

# REAR AND SIDE ADDITION WITH NEW CAR GARAGE

PATEL'S FAMILY RESIDENCE  
12738 LIME KILN RD. HIGHLAND, MD 20777

Roof Live Load:

Section R 301.6 of the IRC has been amended.

Roof Live Load of 40lbs. is now required for  
all roof designs.

DESIGN BY:  
RRARCO, LLC  
6927 BARRETT RD. FALLS  
CHURCH, VA 22042  
C. 202.746.6488

OWNER AGENT:  
PATEL HEMA

ADDRESS:  
12738 LIME KILN RD.  
HIGHLAND, MD 20777

## APPLICABLE CODES

2018 IRC/IECC

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DATE	INSPECTOR

Any additions, alterations, or repairs that require a building permit shall be provided with smoke alarms as required for new dwellings.

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## DESIGN CRITERIA SPECIFICATION

1. USE IRC-2015 WITH SUPPLEMENTS COUNTY AMENDMENTS
2. FLOOR LOADS - 40 PS  
ROOF LOADS - GROUND LOAD (PG) 25 PSF; FLAT ROOF (PF) 25 PSF
3. WIND DESIGN: BASIC WIND SPEED 90 MPH
4. SOIL VALUE: SOIL BEARING VALUE IS ASSUMED 1500 PSF. THE CONTRACTOR SHALL FIELD VERIFY THE ASSUMED VALUE AND NOTIFY THE ARCHITECT APPROXIMATELY 24 HOURS BEFORE THE FIRST FOOTINGS ARE TO BE POURED
5. FOOTINGS: BOTTOM OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-6" BELOW FINISHED GRADE.
6. ALL CONC. USED FOR FOUNDATIONS TO BE 3000 PSI AT 28 DAYS.
7. REINFORCING STEEL: REINFORCING STEEL SHALL BE ASTM A615, GRADE 60. CONCRETE PROTECTION FOR REINFORCING STEEL IN FOOTINGS SHALL BE 3" MIN.
8. SILL PLATES ON THE TOP OF FOUNDATION WALL SHALL BE SECURED WITH MIN. 1/2" ANCHOR BOLTS SET AT 6' FEET ON CENTER MAXIMUM AND WITHIN 12" INCHES FROM THE ENDS OF EACH PLATE SECTION, BUT NOT CLOSER THAN 3 1/2" TO END OF PLATE. THE BOLTS SHALL EXTEND MIN. 7" INTO CONCRETE OR MASONRY.
9. CONCRETE AND MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MIN. OF 4" WHERE MASONRY VENER IS USED AND A MIN. OF 6" ELSEWHERE.
10. TIMBER: ALL FRAMING SHALL BE AS SPECIFIED ON FLOOR PLANS, LINTELS, BEAMS, JOISTS AND ROOF TRUSSES. A SHOP DRAWINGS FROM FABRICATORS WILL BE SUBMITTED FOR APPROVAL PRIOR TO ERECTION
11. ALL EXTERIOR WALLS SHALL BE SUPPORTED ON CONTINUOUS SOLID OR FULLY GROUTED MASONRY OR CONCRETE FOOTINGS
12. U.O.N. AT ALL 3 1/2" STUD WALLS, ALL LINTELS ARE TO BE (2) 2" x10" HEADERS W/ 1/2" PLYWOOD BLOCKING BETWEEN AND SUPPORTED BY 2 JACKS STUDS AT EACH END.
13. U.O.N. AT ALL 5 1/2" STUD WALLS, ALL LINTELS ARE TO BE (2) 2" x10" HEADERS W/ 2 1/2" PLYWOOD BLOCKING BETWEEN AND SUPPORTED BY 2 JACKS STUDS AT EACH END.
14. RAFTERS ARE TO BE ATTACHED TO THE EXTERIOR WALL WITH HURRICANE STRAPS AND TO THE RIDGE BEAM WITH JOIST HANGERS
15. THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS AND TECHNIQUES OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO INSURE THAT SAFE CONSTRUCTION PRACTICES ARE STRICTLY FOLLOWED.
16. DECK SPANS LOADING IS BASED ON 40 PSF LIVE LOAD AND 10 PSF DEAD LOAD USING SOUTHERN YELLOW PINE #2
17. STRUCTURAL FRAMING FOR PRESSURE TREATED WOOD DECK IS TO BE SOUTHERN YELLOW PINE #2

*2018 IECC  
Prescriptive  
method.*

APPROVED BY \_\_\_\_\_  
DEPARTMENT OF INSPECTIONS,  
LICENSES AND PERMITS  
HOWARD COUNTY

DATE: *8/30/22*

BY: \_\_\_\_\_

SUBJECT TO COMMENTS OF REVIEW SHEET

SUBJECT TO FIELD INSPECTION

SUBJECT TO COMMENTS ON PLANS

PRELIMINARY  FINAL

PROPOSED REAR  
ADDITION W/ CAR  
GARAGE

12738 LIMEKILN RD.  
HIGHLAND, MD 20777

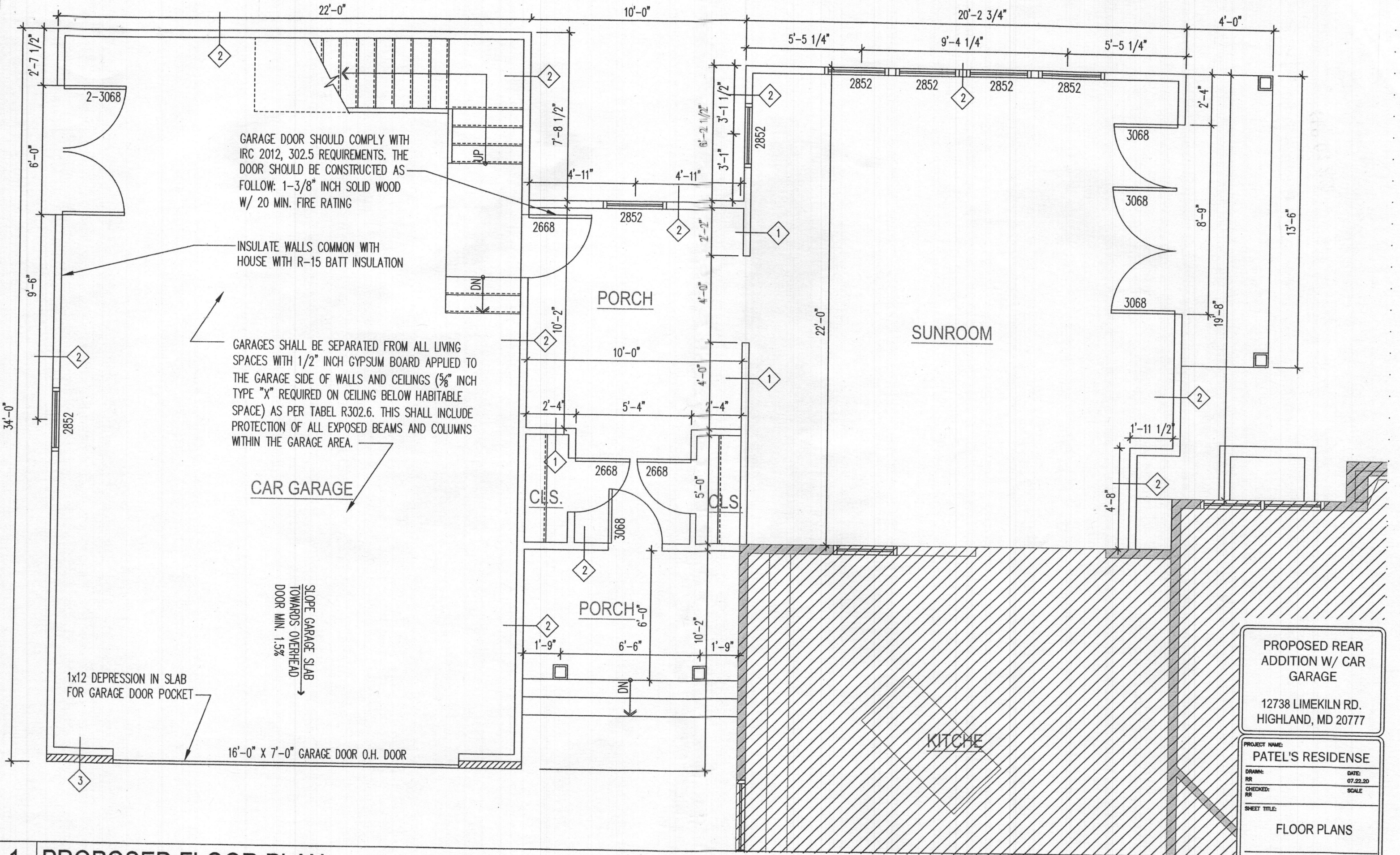
PROJECT NAME:  
PATEL'S RESIDENCE

DATE: 07.22.20  
SCALE

SHEET TITLE:  
COVER SHEET

SHEET  
**C.01**

*see Note.*



GARAGE DOOR SHOULD COMPLY WITH IRC 2012, 302.5 REQUIREMENTS. THE DOOR SHOULD BE CONSTRUCTED AS FOLLOWS: 1-3/8" INCH SOLID WOOD W/ 20 MIN. FIRE RATING

INSULATE WALLS COMMON WITH HOUSE WITH R-15 BATT INSULATION

GARAGES SHALL BE SEPARATED FROM ALL LIVING SPACES WITH 1/2" INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALLS AND CEILINGS (5/8" INCH TYPE "X" REQUIRED ON CEILING BELOW HABITABLE SPACE) AS PER TABEL R302.6. THIS SHALL INCLUDE PROTECTION OF ALL EXPOSED BEAMS AND COLUMNS WITHIN THE GARAGE AREA.

CAR GARAGE

SLOPE GARAGE SLAB TOWARDS OVERHEAD DOOR MIN. 1.5%

1x12 DEPRESSION IN SLAB FOR GARAGE DOOR POCKET

16'-0" X 7'-0" GARAGE DOOR O.H. DOOR

PROPOSED REAR ADDITION W/ CAR GARAGE

12738 LIMEKILN RD. HIGHLAND, MD 20777

PROJECT NAME: PATEL'S RESIDENSE

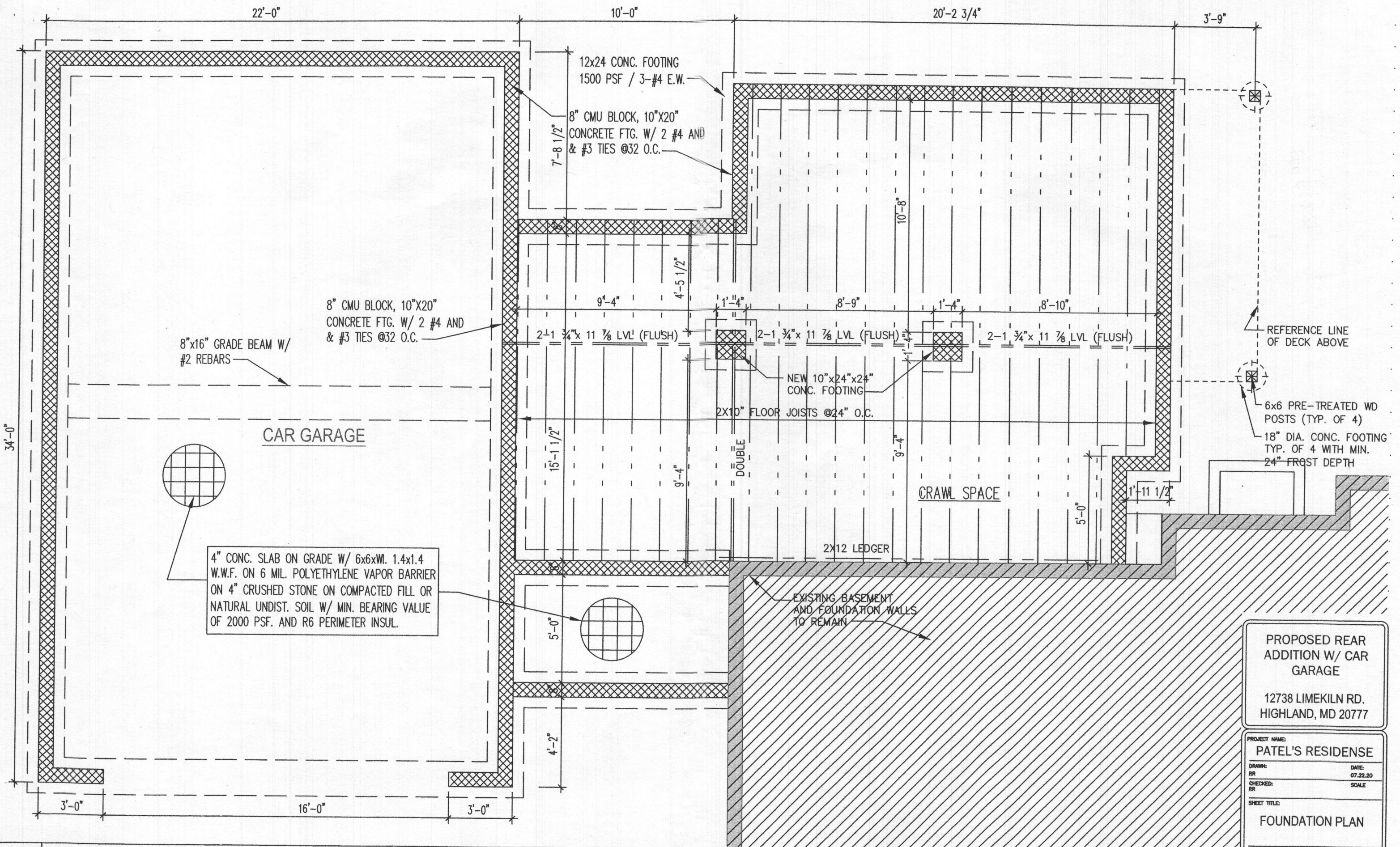
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SHEET TITLE: FLOOR PLANS

SHEET A.01

1 PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"



1 FOUNDATION PLAN

SCALE: 1/4"=1'-0"

