

Menu Save Reset Cancel Help

Record Detail (This section is required.)

Permit Type: Building/Residential/Misc/Tanks
 Permit Number: B21002384
 Opened Date: 06/28/2021

Description of Work
 SFD//INSTALL (1) 1000 GAL UNDERGROUND PROPANE TANK

[check spelling](#)

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #: 3395
 Street Name: JENNINGS CHAPEL
 Street Type: RD

Unit Type: --Select--
 Unit #: []
 X Coordinate: -77.08299
 Y Coordinate: 39.28021

City: WOODBINE
 State: MD
 Zip Code: 21797
 Primary: Yes

Approved 7/1/21
[Signature]

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
1102772	94	5	2000	2000	0	RURAL

Legal Description
 PAR. 1 5.00 A [] JENNINGS CHAPEL RD [] WOODBINE

[check spelling](#)

please add to Accela -thx

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
[]	PAR 1	605601	5	[]	[]	[]	[]

Plan Area: [] State Tax Id: 1404320735 Subdivision Name: []

Section: [] Area: [] Tax Map: 20

Grid: [] Zoning District: RC-DEO ADC Map: 4811-G6

SDP No.: [] Final Plan No.: [] WP File No.: []

Record Plat No.: [] WS Contract No.: [] FDP No.: [] Primary: Yes

Owner Occupied: Yes No Year Built: [] Historic District: Yes No

Historic District Registry No.: [] Stat Area: 4-08 Flood Plain: Yes No

Building No: []

Owner (This section is required.)

Search Reset Clear

Name: CASASCO JENNIFER K

Address Line 1: 3385 JENNINGS CHAPEL RD

Address Line 2: []

Address Line 3: []

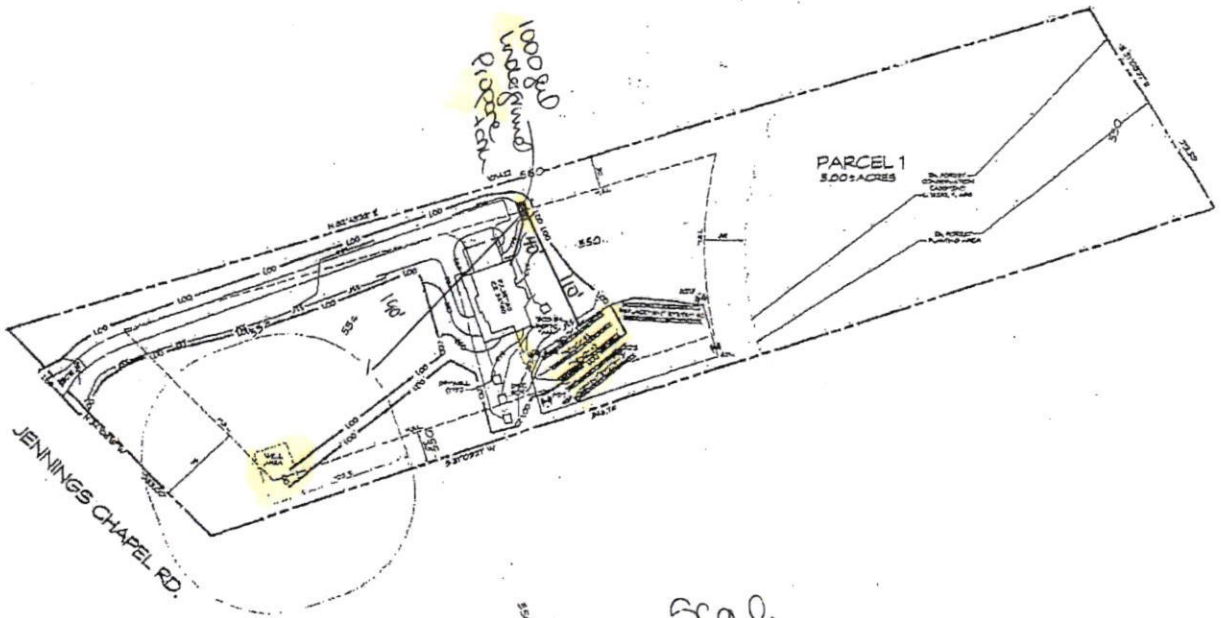
Mail City: WOODBINE Mail State: MD Mail Zip Code: 21797

Phone: 443-610-7514 Primary: Yes

E-mail: []

Cell Number: [] Fax Number: []

3395 Jennings Chapel Rd



Scale
1-100

PLAN
SCALE 1/8\"

