

T NUMBER: B

20002687

DATE ACCEPTED:

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS *REQUIRED*

Street Address: 12738 LIME KILN RD		Unit:
City: HIGHLAND	State: MD	Zip Code: 20777
Subdivision/Village/Complex Name:		SDP/WP/BA #:
Lot: 38	Tax Map: 0040	Parcel: 0490
Grading Permit #:		

DESCRIPTION OF WORK *REQUIRED*

Existing Use: RESIDENTIAL	Proposed Use: RESIDENTIAL	Estimated Cost: \$40,000.00
Trade Work to Be Completed (<i>Separate Permits Required</i>): <input checked="" type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
Rear addition include a new Sun Room with exterior side and front porch. Car garage with loft area on 2nd floor. and foyer area with two closets.		

PROPERTY OWNER INFORMATION *REQUIRED*

Owner(s) Name(s) (<i>As it appears on tax records</i>): PATEL HEMA		Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 12738 LIME KILN RD.		
City: HIGHLAND	State: MD	Zip Code: 20777
Phone: (240) 988-9248	Email: patelmu1@gmail.com	

APPLICANT NAME *REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION*

Business Name: RUSSELL RAMIREZ		Contact Name: RUSSELL RAMIREZ
Street Address: 6927 BARRETT RD.		
City: FALLS CHURCH	State: VA	Zip Code: 22042
Phone: (202) 746-6488	Email: RUSSRAM1@AOL.COMZ	

CONTRACTOR INFORMATION *REQUIRED*

Business Name: N/A (OWNER)		RECEIVED AUG 10 2020 LICENSES & PERMITS DIVISION
Licensee's Name:		
License #:		
Street Address:		
City:	State:	
Phone:	Email:	

ARCHITECT/ENGINEER INFORMATION *INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE*

Business Name: N/A		Name:
Street Address:		
City:	State:	Zip Code:
Phone:	Email:	

BUILDING CHARACTERISTICS *REQUIRED*

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input type="checkbox"/> Private (Well)
Sewage Disposal: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private (Septic)	Heating System: <input type="checkbox"/> Electric <input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:
Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #	Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None
Fire Alarm System: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac	

ADDITIONAL RESIDENTIAL INFORMATION (*PLEASE SELECT/COMPLETE ALL THAT APPLY*)

Model Name & Options: BRICK AND SIDING				
# of Bedrooms (SF): 4	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 3	# Full Baths: 3	# Half Baths: 1	# Fireplaces: 1	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input checked="" type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1 st Fl Width:	1 st Fl Depth:	2 nd Fl Width:	2 nd Fl Depth:	Bsmt Width: Bsmt Depth:
Energy Method: <input type="checkbox"/> Prescriptive <input checked="" type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI	Gross Area: sq ft	Occupiable Area: sq ft		

AGREEMENT/ DISCALIMER *REQUIRED*

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Hema Patel
APPLICANT'S ORIGINAL SIGNATURE