PROPOSED REAR  
ADDITION W/ CAR  
GARAGE

12738 LIMEKILN RD.  
HIGHLAND, MD 20777

PROJECT NAME:  
PATEL'S RESIDENCE

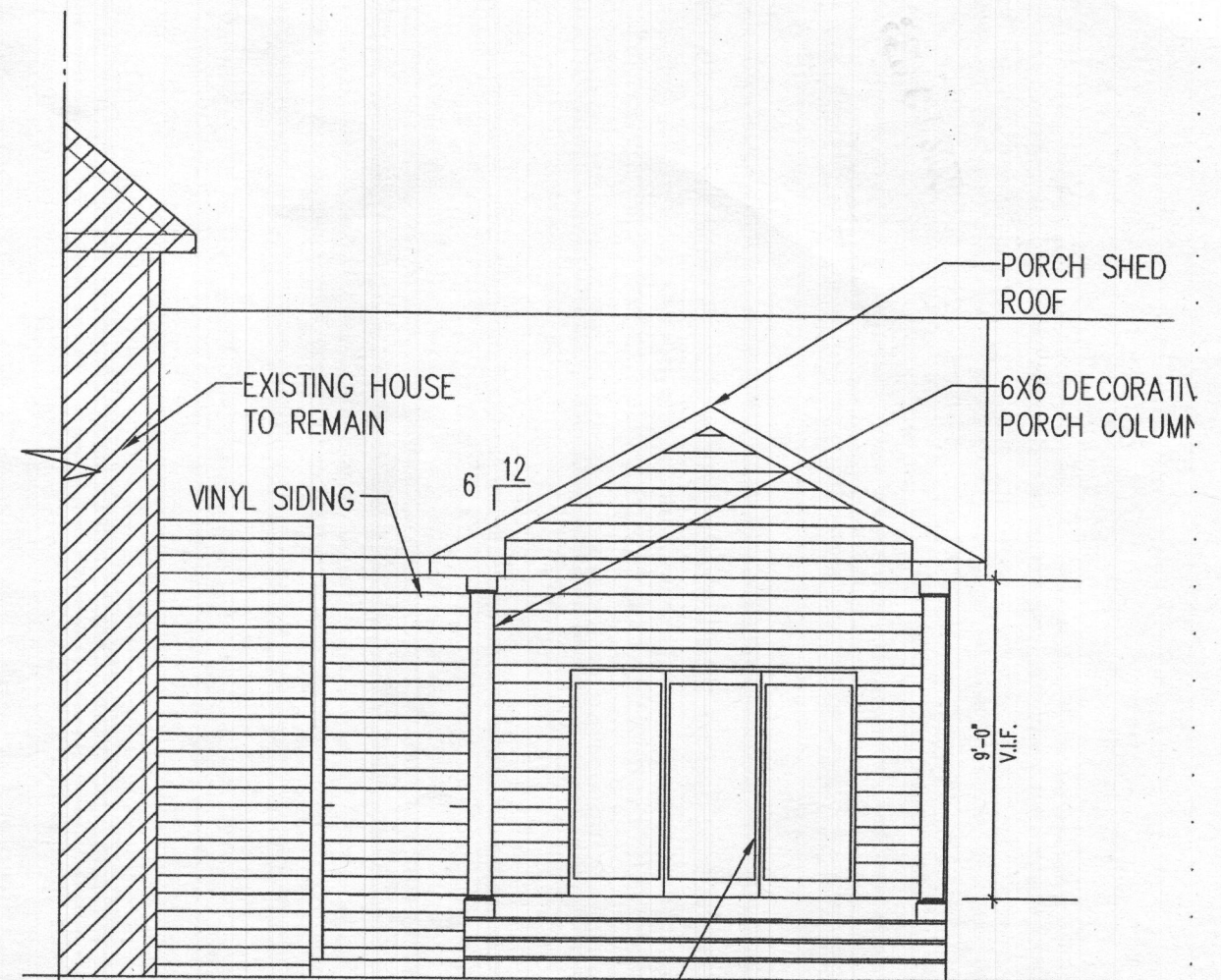
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SHEET TITLE:  
FOUNDATION PLAN

SHEET  
A.02





**2 SIDE ELEVATION**

SCALE: 1/4"=1'-0"

**1 SIDE ELEVATION**

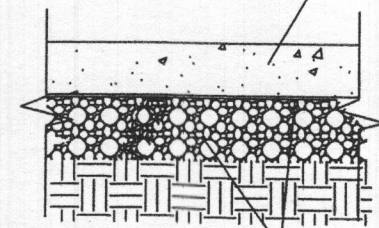
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**DESIGN ON GRADE DETAIL**

**WALL TYPES**

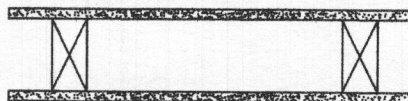
**STAIR DETAIL**

4" CONC. SLAB  
REINF. W/ 6x6  
W1.4xW1.4 W.W.M.

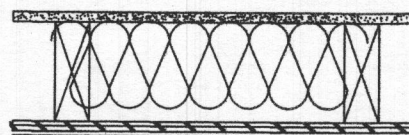


6" MIL VAPOR  
BARRIER ON GRAVEL  
W/ COMPACTED FILL

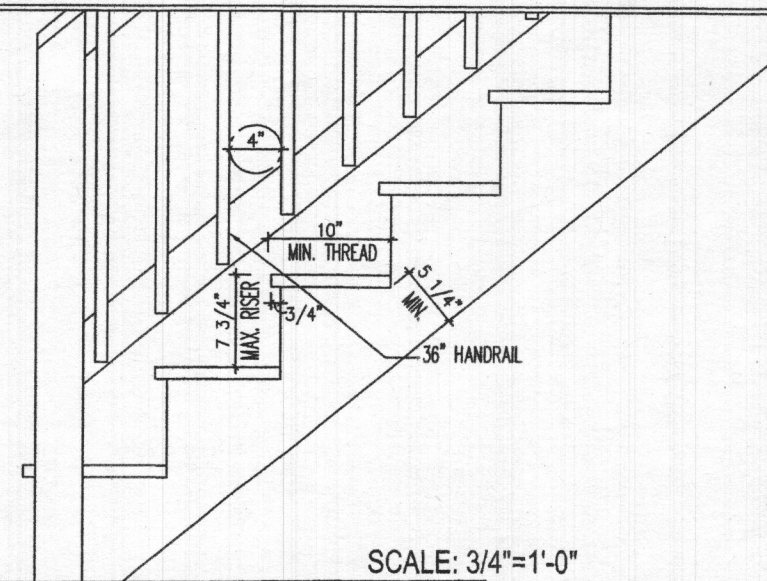
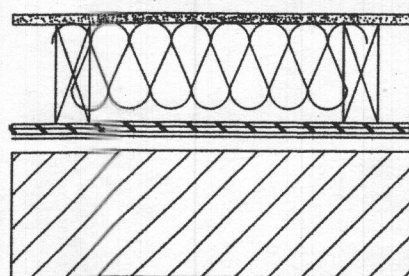
1 1/2" GYPSUM BOARD  
2x4 STUD WALL, 16" O.C,  
1/2" GYPSUM BOARD



2 1/2" GYPSUM BOARD  
2x6 STUD WALL, 16" O.C,  
R-20 BATT INSULATION  
EXTERIOR SHEATHING BOARD  
BUILDING PAPER  
VYNIL SIDING



3 1/2" GYPSUM BOARD  
2x6 STUD WALL, 16" O.C,  
R-20 BATT INSULATION  
EXTERIOR SHEATHING BOARD  
BUILDING PAPER  
VYNIL SIDING  
1" AIR SPACE  
4" BRICK VENEER



SCALE: 3/4"=1'-0"

PROPOSED REAR  
ADDITION W/ CAR  
GARAGE

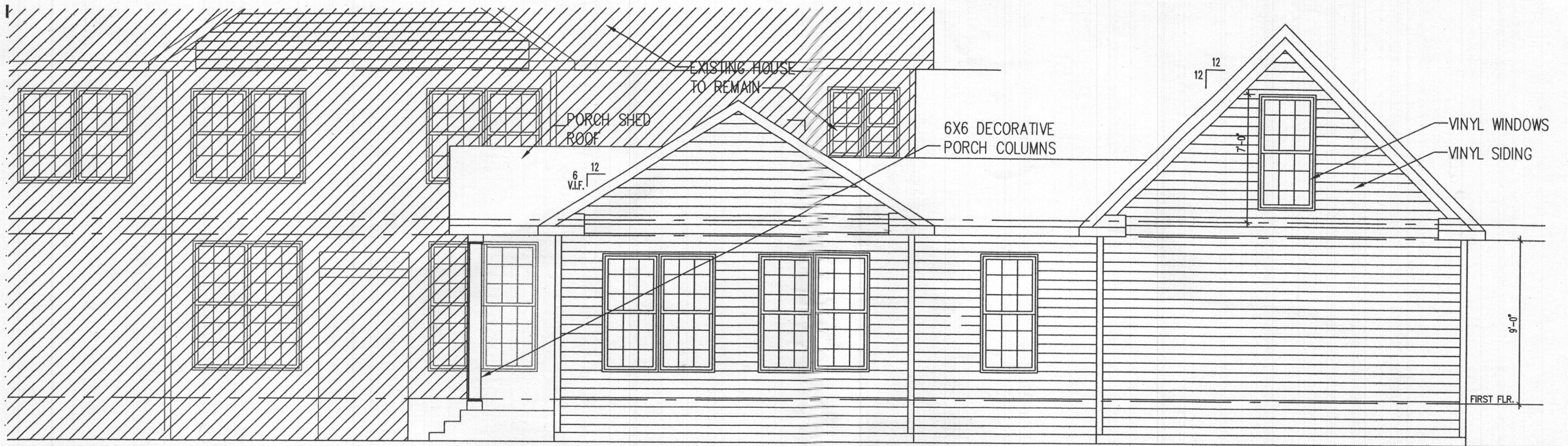
12738 LIMEKILN RD.  
HIGHLAND, MD 20777

PROJECT NAME:  
**PATEL'S RESIDENCE**

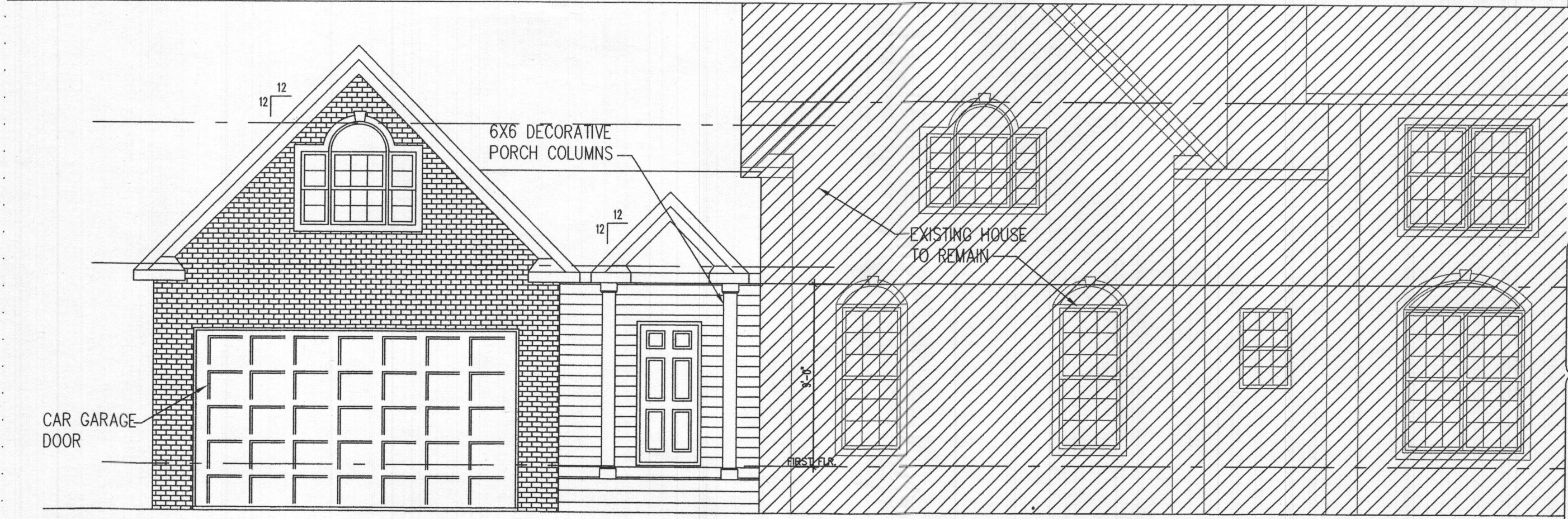
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**SIDE ELEVATIONS**

SHEET  
**A.07**



**2 REAR ELEVATION** SCALE: 3/16"=1'-0"



**1 FRONT ELEVATION** SCALE: 3/16"=1'-0"

PROPOSED REAR  
ADDITION W/ CAR  
GARAGE

12738 LIMEKILN RD.  
HIGHLAND, MD 20777

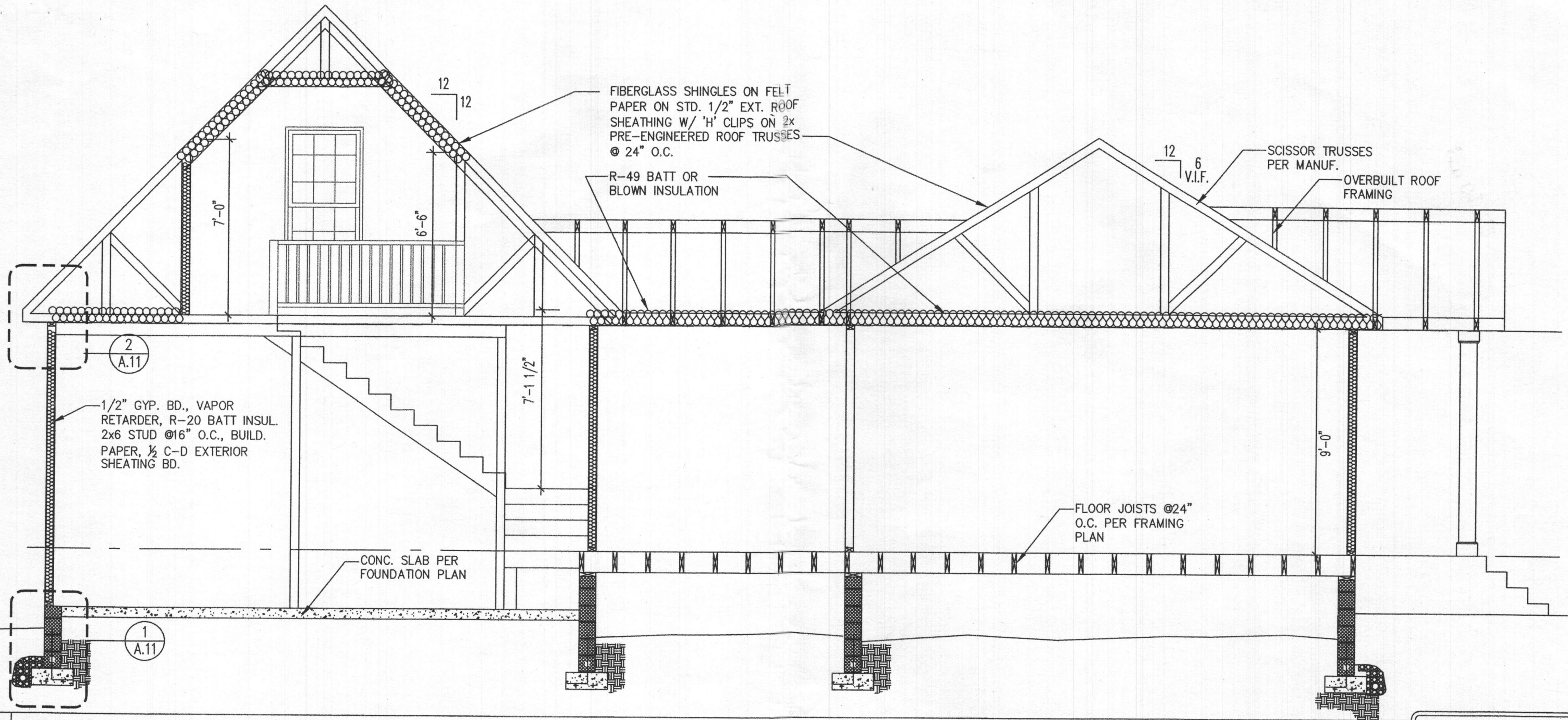
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PATEL'S RESIDENCE

