF 1

A licensed Maryland Surveyor either personally prepared this Foundation Certification, or was in responsible charge over its preparation and the surveying work reflected in it, in compliance with the Maryland Minimum Standards of Practice for Land Surveyors. (COMAR 09-13-06.06 AND .12)