7/31/20
DATE SIGNED

FOR OFFICE USE: ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

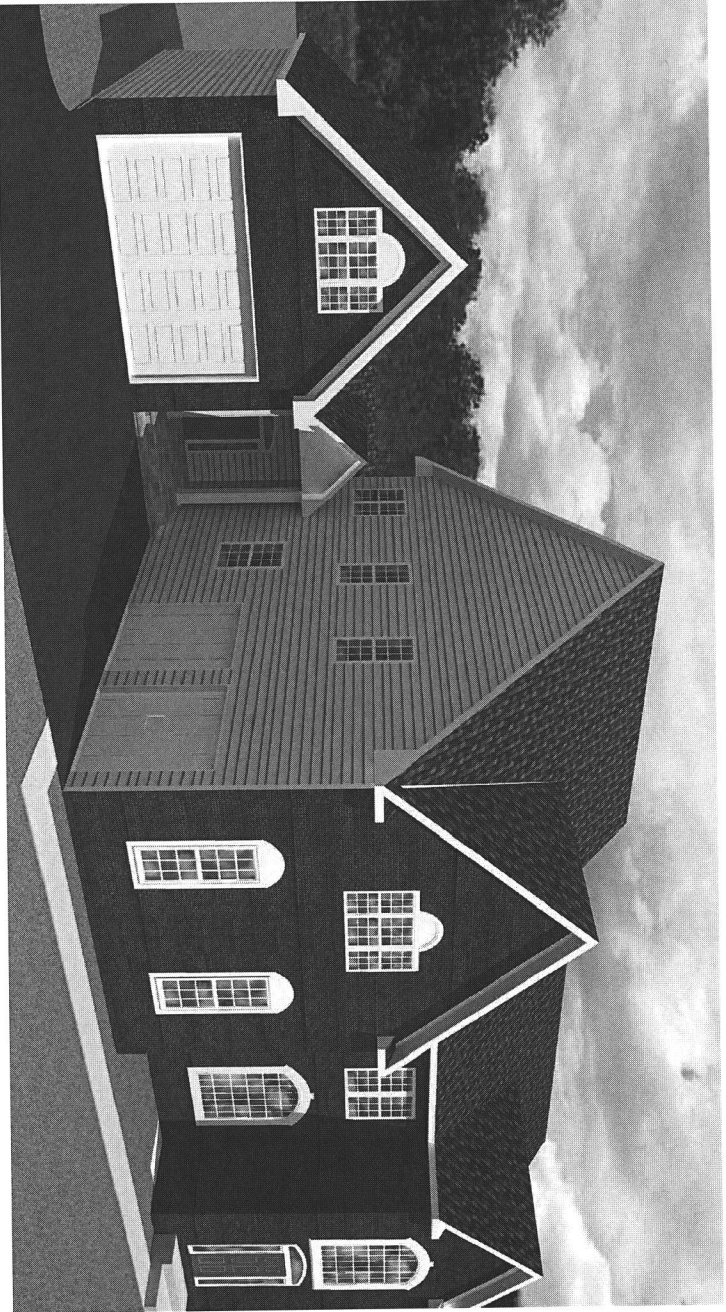
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SUBMITTAL FEES: 25	PAYMENT: 25	ACCEPTED BY: <i>Prop Box</i>
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*ck # 252 *Gravel for the rear*