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ELEVATIONS

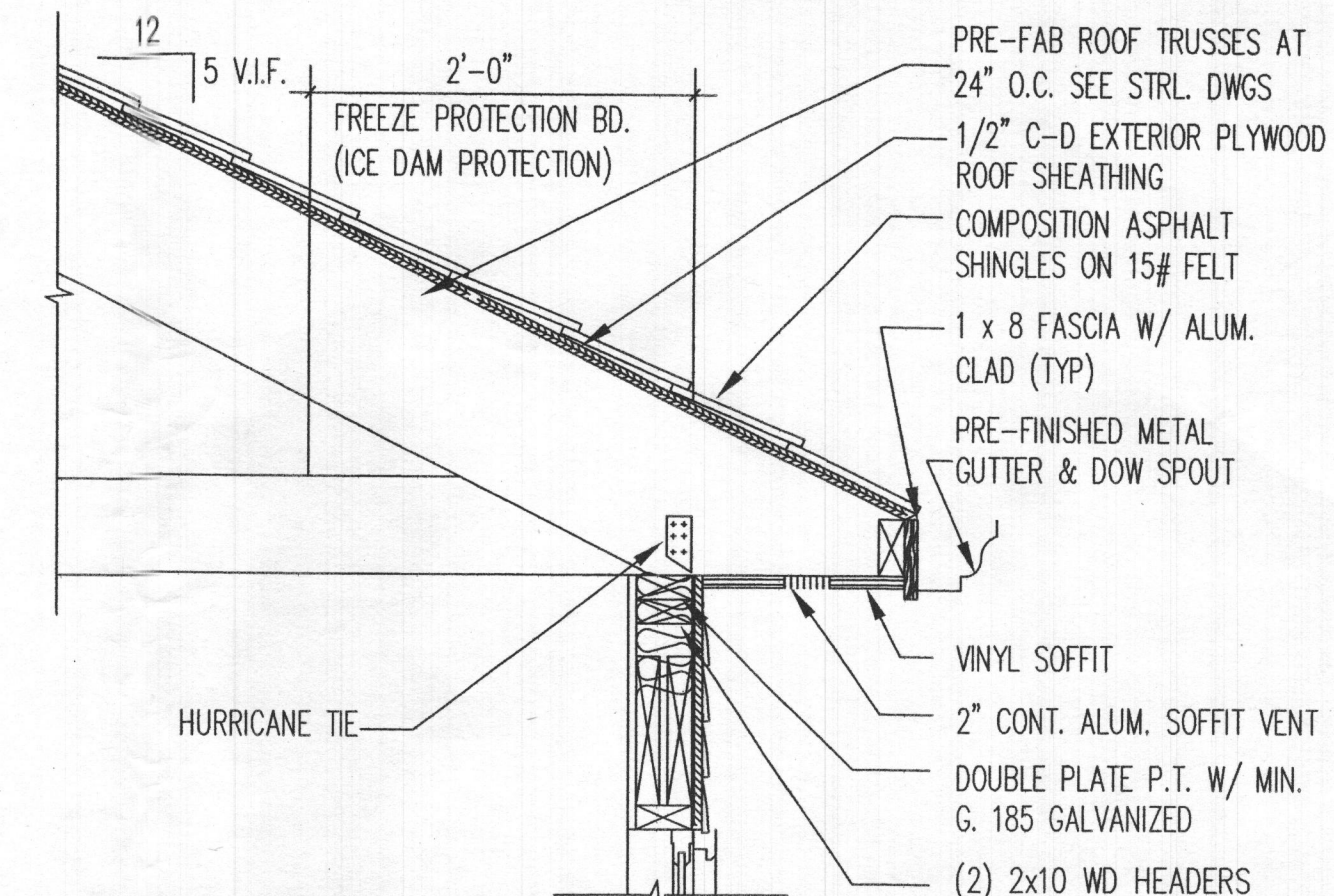
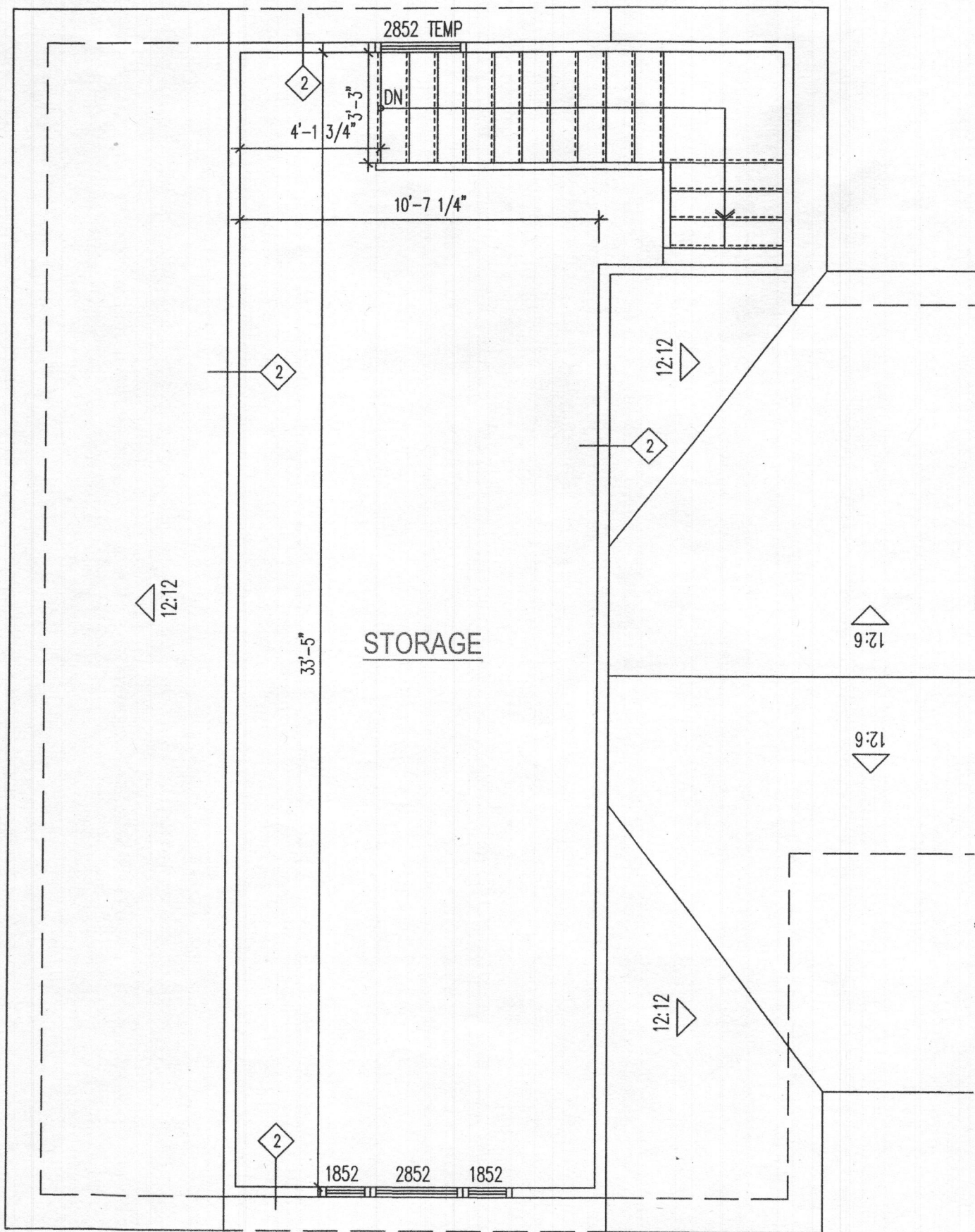
SHEET  
**A.06**



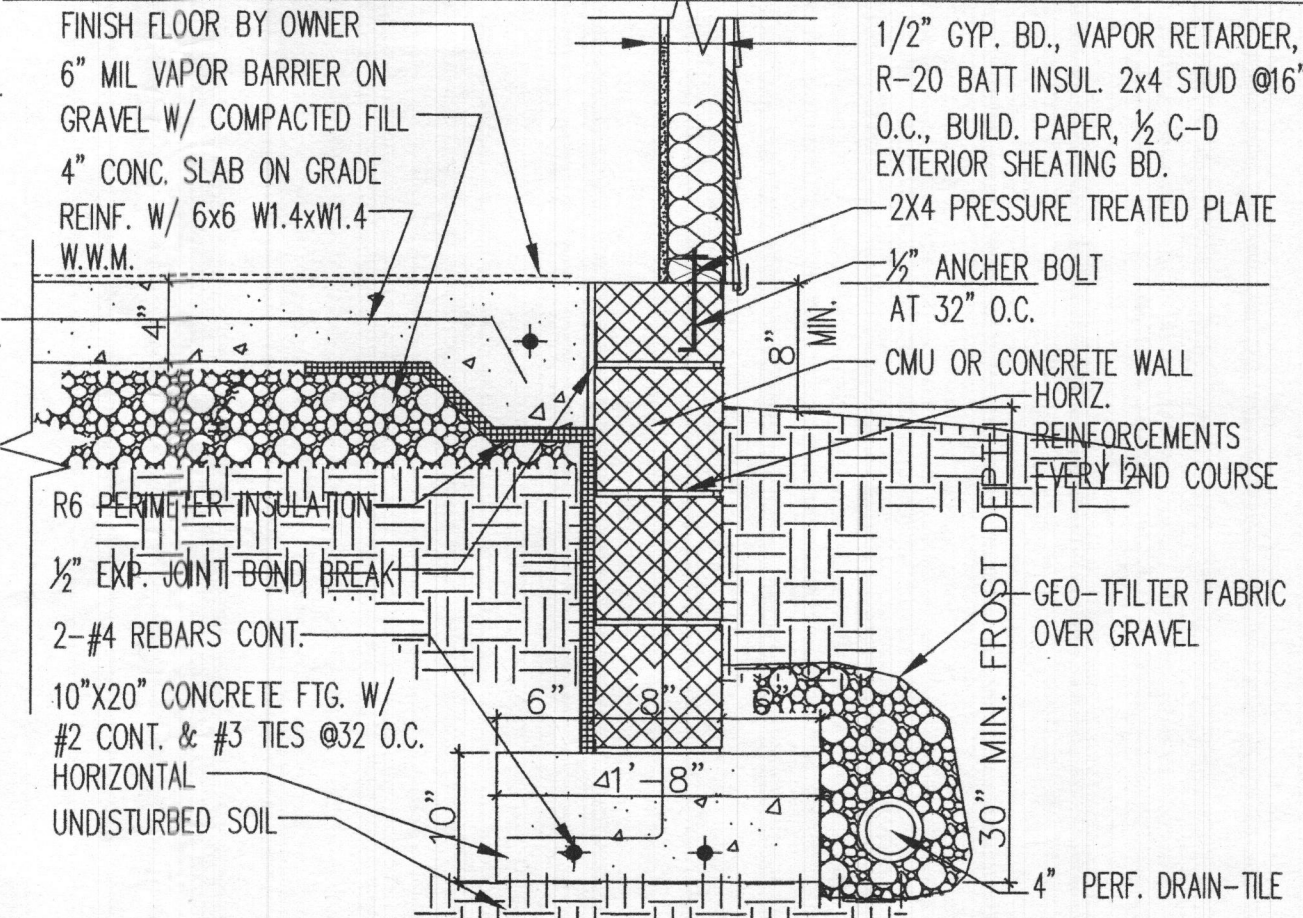
1 FRONT ELEVATION

SCALE: 1/4"=1'-0"

PROPOSED REAR  
 ADDITION W/  
 CAR  
 GARAGE  
  
 12738 LIMEKILN RD.  
 HIGHLAND, MD 20777  
  
 PROJECT NAME:  
 PATEL'S RESIDENCE  
 DRAWN: RR DATE: 07.22.20  
 CHECKED: RR SCALE:  
 SHEET TITLE:  
 BUILDING SECTION  
 SHEET  
**A.08**