SEPTIC SYSTEM TRENCH DESIGN:
PROPOSED FOR 4 & 5 BEDROOMS
TRENCH SYSTEM:
MIN. TRENCH SIZE = 6\" x 18\" x 36\" PL
SPECCOPE DEPTH IS 2'
TRENCH WIDTH IS 2'
180 GAL 1\" x 1\" SEPTIC TANK FOR 4-5 BED

Approved for LP tank
B21002384
RAT 7/1/21

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21002403	06/30/2021
Description of Work		
SFD/ INSTALL (1) 1,000 GALLON UNDERGROUND PROPANE TANK		

check spelling

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
1413	HERITAGE RIDGE	RD
Unit Type	Unit #	X Coordinate
--Select--		-77.06514
		Y Coordinate
		39.32942
City	State	Zip Code
WOODBINE	MD	21797
		Primary
		Yes

Approved 7/1/21
HL

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059860	0005	0	0	0	0	RURAL

Legal Description

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
18	15	604001	5				
Plan Area	State Tax Id	Subdivision Name					
		Linden Grove					
Section	Area	Tax Map					
		7					
Grid	Zoning District	ADC Map					
7-18	RC-DEO	4691-K8					
SDP No.	Final Plan No.	WP File No.					
	ECP-17-019						
Record Plat No.	WS Contract No.	FDP No.	Primary				
25064-2507			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-05	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

please add to
ACELA Thx

Owner * (This section is required.)

Search Reset Clear

Name *

TOLL MID ATLANTIC LP COMPANY

Address Line 1

1140 VIRGINIA AVE

Address Line 2

Address Line 3

Mail City

FT WASHINGTON

Mail State

PA

Mail Zip Code

19034

Phone

443-610-7514

Primary

Yes

E-mail

Cell Number

Fax Number

Professionals (This section is not required.)

RECEIVED

NOV 13 2020

Receive 12/8

PERMIT NUMBER: B 2060421

DATE ACCEPTED:

LICENSES & PERMITS DIVISION

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 3395 Jennings Chapel Rd. Unit: City: WOODBINE State: MD Zip Code: 21797 Subdivision/Village/Complex Name: SDP/WP/BA #: 6P 21-031 Lot: PAR 1 Tax Map: 0020 Parcel: 0094 Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: VACANT LOT Proposed Use: NEW SINGLE FAMILY DWELLING Estimated Cost: \$ 400,000 Trade Work to Be Completed (Separate Permits Required): Mechanical (HVAC) Electrical Plumbing None

TO CONSTRUCT A NEW SINGLE FAMILY DWELLING WITH GARAGE. TWO STORY W/ PARTIALLY FIN. BSMT. 4 BRMS AND 15 ROOMS, 3 1/2 BATHS

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): CASASCO JENNIFER K-AND PAUL A. Primary Residence: Yes No Owner's Street Address: 3365 JENNINGS CHAPEL RD.

City: WOODBINE State: MD Zip Code: 21797 Phone: 443-927-6925 Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: MARYLAND BUILDING PERMITS INC. Contact Name: VICKY MEYER Street Address: 1602 PINNACLE RD.

City: TOWSON, State: MD Zip Code: 21286 Phone: 443-250-3690 Email: MDBLDGPERMITS@COMCAST.NET

CONTRACTOR INFORMATION REQUIRED

Business Name: JMB HOMES Licensee's Name: JOHN M BERGER License #: 6141 Street Address: 5880 TEN ESTATES

City: WOODBINE, State: MD Zip Code: 21797 Phone: 240-372-3571 Email: JBERGER@JMBHOMES.COM

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: CLSI ENGINEER Name: LINDA ALEXANDER Street Address: 439 E. MAIN ST.

City: Westminster, State: MD Zip Code: 21157 Phone: 410-871-4475 Email: LAlexander@CLSI MAIL.COM

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic) Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: # Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Custom HOME - Schiner - Rodger Residence # of Bedrooms (SF): 4 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*): # Rooms: plus 15 Rooms # Full Baths: 3 # Half Baths: 1 # Fireplaces: 1 Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial 1st Fl Width: 88' 1st Fl Depth: 51' 2nd Fl Width: 64' 2nd Fl Depth: 51' Bsmt Width: 88' Bsmt Depth: 51' Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 9125 sq ft Occupiable Area: 7804 sq ft