REAR AND SIDE ADDITION WITH NEW CAR GARAGE

PATEL'S FAMILY RESIDENCE
12738 LIME KILN RD., HIGHLAND, MD 20777



DESIGN CRITERIA SPECIFICATION

1. USE IRC-2015 WITH SUPPLEMENTS COUNTY AMENDMENTS
2. FLOOR LOADS - 40 PSF
3. WIND DESIGN BASIC WIND SPEED 90 MPH
4. SOIL VALUE: SOIL BEARING VALUE IS ASSUMED 1500 PSF. THE CONTRACTOR SHALL FIELD VERIFY THE ASSUMED VALUE AND NOTIFY ARCHITECT APPROXIMATELY 24 HOURS BEFORE THE FIRST FOOTINGS ARE TO BE POURED
5. FOOTINGS, BOTTOM OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-0" BELOW FINISHED GRADE.
6. ALL CONC. USED FOR FOUNDATIONS TO BE 3000 PSI AT 28 DAYS.
7. REINFORCING STEEL: REINFORCING STEEL IN FOOTINGS SHALL BE 3" MIN. CONCRETE PROTECTION FOR REINFORCING STEEL IN FOOTINGS SHALL BE 3" MIN.
8. SILL PLATES ON THE TOP OF FOUNDATION WALL SHALL BE SECURED WITH MIN. 1/2" ANCHOR BOLTS SET AT 6 FEET ON CENTER MAXIMUM AND WITH MIN. 6" SPACES FROM THE ENDS OF EACH PLATE SECTION, BUT NOT CLOSER THAN 3" TO END OF PLATE. THE BOLTS SHALL EXTEND MIN. 7" INTO CONCRETE ON MASONRY.
9. CONCRETE AND MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MIN. OF 4" WHERE MASONRY VENEER IS USED AND A MIN. OF 6" ELSEWHERE.
10. TIMBER, ALL FRAMING SHALL BE AS SPECIFIED ON FLOOR PLANS, LINTELS, BEAMS, JOISTS AND ROOF TRUSSES. A SHOP DRAWINGS FROM FABRICATORS WILL BE SUBMITTED FOR APPROVAL PRIOR TO ERECTION
11. ALL EXTERIOR WALLS SHALL BE SUPPORTED ON CONTINUOUS SOLID OR FULLY GROUTED MASONRY OR CONCRETE FOOTINGS
12. LION AT ALL 3 1/2" x 10" HEADERS W/ 1/2" PLYWOOD BRACING
13. LION AT ALL 5 1/2" x 10" HEADERS W/ 2 1/2" PLYWOOD BRACING
14. RAFTERS ARE TO BE ATTACHED TO THE EXTERIOR WALL WITH HURRICANE STRAPS AND TO THE RIDGE BEAM WITH JOIST BRACKETS
15. THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS AND TECHNIQUES OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO INSURE THAT SAFE CONSTRUCTION PRACTICES ARE STRICTLY FOLLOWED.
16. DECK SPANS LOADING IS BASED ON 40 PSF LIVE LOAD AND 10 PSF DEAD LOAD USING SOUTHERN YELLOW PINE #2
17. STRUCTURAL FRAMING FOR PRESSURE TREATED WOOD DECK IS TO BE SOUTHERN YELLOW PINE #2

DESIGN BY:
RRARCO, LLC
6927 BARRETT RD., FALLS
CHURCH, VA 22042
C: 202.746.6488
OWNER AGENT:
PATEL HEMA
ADDRESS:
12738 LIME KILN RD.
HIGHLAND, MD 20777

APPLICABLE CODES
2018 IRC/IECC

INDEX OF DRAWINGS
C.01 - COVER SHEET
A.01 - 1ST FLOOR PLAN
A.02 - FOUNDATION PLAN
A.03 - ROOF FRAMING PLAN
A.04 - WALL BRACING PLAN
A.05 - WALL BRACING PLAN
DETAILS AND NOTES
A.06 - FRONT & REAR ELEVATIONS
A.07 - SIDE ELEVATIONS
A.08 - BUILDING SECTION
A.09 - DETAILS
E.01 - ELECTRICAL PLAN