**3 OVERHANG DETAIL (TYP.)** SCALE: 1"=1'-0"



**2 OVERHANG DETAIL (TYP.)** SCALE: 1"=1'-0"

**FOUNDATION NOTE:**  
MIN. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 2500 PSI

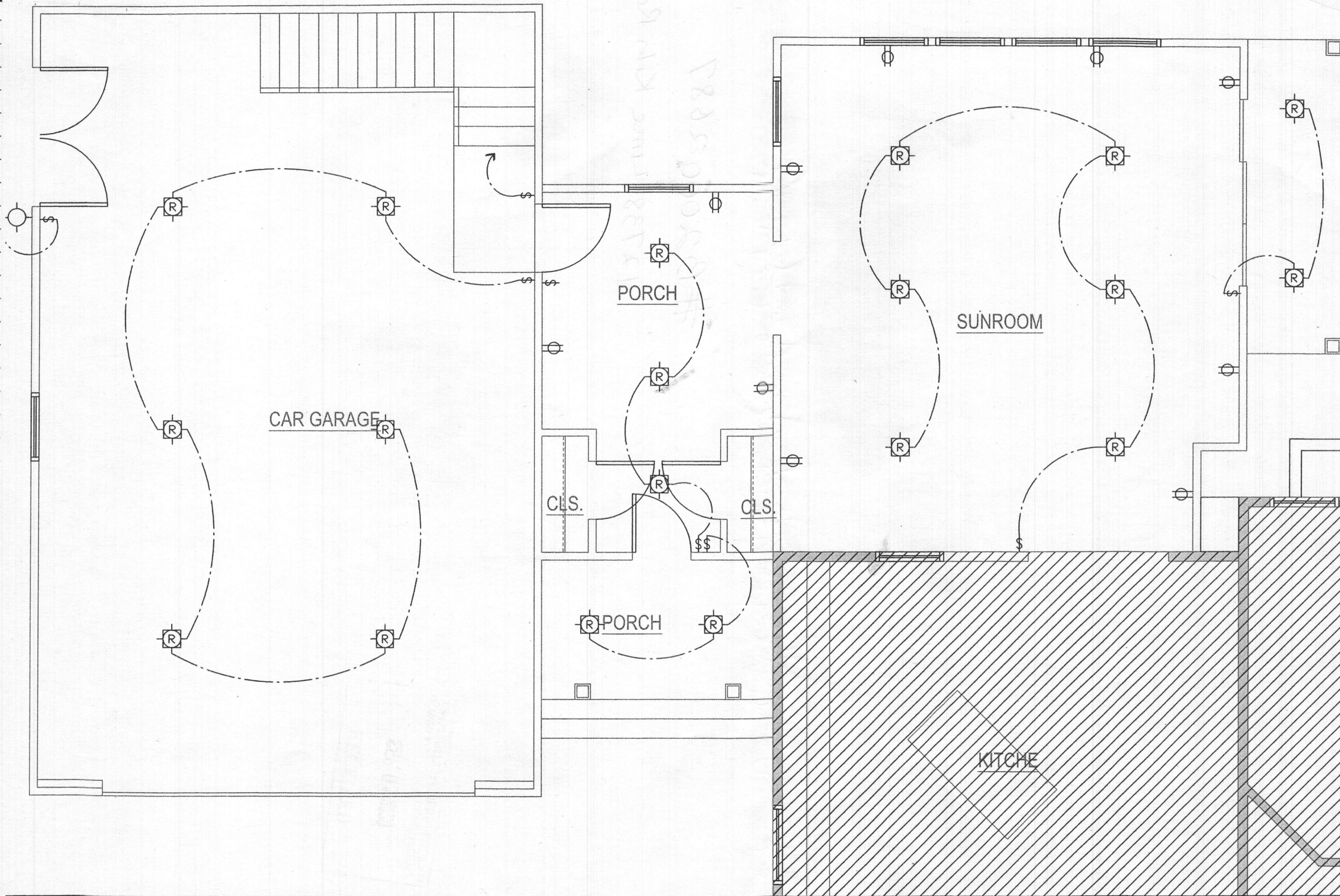
PROPOSED REAR ADDITION W/ CAR GARAGE  
12738 LIMEKILN RD.  
HIGHLAND, MD 20777

PROJECT NAME: PATEL'S RESIDENCE	
DRAWN: RR	DATE: 07.22.20
CHECKED: RR	SCALE
SHEET TITLE: DETAILS	
SHEET <b>A.09</b>	

**1 ATTIC FLOOR PLAN**

SCALE: 1/4"=1'-0"

SCALE: 1"=1'-0"



**ELECTRICAL SYMBOLS**

- § SINGLE POLE SWITCH
- §<sub>3</sub> THREE POLE SWITCH
- ⊕ DUPLEX OUTLET
- ⊕ WEATHER PROOF OUTLET W/ GROUND FAULT INTERRUPTER
- ⊕ CEILING LIGHT FIXTURE
- ⊕ RECESSED CEILING LIGHT FIXTURE
- ⊕ WALL LIGHT FIXTURE

NOTE:  
 IRC E3802.11 PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION (AFCI) FOR ALL BRANCH CIRCUIT SERVING 15 AND 20 AMP RECEPTACLES INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S)

PROPOSED REAR ADDITION W/ CAR GARAGE

12738 LIMEKILN RD.  
 HIGHLAND, MD 20777

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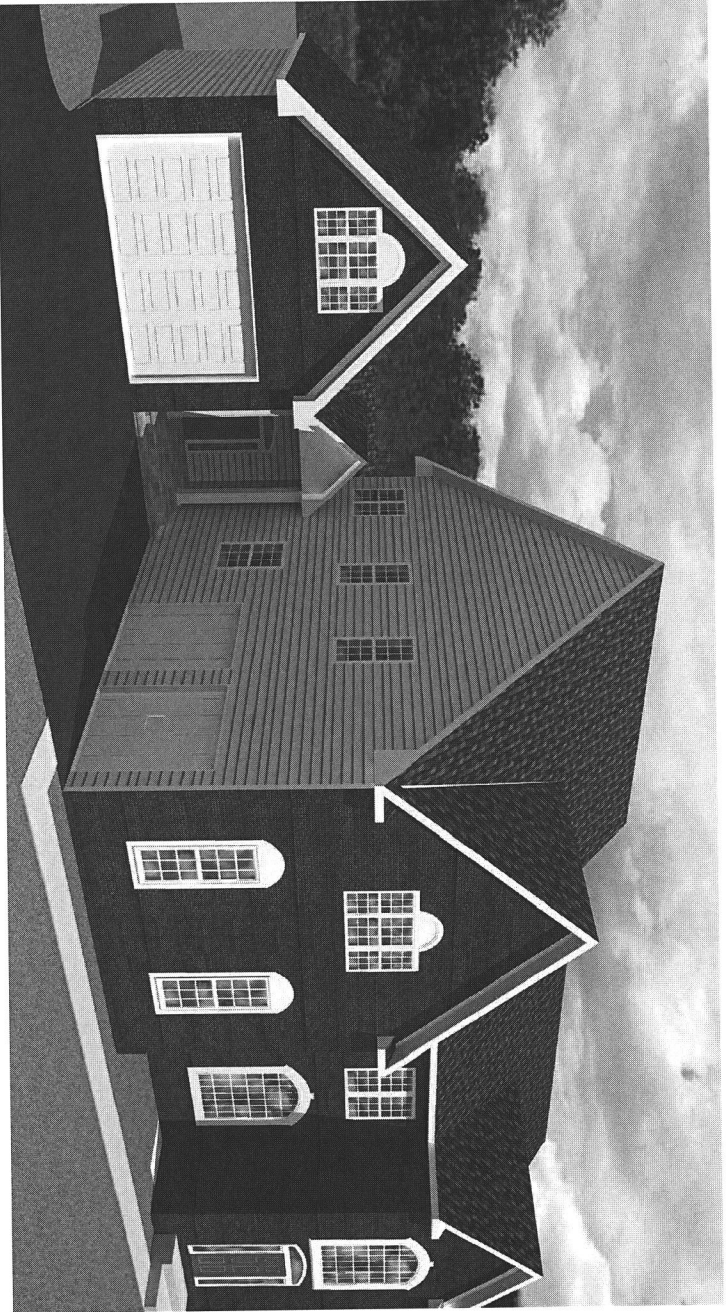
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SHEET TITLE:  
**PROPOSED ELECTRICAL PLAN**

SHEET  
**E.01**

# REAR AND SIDE ADDITION WITH NEW CAR GARAGE

PATEL'S FAMILY RESIDENCE  
12738 LIME KILN RD., HIGHLAND, MD 20777



DESIGN BY:  
RRARCO, LLC  
6927 BARRETT RD., FALLS  
CHURCH, VA 22042  
C: 202.746.6488  
OWNER AGENT:  
PATEL HEMA  
ADDRESS:  
12738 LIME KILN RD.,  
HIGHLAND, MD 20777

APPLICABLE CODES  
2018 IRC/IECC

INDEX OF DRAWINGS

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## DESIGN CRITERIA SPECIFICATION

1. USE IRC-2015 WITH SUPPLEMENTS COUNTY AMENDMENTS
2. FLOOR LOADS - 40 PSF
3. WIND DESIGN BASIC WIND SPEED 90 MPH
4. SOIL VALUE: SOIL BEARING VALUE IS ASSUMED 1500 PSF. THE CONTRACTOR SHALL FIELD VERIFY THE ASSUMED VALUE AND NOTIFY ARCHITECT APPROXIMATELY 24 HOURS BEFORE THE FIRST FOOTINGS ARE TO BE POURED
5. FOOTINGS, BOTTOM OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-0" BELOW FINISHED GRADE.
6. ALL CONC. USED FOR FOUNDATIONS TO BE 3000 PSI AT 28 DAYS.
7. REINFORCING STEEL: REINFORCING STEEL IN FOOTINGS SHALL BE #3 MIN. CONCRETE PROTECTION FOR REINFORCING STEEL IN FOOTINGS SHALL BE 3" MIN.
8. SILL PLATES ON THE TOP OF FOUNDATION WALL SHALL BE SECURED WITH MIN. 1/2" ANCHOR BOLTS SET AT 6 FEET ON CENTER MAXIMUM AND WITH MIN. 6" SPACES FROM THE ENDS OF EACH PLATE SECTION, BUT NOT CLOSER THAN 3" TO END OF PLATE. THE BOLTS SHALL EXTEND MIN. 7" INTO CONCRETE ON MASONRY.
9. CONCRETE AND MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MIN. OF 4" WHERE MASONRY VENEER IS USED AND A MIN. OF 6" ELSEWHERE.
10. TIMBER, ALL FRAMING SHALL BE AS SPECIFIED ON FLOOR PLANS, LINTELS, BEAMS, JOISTS AND ROOF TRUSSES. A SHOP DRAWINGS FROM FABRICATORS WILL BE SUBMITTED FOR APPROVAL PRIOR TO ERECTION
11. ALL EXTERIOR WALLS SHALL BE SUPPORTED ON CONTINUOUS SOLID OR FULLY GROUTED MASONRY OR CONCRETE FOOTINGS
12. LION AT ALL 3 1/2" x 10" HEADERS W/ 1/2" PLYWOOD BRACING
13. LION AT ALL 5 1/2" x 10" HEADERS W/ 2 1/2" PLYWOOD BRACING
14. RAFTERS ARE TO BE ATTACHED TO THE EXTERIOR WALL WITH HURRICANE STRAPS AND TO THE RIDGE BEAM WITH JOIST BRACKETS
15. THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS AND TECHNIQUES OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO INSURE THAT SAFE CONSTRUCTION PRACTICES ARE STRICTLY FOLLOWED.
16. DECK SPANS LOADING IS BASED ON 40 PSF LIVE LOAD AND 10 PSF DEAD LOAD USING SOUTHERN YELLOW PINE #2
17. STRUCTURAL FRAMING FOR PRESSURE TREATED WOOD DECK IS TO BE SOUTHERN YELLOW PINE #2

PROPOSED REAR  
ADDITION W/ CAR  
GARAGE

12738 LIMEKILN RD.  
HIGHLAND, MD 20777

PROJECT NAME:  
PATEL'S RESIDENCE

DATE: 07/22/20  
NO. OF SHEETS: 10  
SHEET NO.: 02

COVER SHEET

C.01





# WALL BRACE SCHEDULE

TABLE R802.10.5  
LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN A CONTINUOUSLY SHEATHED WALL

MINIMUM LENGTH OF BRACED WALL PANEL (inches)	MAXIMUM OPENING HEIGHT NEXT TO THE BRACED WALL PANEL (% of wall height)
8-foot wall	100%
48	85%
32	65%
24	

For SL 1 inch=25.4 mm, 1 foot=305mm, 1 pound per square foot =0.0479 kN/m<sup>2</sup>  
 a. Linear dimension shall be permitted  
 b. Full-height sheathed wall segments to either side of garage openings that support light frame roofs only, with roof covering dead loads of 3 psf or less shall be permitted to have a 4:1 aspect ratio.

## WALL BRACE SCHEDULE

- CS-MSP-1 (Continuously Sheathed, Wood structural panel)
  - 27" BRACED WALL PANELS
  - EXTERIOR FACE: 3/8" CS-WSP WALL STRUCTURAL PANEL W/ 8D COMMON NAIL (2"x0.113") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 GA. x 1-3/4 STAPLES AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)
  - INTERIOR FACE: 1/2" GYPSUM SHEATHING SEE IRC 2012 FOR NAILING PATTERN
- CS-MSP-2 (Continuously Sheathed, Wood structural panel)
  - 32" BRACED WALL PANELS
  - EXTERIOR FACE: 3/8" CS-WSP WALL STRUCTURAL PANEL W/ 8D COMMON NAIL (2"x0.113") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 GA. x 1-3/4 STAPLES AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)
  - INTERIOR FACE: 1/2" GYPSUM SHEATHING SEE IRC 2012 FOR NAILING PATTERN

## GENERAL NOTES

- DO NOT SCALE DRAWINGS. IN THE EVENT OF DIMENSIONAL DISCREPANCY, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL DIMENSIONS ARE FROM CENTERLINE OF COLUMN OR BEAM TO FACE OF STUD OR FURRING, OR FROM FACE OF STUD TO FACE OF STUD OR FURRING, UNLESS NOTED OTHERWISE, AND ARE BASED ON NOMINAL SIZES OF MATERIAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS TO INFORM ARCHITECT OF CONDITIONS WHICH MAY SUBSTANTIALLY AFFECT THE CONSTRUCTION AS SHOWN.
- ARCHITECTURAL DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED AS PART OF THE CONDITIONS FOR THE WORK. IN THE EVENT THAT CERTAIN FEATURES OF THE CONDITIONS OR AGREEMENTS AS WELL AS CURRENT ACCEPTABLE BUILDING PRACTICES AND STATE AND LOCAL GOVERN, AND THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.
- THE ARCHITECT WILL NOT BE RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR SCHEDULES, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT DOCUMENTS.
- CONTRACTOR SHALL FURNISH TO THE ARCHITECT SHOP DRAWINGS OF ALL THE PREFABRICATED COMPONENTS WITH ONE SET BEING RETURNED TO THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONFIGURATION OF ANY PREFABRICATED COMPONENT BE ADOPED DURING CONSTRUCTION FROM PREVIOUSLY APPROVED SHOP DRAWINGS. THE ARCHITECT SHALL BE FURNISHED PRIOR TO THE FABRICATION WITH REVISED SHOP DRAWINGS RECOGNIZING THE REVISIONS. THE ARCHITECT IS NOT PROVIDING WITH THE ABOVE INFORMATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE COSTS INCURRED ARISING OR ALLEGED TO HAVE ARISEN FROM PREFABRICATED ITEMS.
- ALL EXTERIOR AND INTERIOR WALL OPENINGS (TRADE PENETRATIONS, WINDOWS, DOORS, LOUVERS, ETC.) TO BE SEALED AROUND ENTIRE OPENING.
- PROVIDE LOOSE LINTELS IN ACCORDANCE WITH NOTES ON DRAWINGS AT WALLS AND MECHANICAL AND/OR ELECTRICAL OPENINGS.
- PROVIDE SUPPLEMENTARY SUPPORT AND/OR FRAMING FOR ALL LIGHTING FIXTURES AND CEILING DIFFUSERS AS REQUIRED. COORDINATE LOCATION OF LIGHT FIXTURES, CEILING DIFFUSERS, ETC., WITH EACH OTHER.
- CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