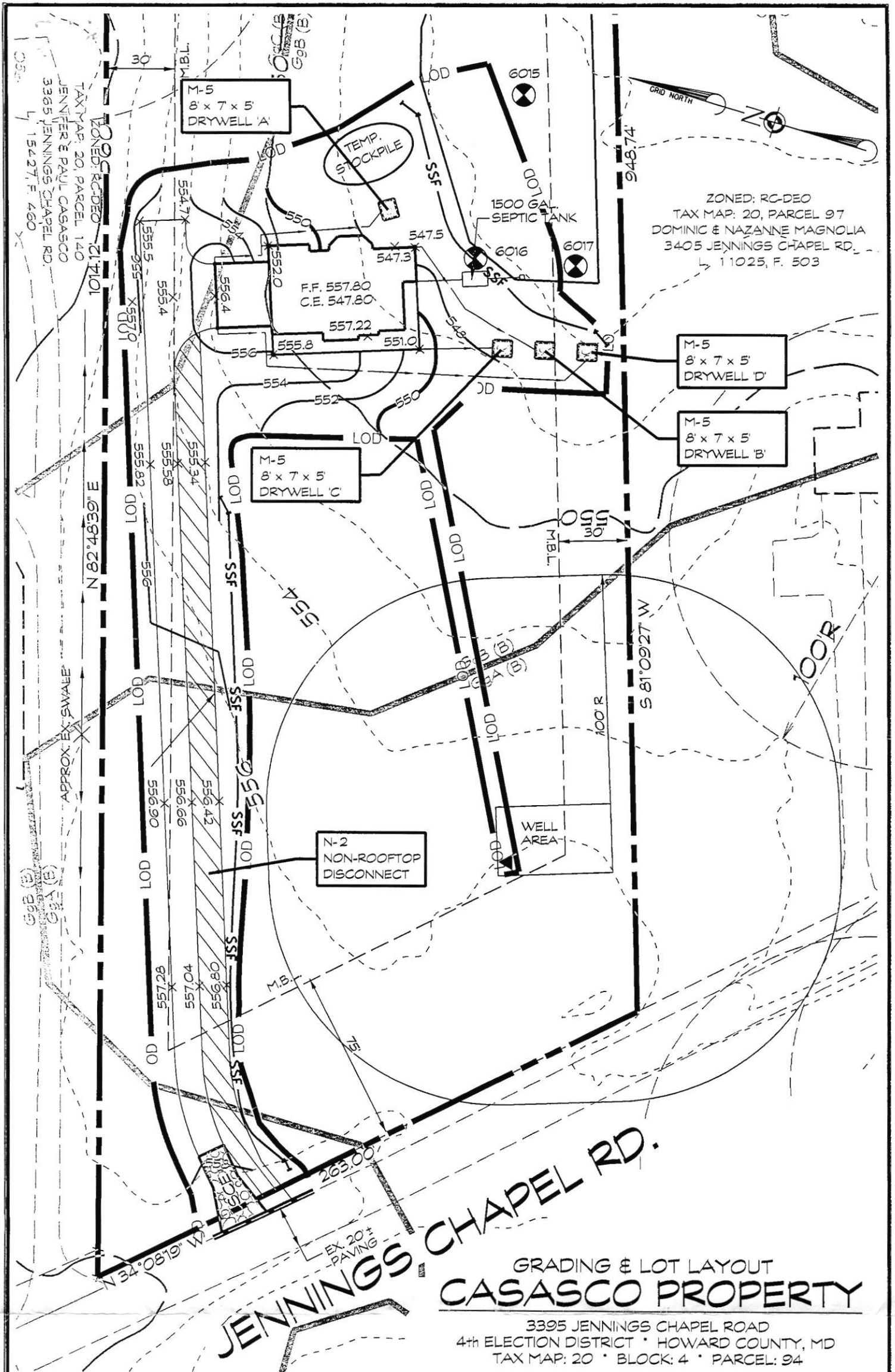
AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: Vicky Meyer DATE SIGNED: November 13 2020

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID SUBMITTAL FEES: PAYMENT: ACCEPTED BY:



ZONED: RC-DEO
 TAX MAP: 20, PARCEL 97
 DOMINIC & NAZANNE MAGNOLIA
 3405 JENNINGS CHAPEL RD.
 11025, F. 503

GRADING & LOT LAYOUT CASASCO PROPERTY

3395 JENNINGS CHAPEL ROAD
 4th ELECTION DISTRICT • HOWARD COUNTY, MD
 TAX MAP: 20 • BLOCK: 4 • PARCEL: 94

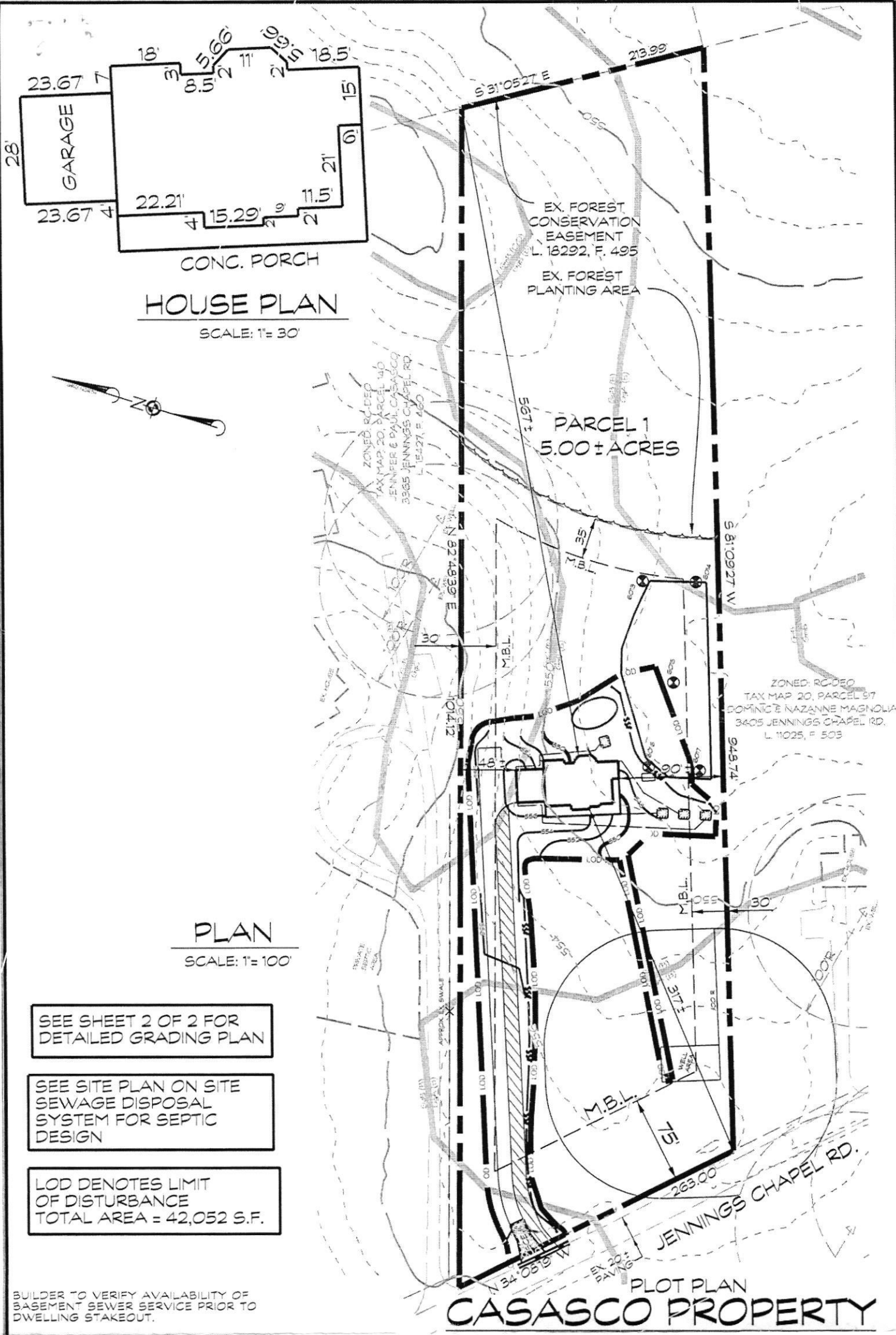


DRAWN BY: BM
 DESIGN BY:
 REVIEW BY:
 DATE: 10/23/2020
 SCALE: 1" = 50'
 JOB NO: 2019103
 SHEET: 2 of 2

EXISTING GRADES SHOULD BE FIELD
 VERIFIED WHEN HOUSE STAKEOUT IS DONE.

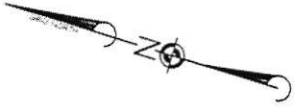
DATE	REVISIONS

439 East Main Street Westminster, MD 21157-5539
 (410) 848-1790 FAX (410) 848-1791



HOUSE PLAN

SCALE: 1" = 30'



PLAN

SCALE: 1" = 100'

SEE SHEET 2 OF 2 FOR DETAILED GRADING PLAN

SEE SITE PLAN ON SITE SEWAGE DISPOSAL SYSTEM FOR SEPTIC DESIGN

LOD DENOTES LIMIT OF DISTURBANCE
TOTAL AREA = 42,052 S.F.