PROPOSED REAR
ADDITION W/ CAR
GARAGE
12738 LIMEKILN RD.
HIGHLAND, MD 20777

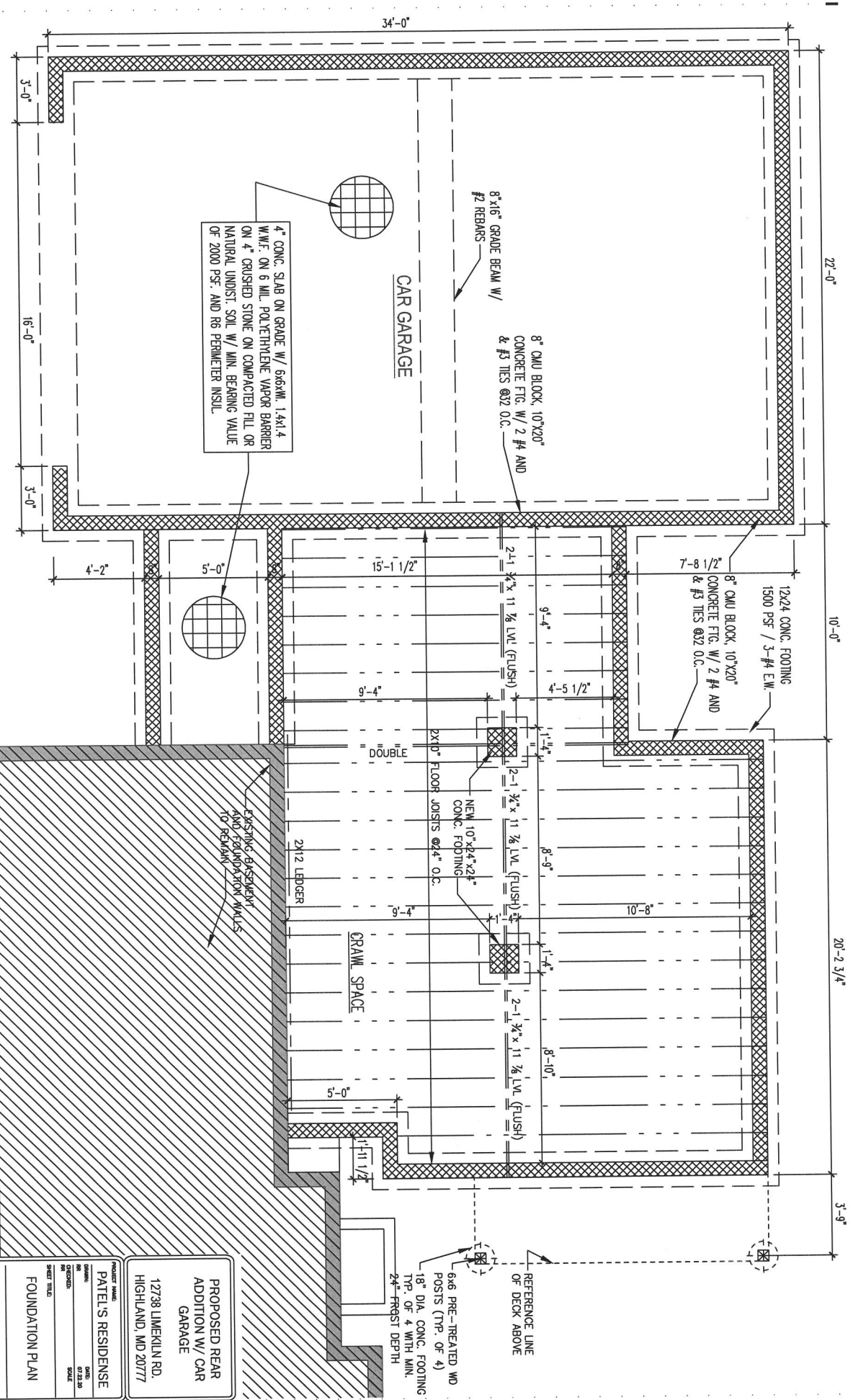
PROJECT NAME:
PATEL'S RESIDENCE
DATE: 07/22/20
NO. OF SHEETS: 10
SHEET NO.: 01
SHEET TITLE:
COVER SHEET
SCALE:
DATE:
C.01

1 FOUNDATION PLAN

SCALE: 1/4"=1'-0"

PROPOSED REAR ADDITION W/ CAR GARAGE 12738 LIMEKILN RD. HIGHLAND, MD 20777	
PROJECT NAME: PATEL'S RESIDENCE	DATE: 07/22/20
DRAWN BY: [REDACTED]	CHECKED BY: [REDACTED]
SCALE: 1/4"=1'-0"	SHEET TITLE: FOUNDATION PLAN