TABLE 1: MINIMUM LENGTH OF EXTERIOR BRACED WALL PANELS

Adjacent opening vertical dimension (in)	Minimum Length (in)					
	8 ft	9 ft	10 ft	11 ft	12 ft	12 ft
≤ 64	24	27	30	33	36	36
≤ 72	27	27	30	33	36	36
≤ 80	30	30	30	33	36	36
> 80	36	36	36	40	40	40

TABLE 2: REQUIRED LENGTH OF BRACING ALONG EACH SIDE OF A CIRCUMSCRIBED RECTANGLE

Exterior-Adjacent Height (feet)	Number of Bracing Rectangles	Required Length of Bracing on Front/Rear Side (feet)						Required Length of Bracing on Left/Right Side (feet)						
		10	12	14	16	18	20	10	12	14	16	18	20	
0	0	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0
10	0	3.5	4.5	5.5	6.5	7.5	8.5	9.5	10.5	11.5	12.5	13.5	14.5	15.5
2	0	5.0	6.5	8.0	9.5	11.0	12.5	14.0	15.5	17.0	18.5	20.0	21.5	23.0
15	0	6.5	8.5	10.5	12.5	14.5	16.5	18.5	20.5	22.5	24.5	26.5	28.5	30.5
20	0	8.0	10.5	13.0	15.5	18.0	20.5	23.0	25.5	28.0	30.5	33.0	35.5	38.0
1	1	4.5	5.5	6.5	7.5	8.5	9.5	10.5	11.5	12.5	13.5	14.5	15.5	16.5
2	1	6.2	8.2	10.2	12.2	14.2	16.2	18.2	20.2	22.2	24.2	26.2	28.2	30.2

## WALL BRACE DISTRIBUTION SCHEDULE

WM No.	LENGTH	WALL HEIGHT	Eave to RH	REQ. BRACING	PROVIDED
1	15'-0"	8'-0"	9'-0"	4'-0"	8'-0"
2	15'-0"	8'-0"	9'-0"	4'-0"	4'-0"
A	18'-0"	8'-0"	9'-0"	4'-0"	8'-0"
B	18'-0"	8'-0"	9'-0"	4'-0"	6'-0"

## CORNER BRACING

Corners of braced wall lines with continuous sheathing must be framed as shown in Figure 22.

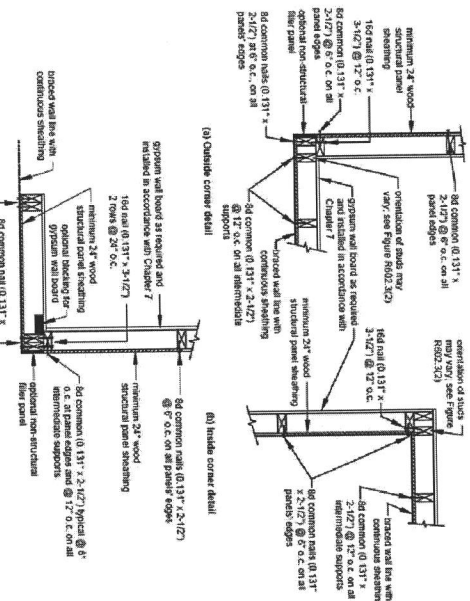


FIGURE 22: CORNER FRAMING REQUIREMENTS FOR CONTINUOUS SHEATHING

3. All codes sections above reference the 2006 Virginia Residential Code.

**A.05**

DATE: 07/23/20

PROJECT: PATTEL'S RESIDENCE

WALL BRACING DETAILS, SCHEDULE AND NOTES

PROPOSED REAR ADDITION W/ GARAGE  
 12738 LIMEKILN RD.  
 HIGHLAND, MD 20777

PATEL'S RESIDENCE

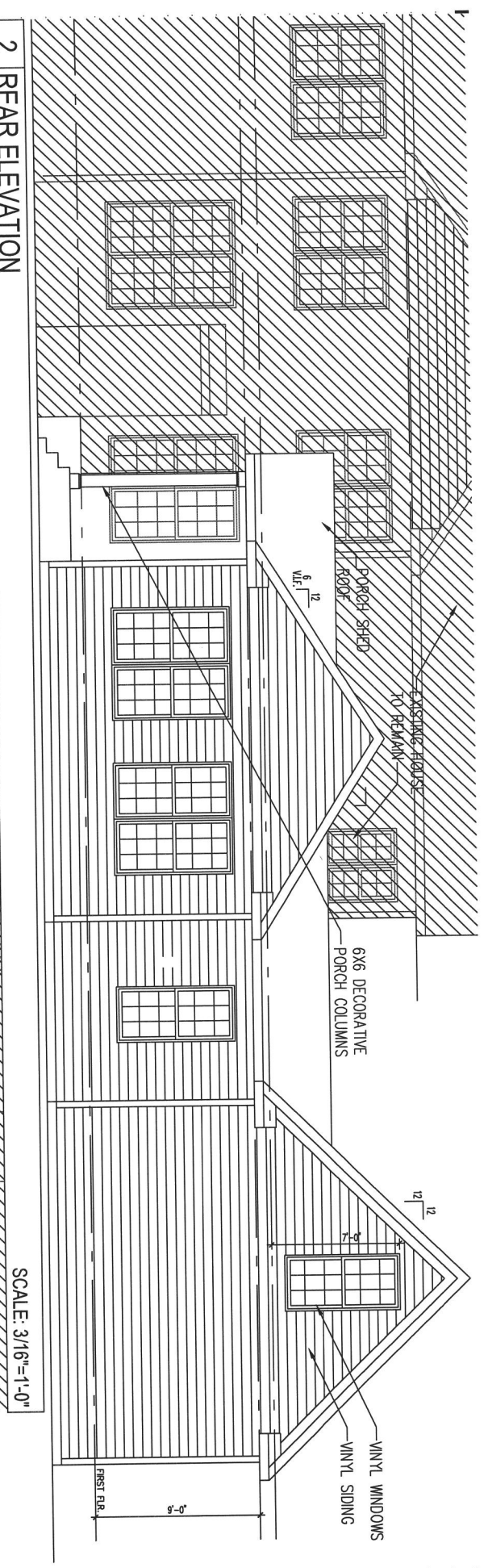
DATE: 07/23/20

PROJECT: PATTEL'S RESIDENCE

WALL BRACING DETAILS, SCHEDULE AND NOTES

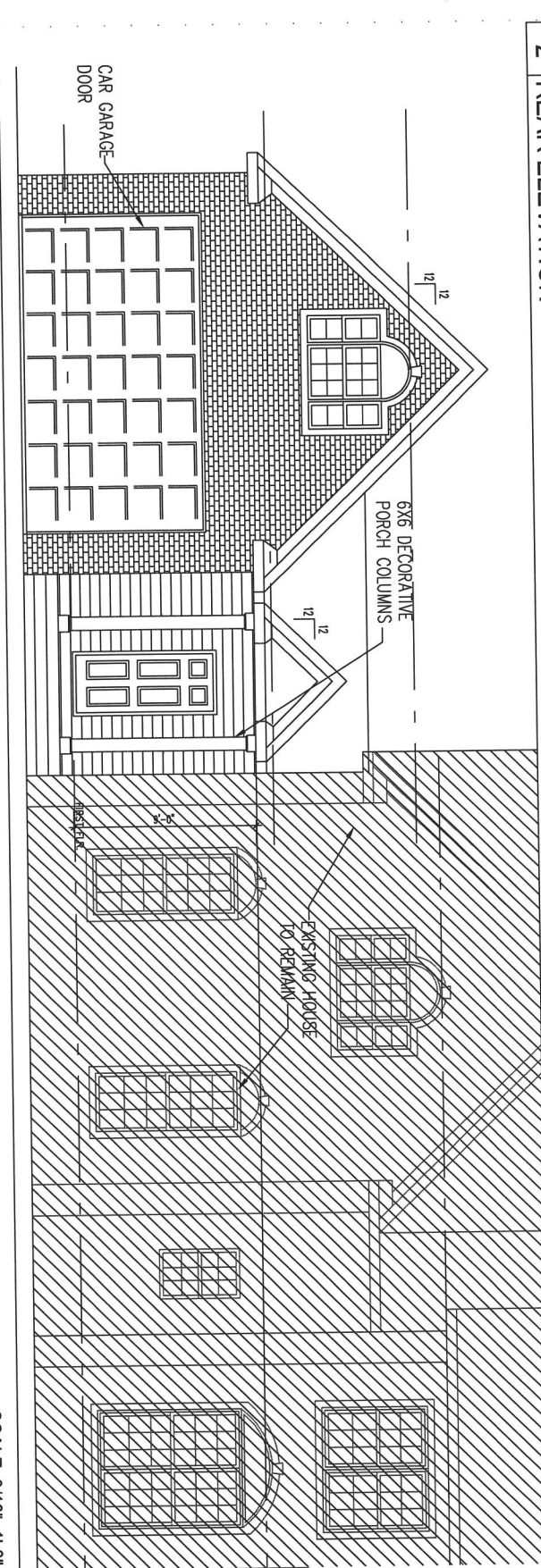
**A.05**

2 REAR ELEVATION



SCALE: 3/16"=1'-0"

1 FRONT ELEVATION

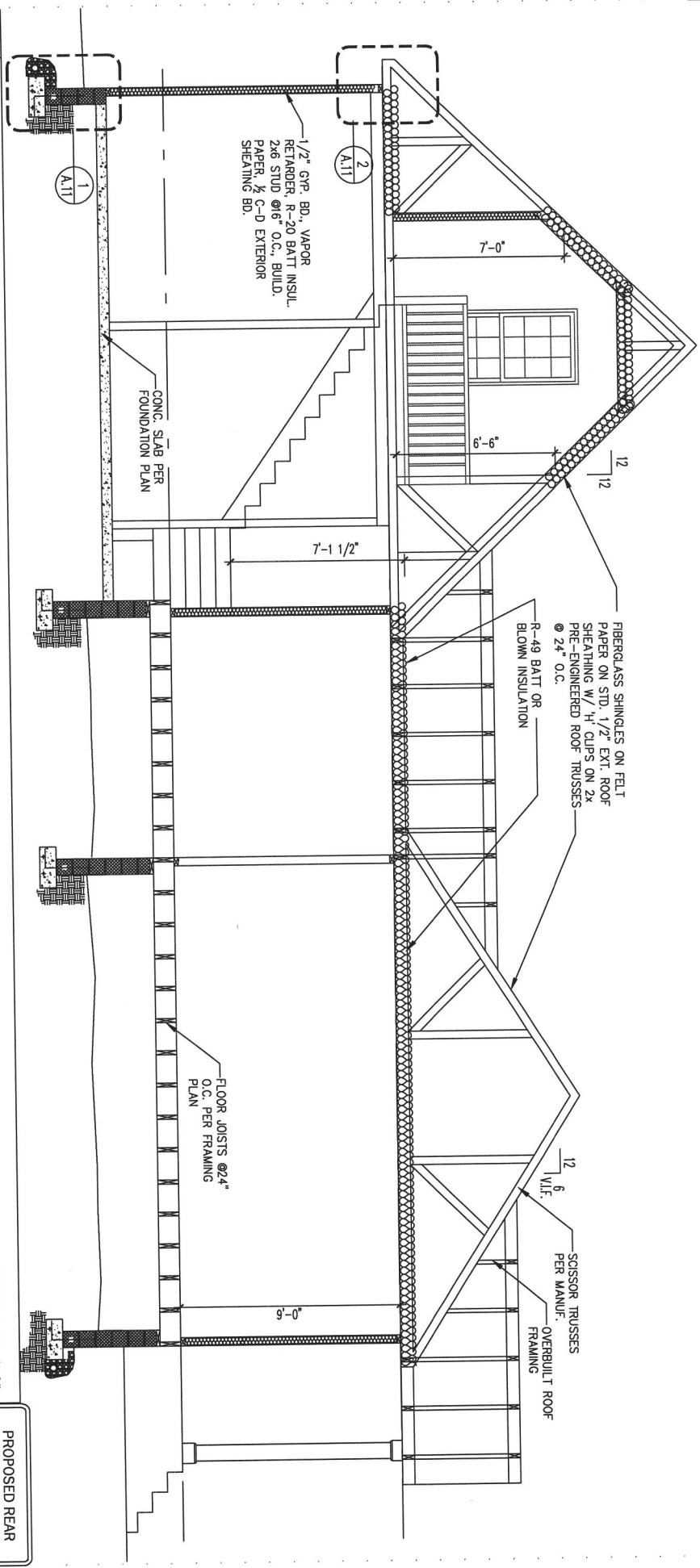


SCALE: 3/16"=1'-0"

<p>PROPOSED REAR ADDITION W/ CAR GARAGE</p> <p>12738 LIMEKILN RD. HIGHLAND, MD 20777</p>	
<p>PROJECT NAME: PATEL'S RESIDENCE</p>	<p>DATE: 08/20/20</p>
<p>DRAWN BY: [Name]</p>	<p>SCALE: [Scale]</p>
<p>SHEET TITLE: ELEVATIONS</p>	
<p><b>A.06</b></p>	