BUILDER TO VERIFY AVAILABILITY OF BASEMENT SEWER SERVICE PRIOR TO DWELLING STAKEOUT.

THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARY UNLESS OTHERWISE SHOWN HERE ON.

Russell Alexander 10-23-2020
CARROLL LAND SERVICES, INC. DATE

EXISTING GRADES SHOULD BE FIELD VERIFIED WHEN HOUSE STAKEOUT IS DONE.

DATE	REVISIONS

PLOT PLAN CASASCO PROPERTY

3395 JENNINGS CHAPEL ROAD
4th ELECTION DISTRICT * HOWARD COUNTY, MD
TAX MAP: 20 * BLOCK: 4 * PARCEL: 94



439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

DRAWN BY: BM
DESIGN BY:
REVIEW BY:
DATE: 10/23/2020
SCALE: AS SHOWN
JOB NO: 2019103
SHEET: 1 of 2

Revisions

Product Name
JMB Homes
The Schiner-Rogers Residence

Sheet Title
Foundation & Basement Plan

CSE Designs, Inc.
7371 Atlas Walk Way,
Suite 110,
Gainesville, Virginia 20165
Ph: 703-969-2878
Fax: 703-754-9317



Drawing No.
A-1

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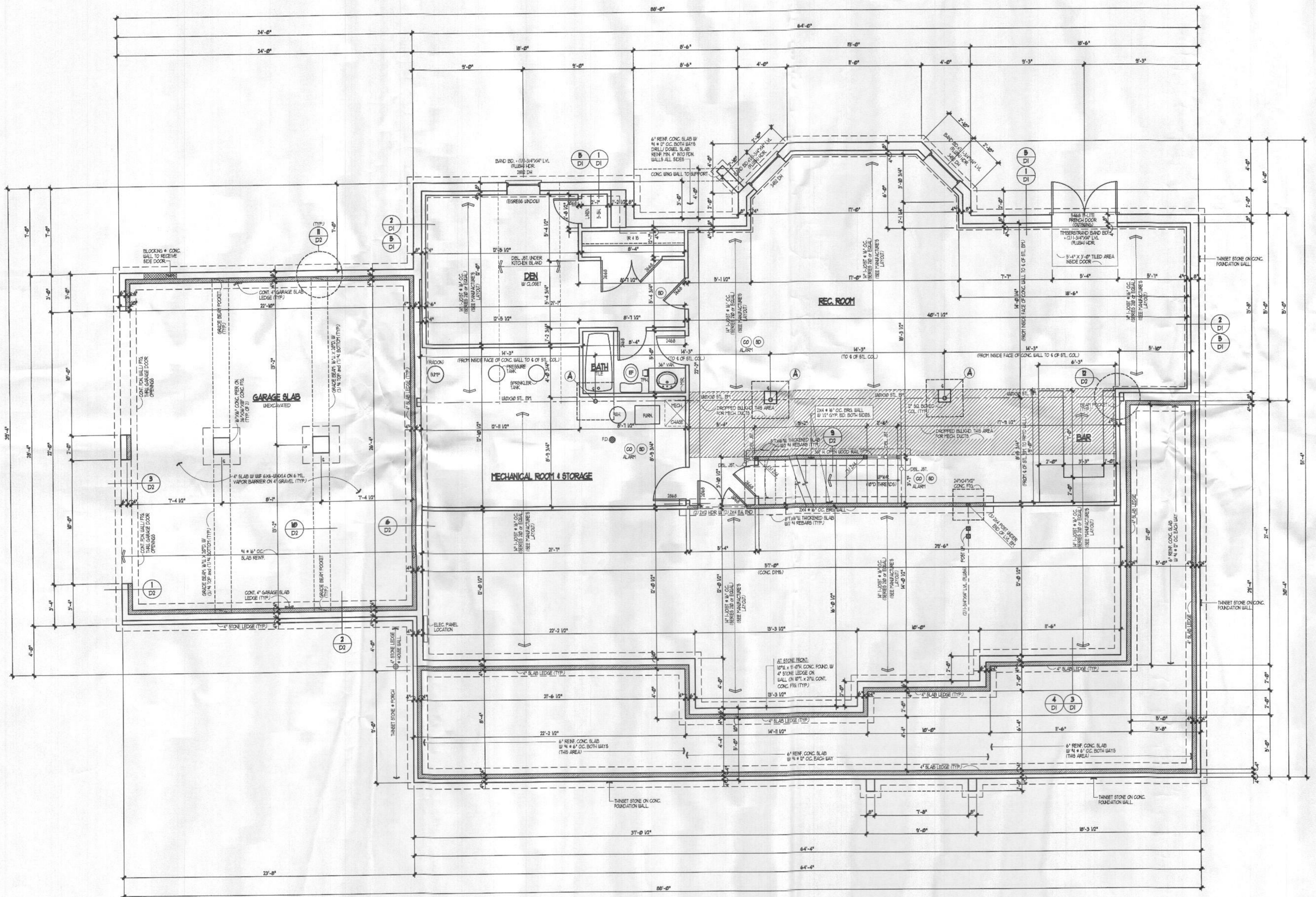
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES CSE Designs, Inc. MAY NOT BE HELD RESPONSIBLE FOR THE SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION.
- THE OWNER AND BUILDER AGREE TO HOLD THE AUTHOR OF THESE DRAWINGS HARMLESS FOR ANY AND ALL ERRORS, OMISSIONS OR OTHER PROBLEMS ARISING FROM THE USE OF THESE PLANS.
- THESE DRAWINGS ARE ABSTRACTED AND ARE NOT INTENDED TO SPECIFY ALL STRUCTURAL DETAILS, MATERIALS, SIZES OR CONDITIONS NECESSARY FOR CONSTRUCTION. THE BUILDER AND/OR THE OWNER WILL MAKE ANY AND ALL DECISIONS AND SELECTIONS NECESSARY FOR CONSTRUCTION.
- EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE FOOTINGS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES OF CONSTRUCTION. VERIFY DEPTH WITH LOCAL ENGINEER.
- VERIFY ALL STRUCTURAL ELEMENTS FOR DESIGN AND SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.
- BOTTOM OF ALL FOOTINGS SHALL EXTEND BELOW FROST-LINE. VERIFY DEPTH.
- ALL CONSTRUCTION IS TO COMPLY WITH THE LATEST EDITIONS OF THE APPLICABLE BUILDING CODES AND ALL OTHER APPLICABLE REGULATIONS (FEDERAL, STATE AND LOCAL).