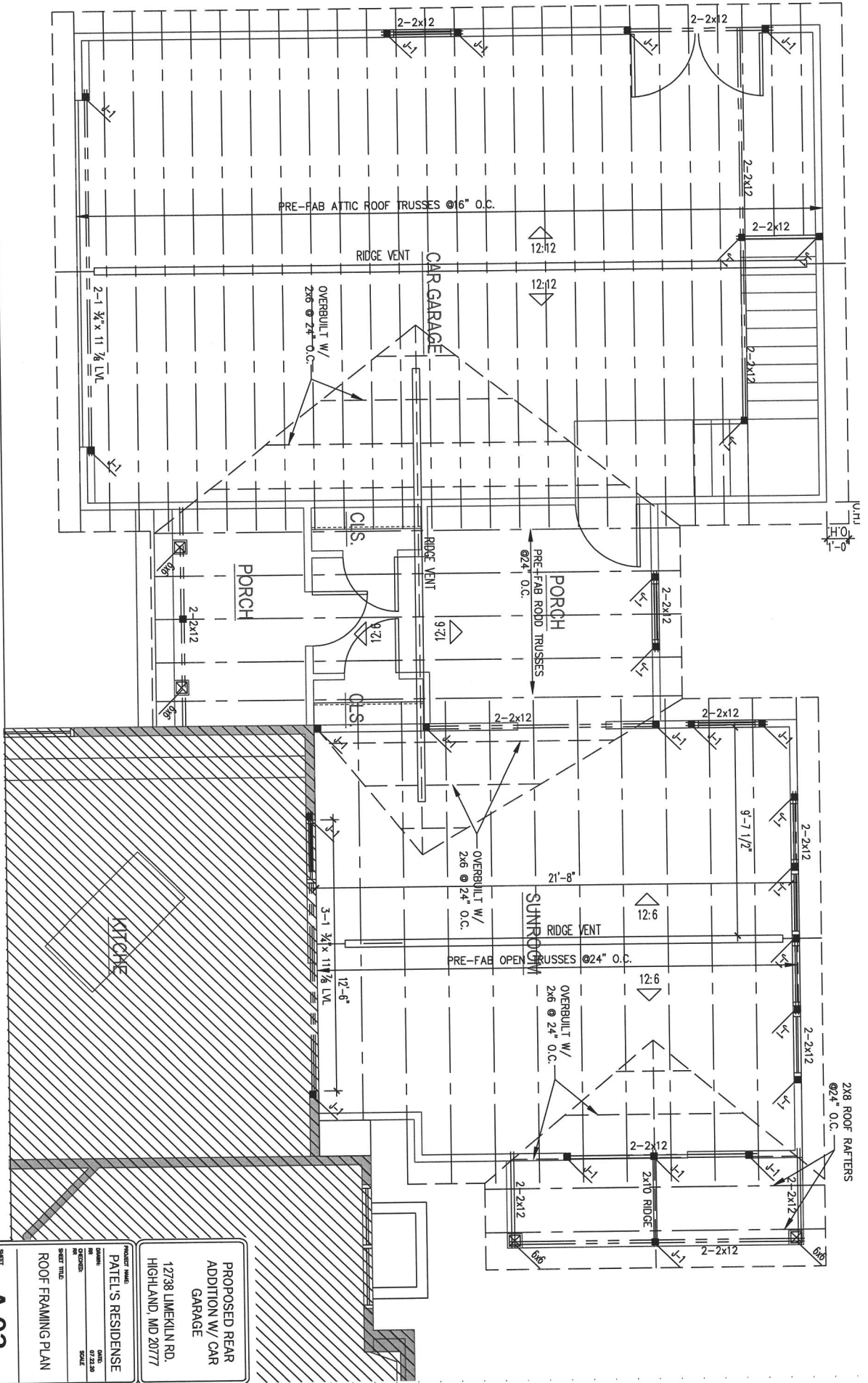
A.02



1 PROPOSED ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

SHEET	A.03	PROPOSED REAR ADDITION W/ CAR GARAGE
		12738 LIMEKILN RD. HIGHLAND, MD 20777
PROJECT NUMBER	PATEL'S RESIDENCE	
OWNER		
DESIGNED BY		
DATE		
SCALE		
SHEET TITLE	ROOF FRAMING PLAN	