# 1 FRONT ELEVATION



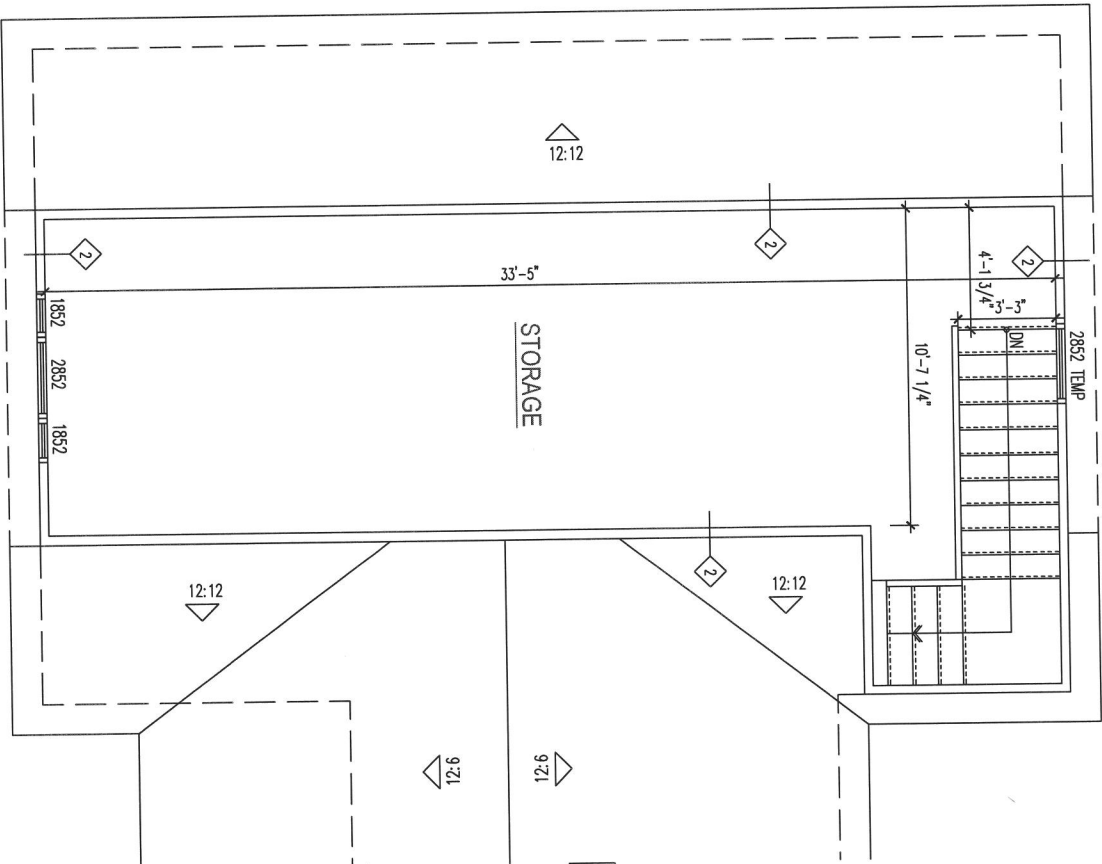
SCALE: 1/4"=1'-0"

PROPOSED REAR  
ADDITION W/ CAR  
GARAGE  
12738 LIMEKILN RD.  
HIGHLAND, MD 20777

PROJECT NAME:	PATEL'S RESIDENCE
OWNER:	
DESIGNED BY:	
DATE:	
REVISIONS:	
NO.	SCALE:
SHEET TITLE:	
BUILDING SECTION	
SHEET NO.:	
A.08	

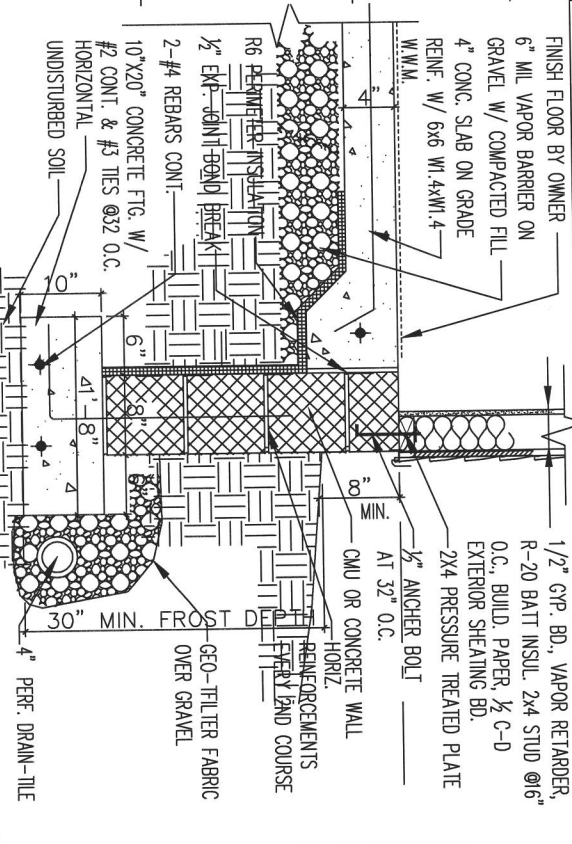
# 1 ATTIC FLOOR PLAN

SCALE: 1/4"=1'-0"



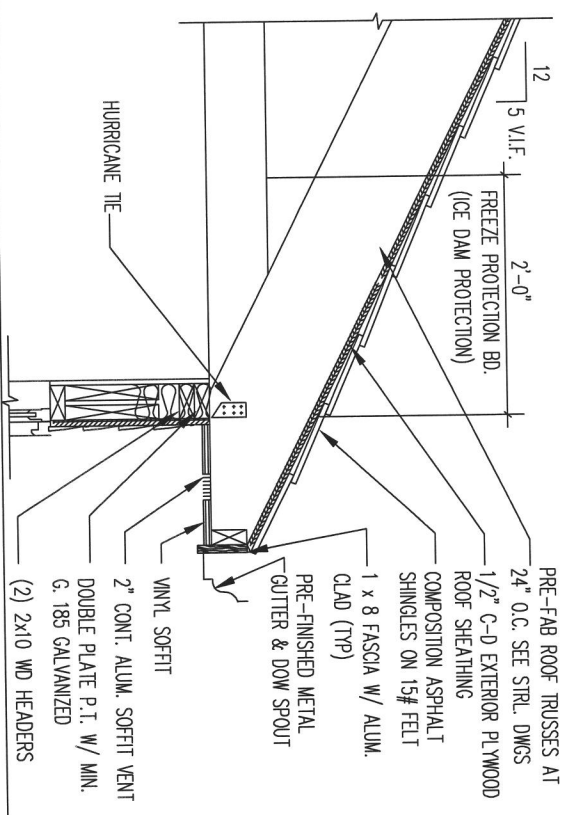
# 2 OVERHANG DETAIL (TYP.)

SCALE: 1"=1'-0"



# 3 OVERHANG DETAIL (TYP.)

SCALE: 1"=1'-0"



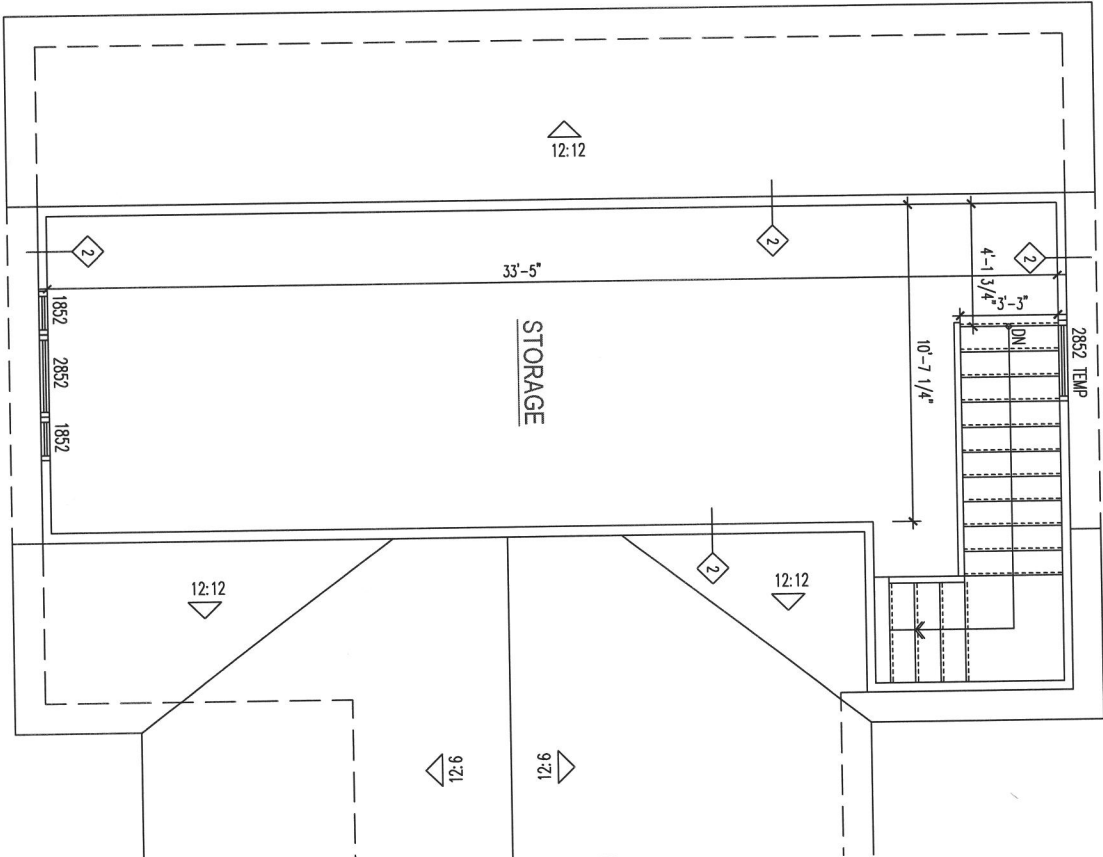
**FOUNDATION NOTE:**  
MIN. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 2500 PSI

**PROPOSED REAR ADDITION W/ CAR GARAGE**  
12738 LIMEKILN RD.  
HIGHLAND, MD 20777

**PROJECT NAME:** PATEL'S RESIDENCE  
**OWNER:** 07/23/20  
**DATE:** 07/23/20  
**SCALE:** SHEET TITLE: DETAILS  
**A.09**

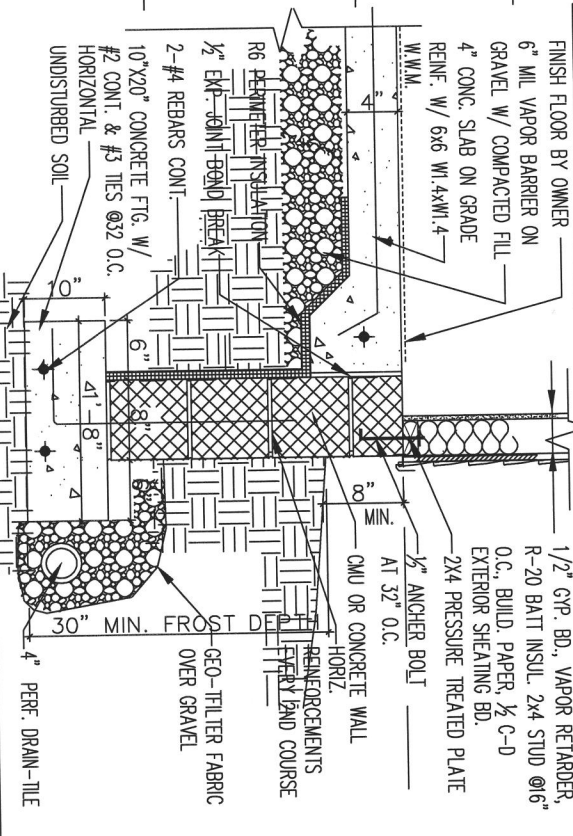
1 ATTIC FLOOR PLAN

SCALE: 1/4"=1'-0"



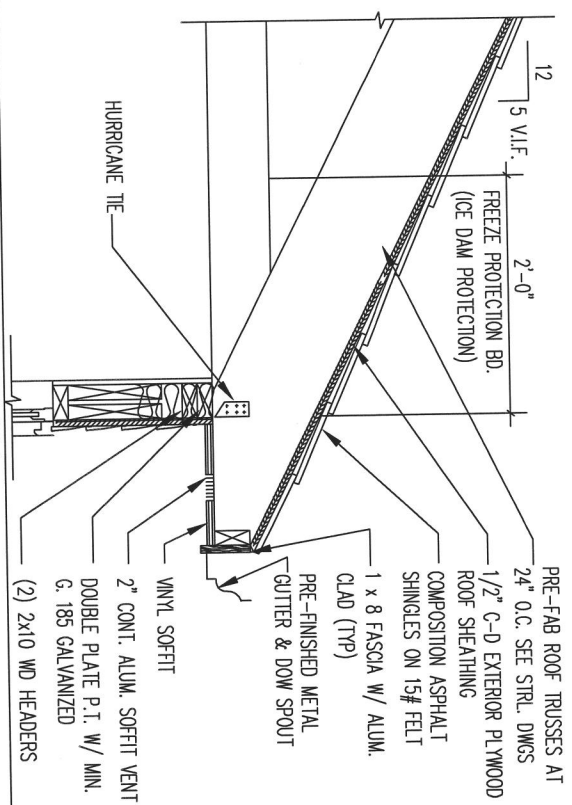
2 OVERHANG DETAIL (TYP.)