PLAN and FRAMING NOTES:
IMPORTANT! PLEASE SEE ALL PLAN and FRAMING NOTES ON SHEET A-0 FOR ADDITIONAL CODE COMPLIANCE INFORMATION NOT SHOWN ON THIS SHEET. THE NOTES ON SHEET A-0 ARE APPLICABLE AND MUST BE USED IN CONJUNCTION WITH THESE DRAWINGS TO ENSURE CODE COMPLIANCE.

- (A) 3-1/2" STYL. STEEL PIPE COLUMN (SCHEDULE 40)
MAX. 28,000#P LOAD - 48"X48"X6' CONG. FIG. W/ (8) #4 EACH WAY BOTTOM.
- (P) 3-1/2" STYL. STEEL PIPE COLUMN (SCHEDULE 40)
MAX. 18,000#P LOAD - WELD/BOLT BEAM TO POST - ANCHOR POST BASE TO CONG. W/ (2) 1/2" CONG. EXP. BOLTS.

ALL FOOTINGS DESIGNED FOR 2000 PSF MINIMUM SOIL BEARING.

NOTE:
ALL FOUNDATIONS HAVE BEEN DESIGNED FOR A MINIMUM 2000 PSF SOIL BEARING VALUE. THE BUILDER IS RESPONSIBLE FOR VERIFYING THAT THE SOIL AT THE SITE CAN PROVIDE A MINIMUM BEARING CAPACITY OF 2000 PSF. IF IT IS FOUND THAT THE SOIL CANNOT PROVIDE THIS VALUE, THE BUILDER MUST CONTACT THE ARCHITECT SO THAT THE FOOTINGS CAN BE RE-DESIGNED FOR THE LOWER SOIL BEARING VALUE THAT HAS BEEN DETERMINED BY THE SITE INSPECTION. PLEASE PROVIDE TO THE ARCHITECT THE LOWER SOIL BEARING VALUE TO BE USED FOR THE FOOTING RE-DESIGN.



FOUNDATION and BASEMENT PLAN
140'1 SQ. FT. SCALE: 1/4" = 1'-0"