WALL BRACE SCHEDULE

TABLE R802.10.5
LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN A CONTINUOUSLY SHEATHED WALL

MINIMUM LENGTH OF BRACED WALL PANEL (inches)	MAXIMUM OPENING HEIGHT NEXT TO THE BRACED WALL PANEL (% of wall height)
8-foot wall	100%
48	85%
32	65%
24	

For S1, 1 inch=25.4 mm, 1 foot=305mm, 1 pound per square foot =0.0479 kN/m²
 a. Linear dimension shall be permitted
 b. Full-height sheathed wall segments to either side of garage openings that support light frame roofs only, with roof covering dead loads of 3 psf or less shall be permitted to have a 4:1 aspect ratio.

WALL BRACE SCHEDULE

- CS-MSP-1 (Continuously Sheathed, Wood structural panel)
 - 27" BRACED WALL PANELS
 - EXTERIOR FACE: 3/8" CS-WSP WALL STRUCTURAL PANEL W/ 8D COMMON NAIL (2"x0.113") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 GA. x 1-3/4 STAPLES AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)
 - INTERIOR FACE: 1/2" GYPSUM SHEATHING SEE IRC 2012 FOR NAILING PATTERN
- CS-MSP-2 (Continuously Sheathed, Wood structural panel)
 - 32" BRACED WALL PANELS
 - EXTERIOR FACE: 3/8" CS-WSP WALL STRUCTURAL PANEL W/ 8D COMMON NAIL (2"x0.113") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 GA. x 1-3/4 STAPLES AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)
 - INTERIOR FACE: 1/2" GYPSUM SHEATHING SEE IRC 2012 FOR NAILING PATTERN

GENERAL NOTES

- DO NOT SCALE DRAWINGS. IN THE EVENT OF DIMENSIONAL DISCREPANCY, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL DIMENSIONS ARE FROM CENTERLINE OF COLUMN OR BEAM TO FACE OF STUD OR FURRING, OR FROM FACE OF STUD TO FACE OF STUD OR FURRING, UNLESS NOTED OTHERWISE, AND ARE BASED ON NOMINAL SIZES OF MATERIAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS CONTRACTOR TO INFORM ARCHITECT OF CONDITIONS WHICH MAY SUBSTANTIALLY AFFECT THE CONSTRUCTION AS SHOWN.
- ARCHITECTURAL DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED AS PART OF THE CONDITIONS FOR THE WORK. IN THE EVENT THAT CERTAIN FEATURES OF THE CONDITIONS OR AGREEMENTS AS WELL AS CURRENT ACCEPTABLE BUILDING PRACTICES AND STATE AND LOCAL GOVERN, AND THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.
- THE ARCHITECT WILL NOT BE RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR SCHEDULES, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT DOCUMENTS.
- CONTRACTOR SHALL FURNISH TO THE ARCHITECT SHOP DRAWINGS OF ALL THE PREFABRICATED COMPONENTS WITH ONE SET BEING RETURNED TO THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY PREFABRICATED COMPONENT BE ADOPED DURING CONSTRUCTION FROM PREVIOUSLY APPROVED SHOP DRAWINGS. THE ARCHITECT SHALL BE FURNISHED, PRIOR TO THE FABRICATION, WITH REVISED SHOP DRAWINGS RECOGNIZING THE REVISIONS. THE ARCHITECT IS NOT PROVIDING WITH THE ABOVE INFORMATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE COSTS INCURRED ARISING OR ALLEGED TO HAVE ARISEN FROM PREFABRICATED ITEMS.
- ALL EXTERIOR AND INTERIOR WALL OPENINGS (TRADE PENETRATIONS, WINDOWS, DOORS, LOUVERS, ETC.) TO BE SEALED AROUND ENTIRE OPENING.
- PROVIDE LOOSE LINTELS IN ACCORDANCE WITH NOTES ON DRAWINGS AT WALLS AND MECHANICAL AND/OR ELECTRICAL OPENINGS.
- PROVIDE SUPPLEMENTARY SUPPORT AND/OR FRAMING FOR ALL LIGHTING FIXTURES AND CEILING DIFFUSERS AS REQUIRED. COORDINATE LOCATION OF LIGHT FIXTURES, CEILING DIFFUSERS, ETC., WITH EACH OTHER.
- CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