SCALE: 1"=1'-0"



3 OVERHANG DETAIL (TYP.)

SCALE: 1"=1'-0"



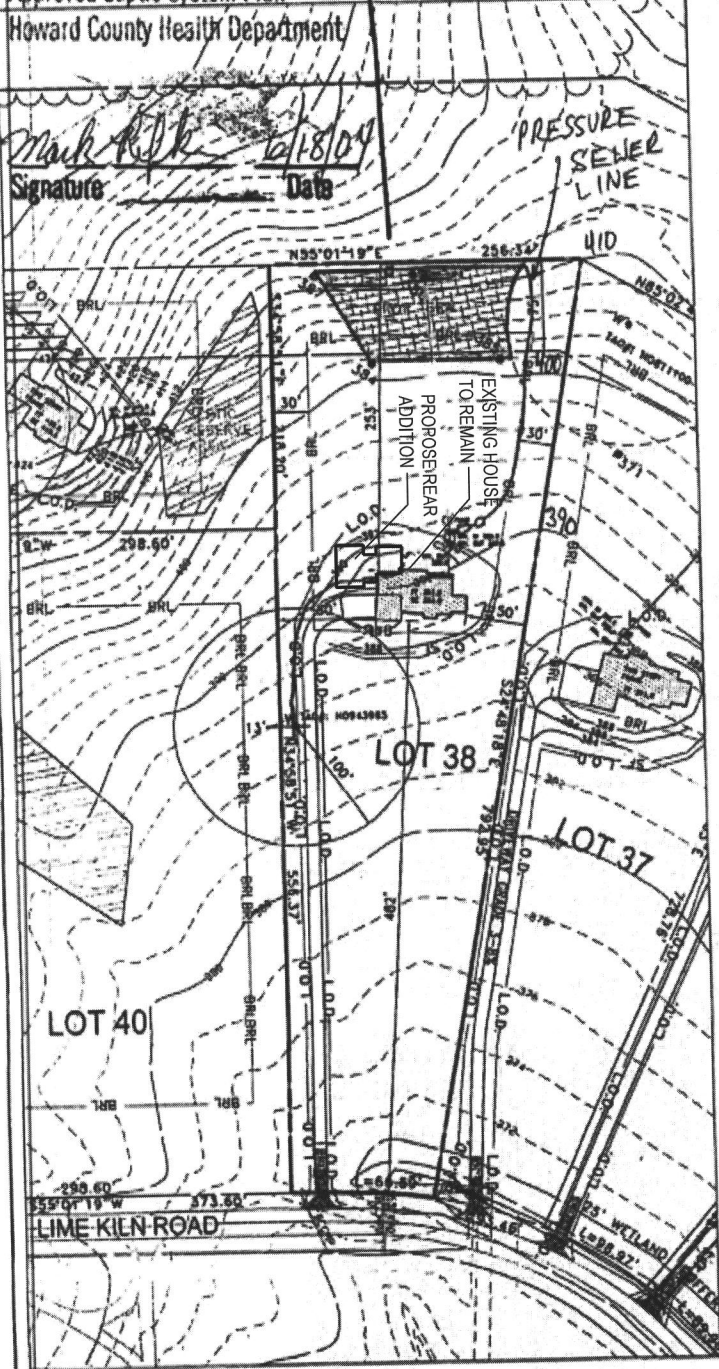
FOUNDATION NOTE:  
MIN. COMPRESSIVE  
STRENGTH OF  
CONCRETE SHALL BE  
2500 PSI

PROPOSED REAR  
ADDITION W/ CAR  
GARAGE  
12738 LIMEKILN RD.  
HIGHLAND, MD 20777

PATTEL'S RESIDENCE  
NO. 12738 LIMEKILN RD.  
HIGHLAND, MD 20777  
DATE: 07/23/20  
SHEET TITLE: DETAILS  
**A.09**

Approved Septic System Plan  
Howard County Health Department

*Mark R. K...*  
Signature  
6/18/04  
Date

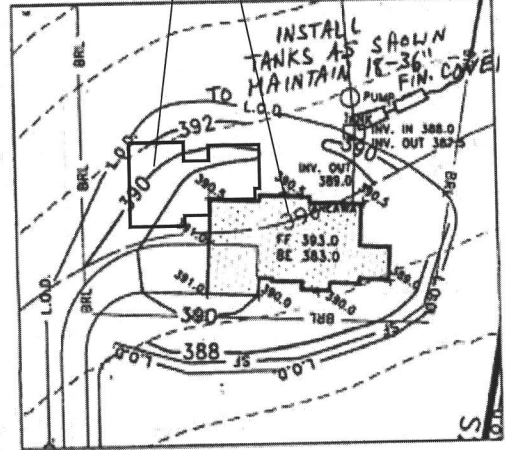
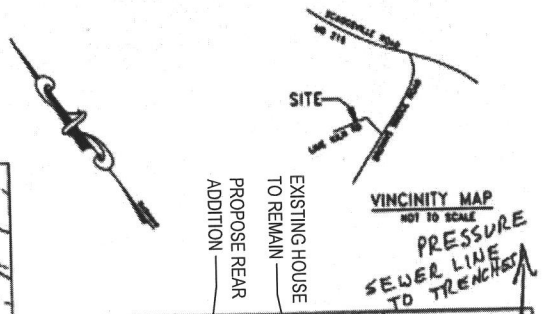


SCALE: 1"=100'

TOPOGRAPHY PROVIDED BY  
HOWARD COUNTY



KCW Engineering Technologies, Inc.  
3106 Lord Baltimore Drive, Suite 110  
Baltimore, Maryland 21244  
Tele (410) 281-0033



HOUSE INSERT  
SCALE: 1"=50'

LEGEND

- 396 — EXISTING CONTOUR
- 396 — PROPOSED CONTOUR
- ⊙ EXISTING WELL
- ⊙ PROPOSED WELL
- ▨ PROPOSED SEPTIC RESERVE ARC
- BRL — BUILDING RESTRICTION LINE
- L.O.D. — LIMIT OF DISTURBANCE
- S.F. — PROPOSED SILT FENCE PER H.C.S.C.D. DETAIL E-15
- PROPOSED SCE PER H.C.S.C.D. DETAIL F-17-3

NOTE

1. DRIVEWAY CONSTRUCTION SHALL DISTURB ONLY THAT WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY.
2. EJECTOR PUMP BASEMENT
3. THE WELL LOCATION SHOWN ON THIS PLAN (TAG# H0943965) HAS BEEN FIELD LOCATED BY KCW ENGINEERING TECHNOLOGIES PROFESSIONAL LAND SURVEYOR(S) AND IS ACCURATELY SHOWN.

PAVING SPECIFICATIONS  
3" BIT CONC.  
6" CR-6

OWNER  
POTOMAC ELECTRIC POWER CO  
1900 PENNSYLVANIA AVE. N.W.  
WASHINGTON D.C. 20068  
BUILDER  
ALTIERI HOMES, INC.  
9017 RED BRANCH ROAD, SUI. 20  
COLUMBIA, MD 21045

PLAT TO ACCOMPANY BUILDING PERMIT  
FOR  
LIME KILN VALLEY  
LOT 38, LIME KILN ROAD



8-foot wall	9-foot wall	10-foot wall	(% of wall height)
48	54	60	100%
32	36	40	85%
24	27	27	65%

For SL 1 inch= 25.4 mm. 1 foot=305mm. 1 pound per square foot =0.0479 kN/m<sup>2</sup>

a. Linear interpolation shall be permitted

b. Full-height sheathed wall segments to either side of garage openings that support light frame roofs only, with roof covering dead loads of 3 psf or less shall be permitted to have a 4:1 aspect ratio.

## WALL BRACE SCHEDULE

### CS-WSP-1 (Continuously Sheathed, Wood structural panel)

#### 27" BRACED WALL PANELS

##### EXTERIOR FACE:

3/8" CS-WSP WALL STRUCTURAL PANEL W/ 6D COMMON NAIL (2"x0.113") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 GA. x 1-3/4 STAPLES: AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)

##### INTERIOR FACE:

1/2" GYPSUM SHEATHING SEE IRC 2012 FOR NAILING PATTERN

### CS-WSP-2 (Continuously Sheathed, Wood structural panel)

#### 32" BRACED WALL PANELS

##### EXTERIOR FACE:

3/8" CS-WSP WALL STRUCTURAL PANEL W/ 6D COMMON NAIL (2"x0.113") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 GA. x 1-3/4 STAPLES: AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)

##### INTERIOR FACE:

1/2" GYPSUM SHEATHING SEE IRC 2012 FOR NAILING PATTERN

## GENERAL NOTES

1. DO NOT SCALE DRAWINGS. IN THE EVENT OF DIMENSIONAL DISCREPANCY, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.

2. ALL DIMENSIONS ARE FROM CENTERLINE OF COLUMN OR BEAM TO FACE OF STUD OR FURRING; OR FROM FACE OF STUD TO FACE OF STUD OR FURRING, UNLESS NOTED OTHERWISE, AND ARE BASED ON NOMINAL SIZES OF MATERIAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

3. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY ON THE GENERAL CONTRACTOR AND HIS SUBCONTRACTOR. CONTRACTOR TO INFORM ARCHITECT OF CONDITIONS WHICH MAY SUBSTANTIALLY AFFECT THE CONSTRUCTION AS SHOWN.

4. ARCHITECTURAL DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED AS PART OF THE CONDITIONS FOR THE WORK. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, CURRENT NATIONAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS OR AGREEMENTS AS WELL AS CURRENT ACCEPTABLE BUILDING PRACTICES SHALL GOVERN, AND THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.

5. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CLIENT OR HIS CONTRACTORS, SUBCONTRACTORS, OR ANYONE PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT DOCUMENTS.

6. CONTRACTOR SHALL FURNISH TO THE ARCHITECT SHOP DRAWINGS OF ALL THE PREFABRICATED COMPONENTS WITH ONE SET BEING RETAINED BY THE ARCHITECT. ITEMS REQUIRING SHOP DRAWING REVIEW INCLUDE, BUT ARE NOT LIMITED TO ROOF TRUSSES, FLOOR TRUSSES AND STAIRS. SHOULD THE DESIGN OR CONFIGURATION OF ANY PREFABRICATED COMPONENT BE MODIFIED DURING CONSTRUCTION FROM PREVIOUSLY APPROVED SHOP DRAWINGS, THE ARCHITECT SHALL BE FURNISHED, PRIOR TO THE FABRICATION, WITH REVISED SHOP DRAWINGS INCORPORATING THE REVISION. IF THE ARCHITECT IS NOT PROVIDED WITH THE ABOVE INFORMATION, THE CLIENT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIM OR SUITE WHATSOEVER, INCLUDING BUT NOT LIMITED TO, ALL PAYMENTS, EXPENSES, COSTS INCLUDED, ARISING OR ALLEGED TO HAVE ARISEN FROM PREFABRICATED ITEMS.

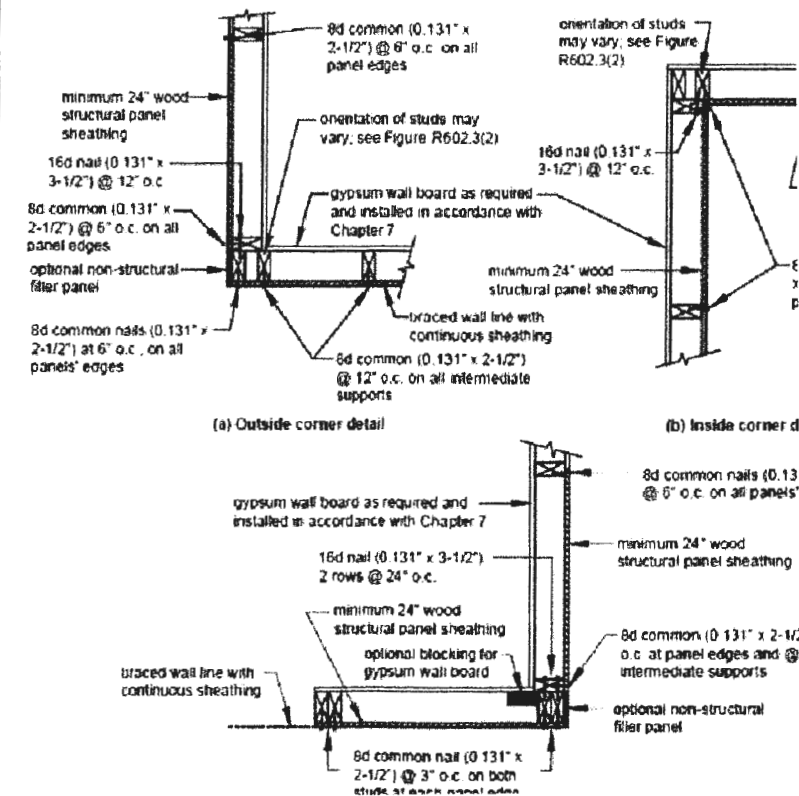
7. ALL EXTERIOR AND INTERIOR WALL OPENINGS (TRADE PENETRATIONS, WINDOWS, DOORS, LOUVERS, ETC.) TO BE SEALED AROUND ENTIRE OPENING.

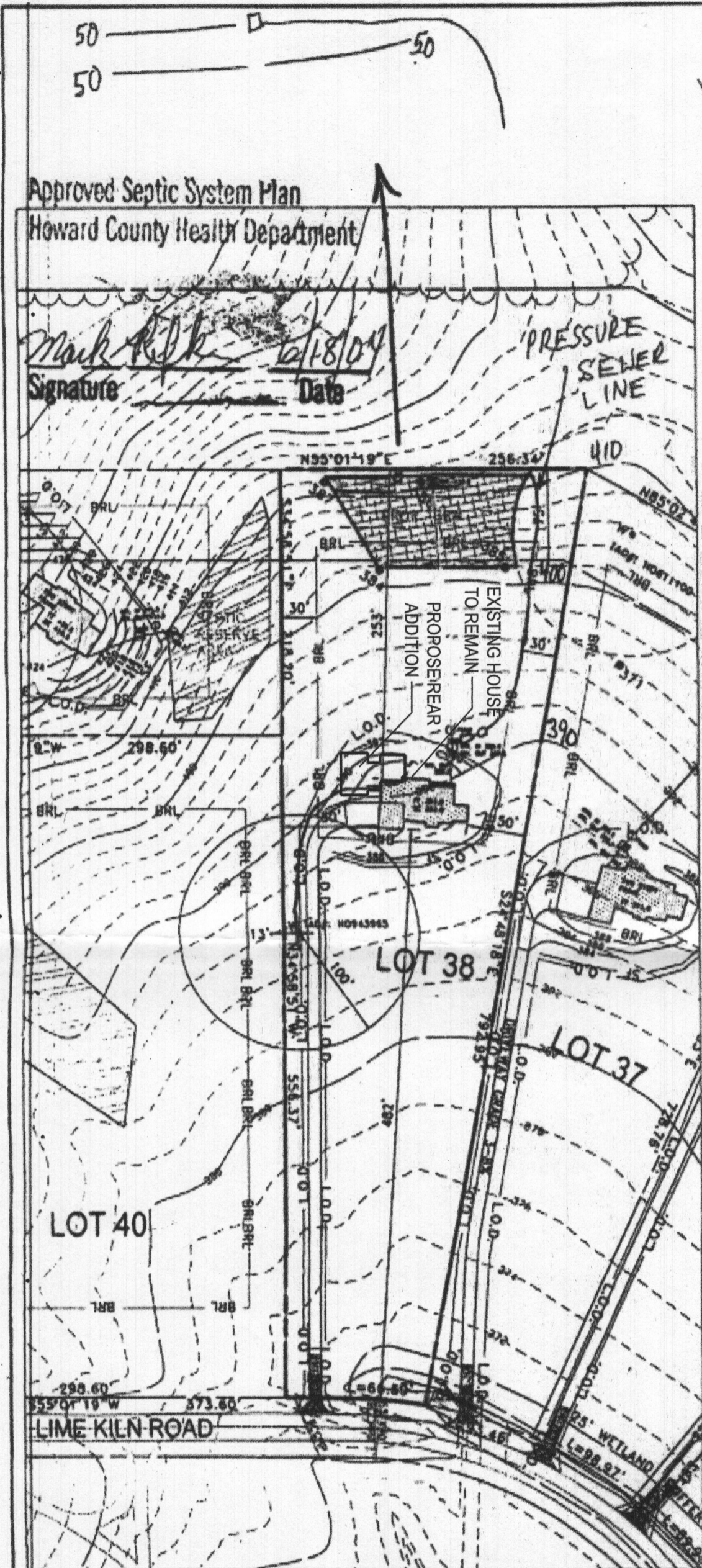
8. PROVIDE LOOSE LINTELS IN ACCORDANCE WITH NOTES ON DRAWINGS AT WALLS AND MECHANICAL AND OR ELECTRICAL OPENINGS.

9. PROVIDE SUPPLEMENTARY SUPPORT AND, OR FRAMING FOR ALL LIGHTING FIXTURES AND CEILING DIFFUSERS AS REQUIRED. COORDINATE LOCATION OF LIGHT FIXTURES, CEILING DIFFUSERS, ETC. WITH EACH OTHER.

### CORNER FRAMING

Corners of braced wall lines with continuous sheathing must be framed as shown



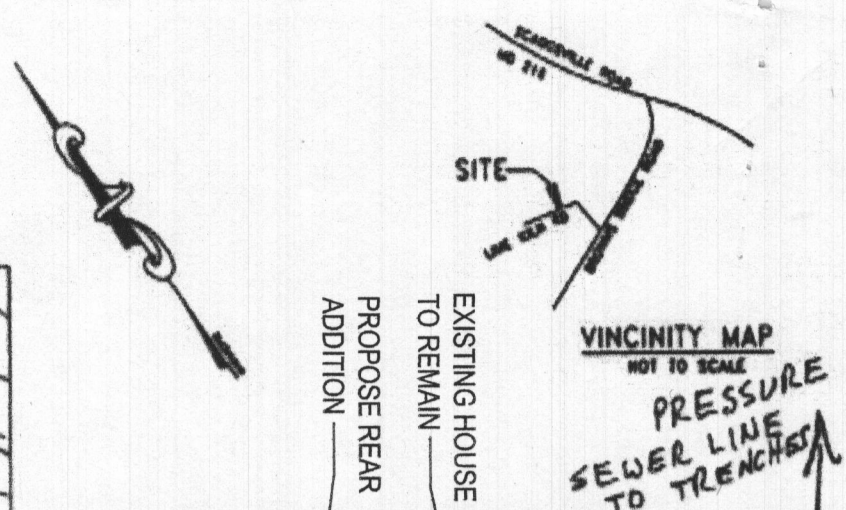


Approved Septic System Plan  
Howard County Health Department

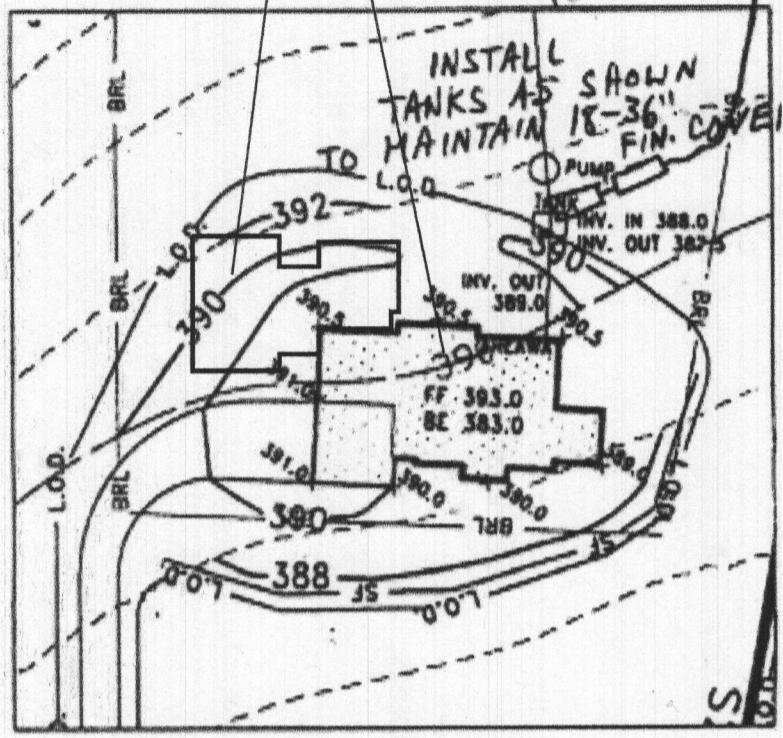
*Mark Elk* 6/18/04  
Signature Date

SCALE: 1"=100'

TOPOGRAPHY PROVIDED BY  
HOWARD COUNTY



VINCINITY MAP  
NOT TO SCALE  
PRESSURE  
SEWER LINE  
TO TRENCHES



HOUSE INSERT  
SCALE: 1"=50'

LEGEND

- 396 — EXISTING CONTOUR
- 396 — PROPOSED CONTOUR
- ⊗ EXISTING WELL
- ⊙ PROPOSED WELL
- ▨ PROPOSED SEPTIC RESERVE AREA
- BRL — BUILDING RESTRICTION LINE
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- S.F. — PROPOSED SILT FENCE PER H.C.S.C.D. DETAIL E-15
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2. EJECTOR PUMP BASEMENT
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OWNER  
POTOMAC ELECTRIC POWER CO  
1900 PENNSYLVANIA AVE. N.W.  
WASHINGTON D.C. 20068

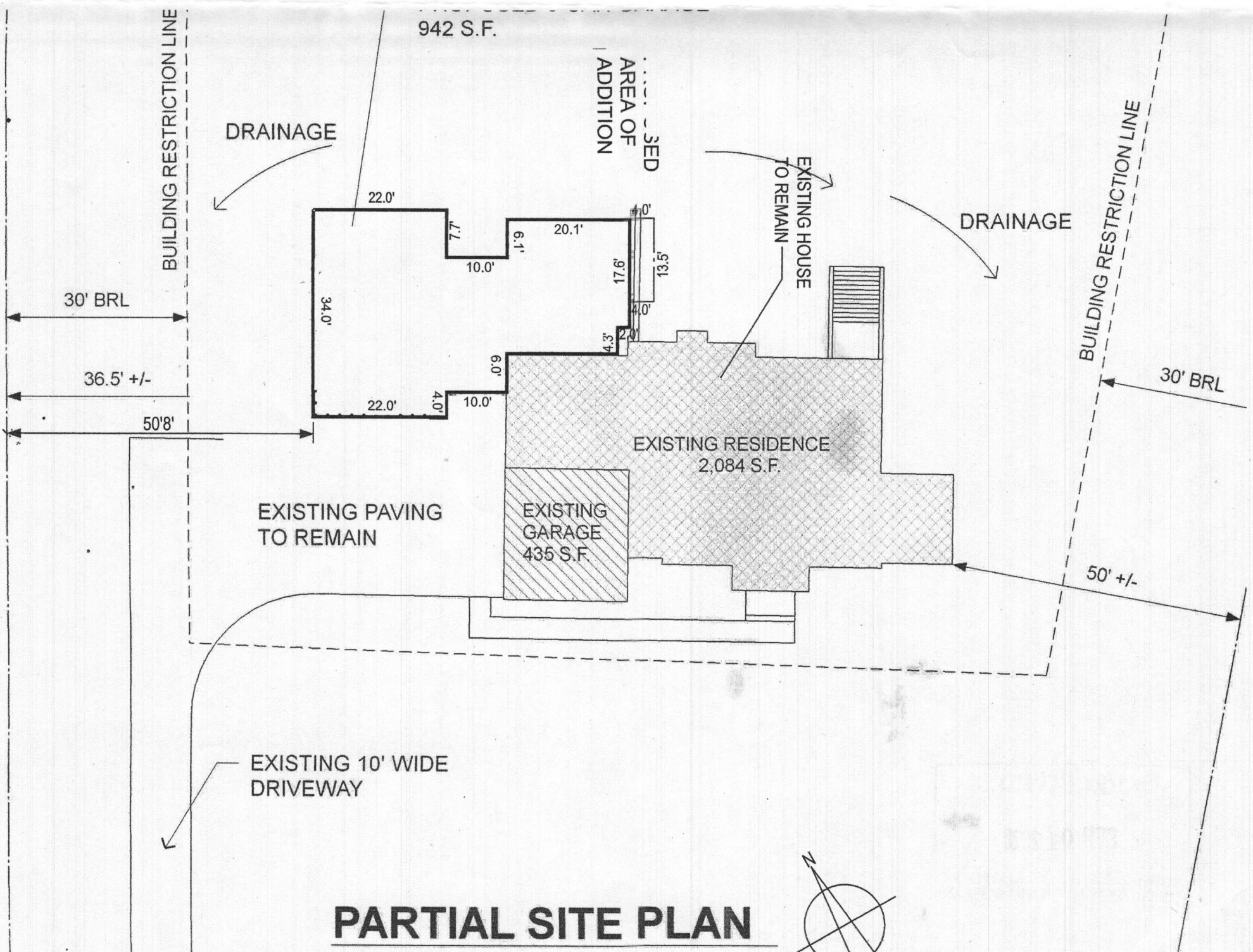
BUILDER  
ALTIERI HOMES, INC.  
9017 RED BRANCH ROAD, SUI. 20  
COLUMBIA, MD 21045

PAVING  
SPECIFICATIONS  
3" BIT CONC.  
6" CR-6



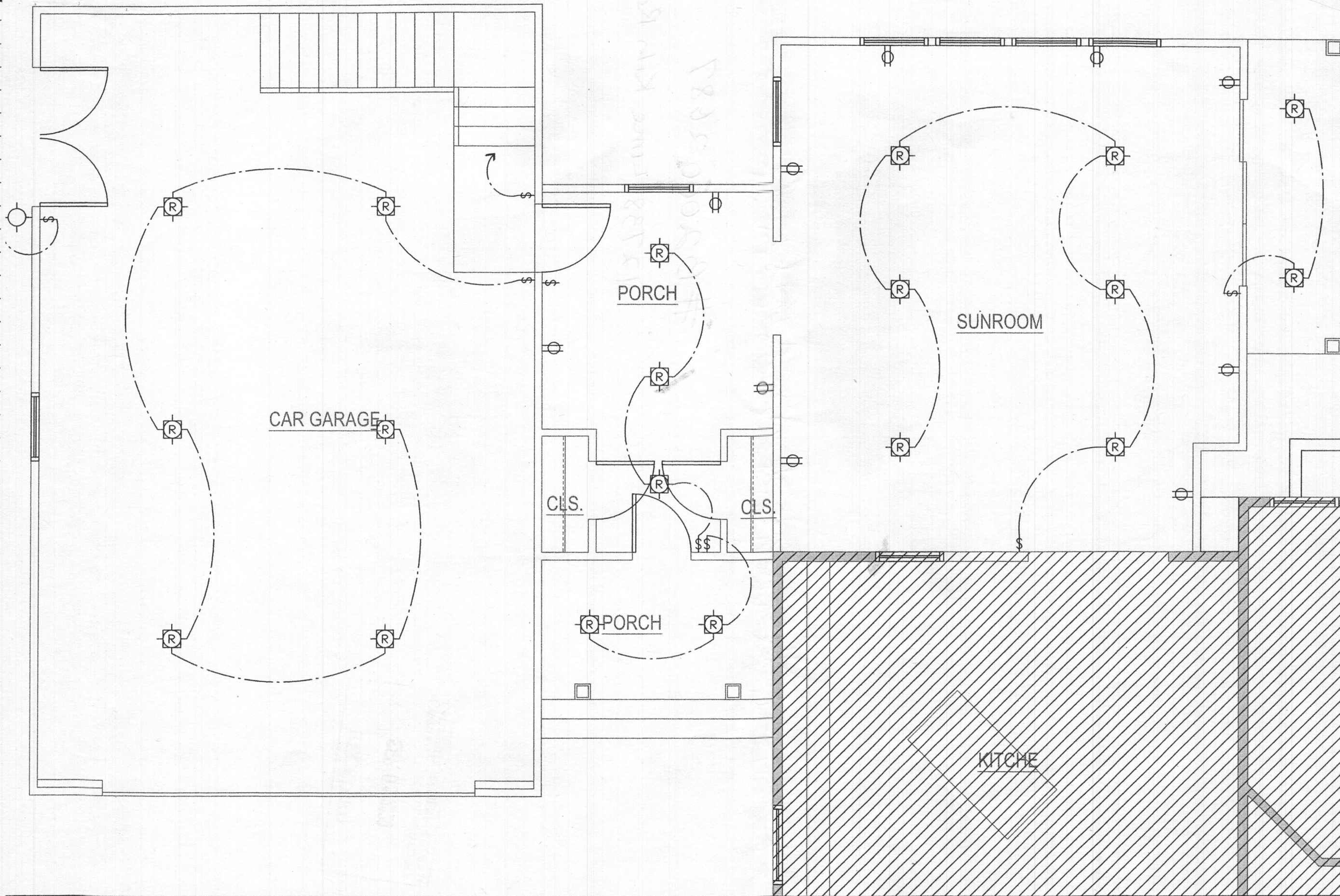
KCW Engineering Technologies, Inc.  
3106 Lord Baltimore Drive, Suite 110  
Baltimore, Maryland 21244  
Tele (410) 281-0033

PLAT TO ACCOMPANY BUILDING PERMIT  
FOR  
LIME KILN VALLEY  
LOT 38, LIME KILN ROAD



**PARTIAL SITE PLAN**

SCALE: 1:20'



**ELECTRICAL SYMBOLS**

- § SINGLE POLE SWITCH
- §<sub>3</sub> THREE POLE SWITCH
- ⊕ DUPLEX OUTLET
- ⊕ WP/GFI WEATHER PROOF OUTLET W/ GROUND FAULT INTERRUPTER
- ⊕ CEILING LIGHT FIXTURE
- ⊕ RECESSED CEILING LIGHT FIXTURE
- ⊕ WALL LIGHT FIXTURE

NOTE:  
 IRC E3802.11 PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION (AFCI) FOR ALL BRANCH CIRCUIT SERVING 15 AND 20 AMP RECEPTACLES INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S)

PROPOSED REAR ADDITION W/ CAR GARAGE  
 12738 LIMEKILN RD.  
 HIGHLAND, MD 20777

PROJECT NAME: <b>PATEL'S RESIDENCE</b>	
DRAWING: RR	DATE: 07.22.20
CHECKED: RR	SCALE
SHEET TITLE: <b>PROPOSED ELECTRICAL PLAN</b>	
SHEET <b>E.01</b>	