TABLE 1: MINIMUM LENGTH OF EXTERIOR BRACED WALL PANELS

Adjacent opening vertical dimension (in)	Minimum Length (in)					
	8 ft	9 ft	10 ft	11 ft	12 ft	12 ft
≤ 64	24	27	30	33	36	36
≤ 72	27	27	30	33	36	36
≤ 80	30	30	30	33	36	36
> 80	36	36	36	40	40	40

TABLE 2: REQUIRED LENGTH OF BRACING ALONG EACH SIDE OF A CIRCUMSCRIBED RECTANGLE

Exterior Height (feet)	Number of Bracing Sides	Required Length of Bracing on Front/Rear Side (feet)						Required Length of Bracing on Left/Right Side (feet)															
		10	12	14	16	18	20	10	12	14	16	18	20										
0	0	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0	11.5	12.0	
10	0	3.5	4.5	5.5	6.5	7.5	8.5	9.5	10.5	11.5	12.5	13.5	14.5	15.5	16.5	17.5	18.5	19.5	20.5	21.5	22.5	23.5	24.5
20	0	5.0	6.5	8.0	9.5	11.0	12.5	14.0	15.5	17.0	18.5	20.0	21.5	23.0	24.5	26.0	27.5	29.0	30.5	32.0	33.5	35.0	36.5
15	1	4.0	5.0	6.0	7.0	8.0	9.0	10.0	11.0	12.0	13.0	14.0	15.0	16.0	17.0	18.0	19.0	20.0	21.0	22.0	23.0	24.0	25.0
20	1	5.5	7.0	8.5	10.0	11.5	13.0	14.5	16.0	17.5	19.0	20.5	22.0	23.5	25.0	26.5	28.0	29.5	31.0	32.5	34.0	35.5	37.0
20	2	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0	11.5	12.0	12.5
20	1	4.5	5.5	6.5	7.5	8.5	9.5	10.5	11.5	12.5	13.5	14.5	15.5	16.5	17.5	18.5	19.5	20.5	21.5	22.5	23.5	24.5	25.5
20	2	6.2	7.5	8.8	10.1	11.4	12.7	14.0	15.3	16.6	17.9	19.2	20.5	21.8	23.1	24.4	25.7	27.0	28.3	29.6	30.9	32.2	33.5

WALL BRACE DISTRIBUTION SCHEDULE

1ST FLOOR	WM No.	LENGTH	WALL HEIGHT	Eave to RH	REQ. BRACING	PROVIDED
	1	15'-0"	8'-0"	9'-0"	4'-0"	8'-0"
	2	15'-0"	8'-0"	9'-0"	4'-0"	4'-0"
	A	18'-0"	8'-0"	9'-0"	4'-0"	8'-0"
	B	18'-0"	8'-0"	9'-0"	4'-0"	6'-0"

CORNER BRACING

Corner of braced wall lines with continuous sheathing must be framed as shown in Figure 22.

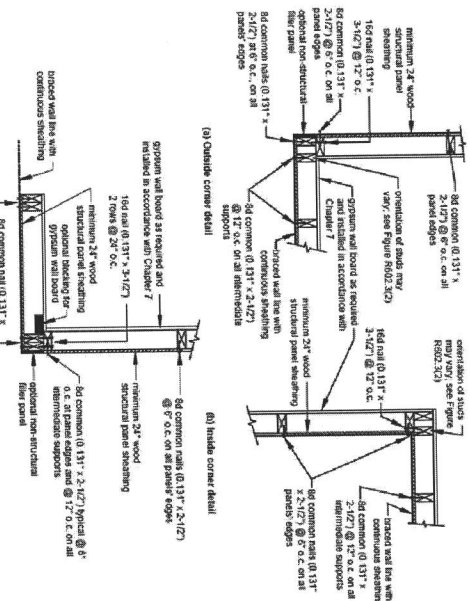


FIGURE 22: CORNER FRAMING REQUIREMENTS FOR CONTINUOUS SHEATHING

3. All codes sections above reference the 2009 Virginia Residential Code.

A.05

DATE: 07/23/20

PROJECT: WALL BRACING DETAILS SCHEDULE AND NOTES

PROPOSED REAR ADDITION W/ GARAGE

12738 LIMEKILN RD. HIGHLAND, MD 20777

PATEL'S RESIDENCE

PROJECT NO: 072230

DATE: 07/23/20

PROJECT: WALL BRACING DETAILS SCHEDULE AND NOTES

DATE: 07/23/20

PROJECT: WALL BRACING DETAILS SCHEDULE AND NOTES

DATE: 07/23/20

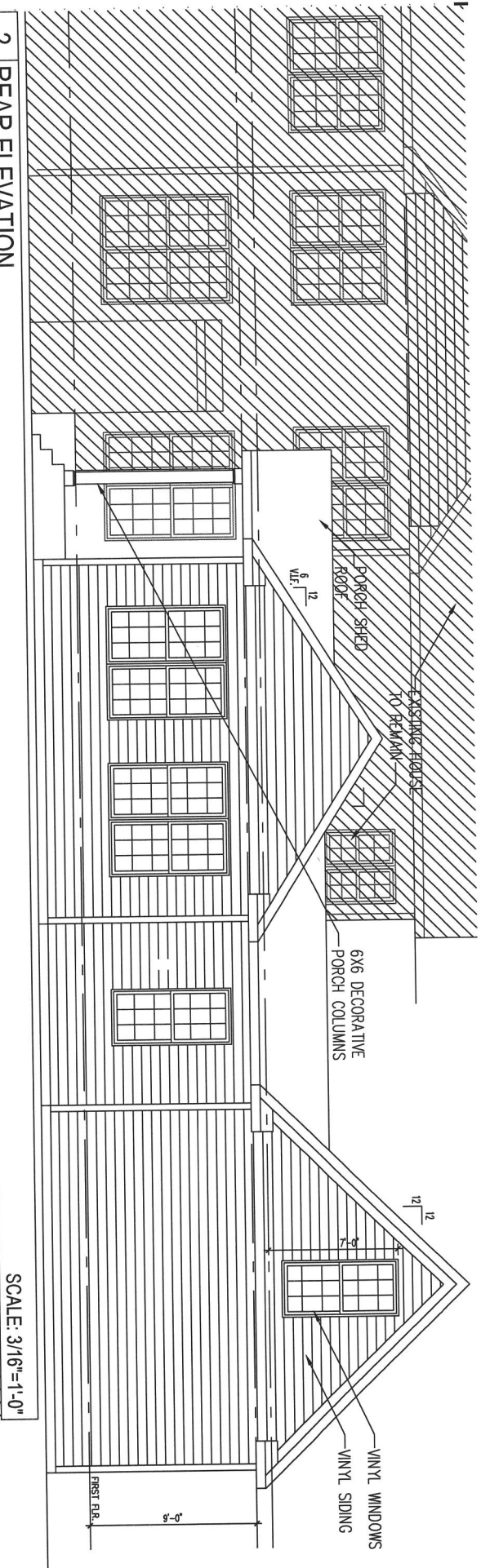
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DATE: 07/23/20

PROJECT: WALL BRACING DETAILS SCHEDULE AND NOTES

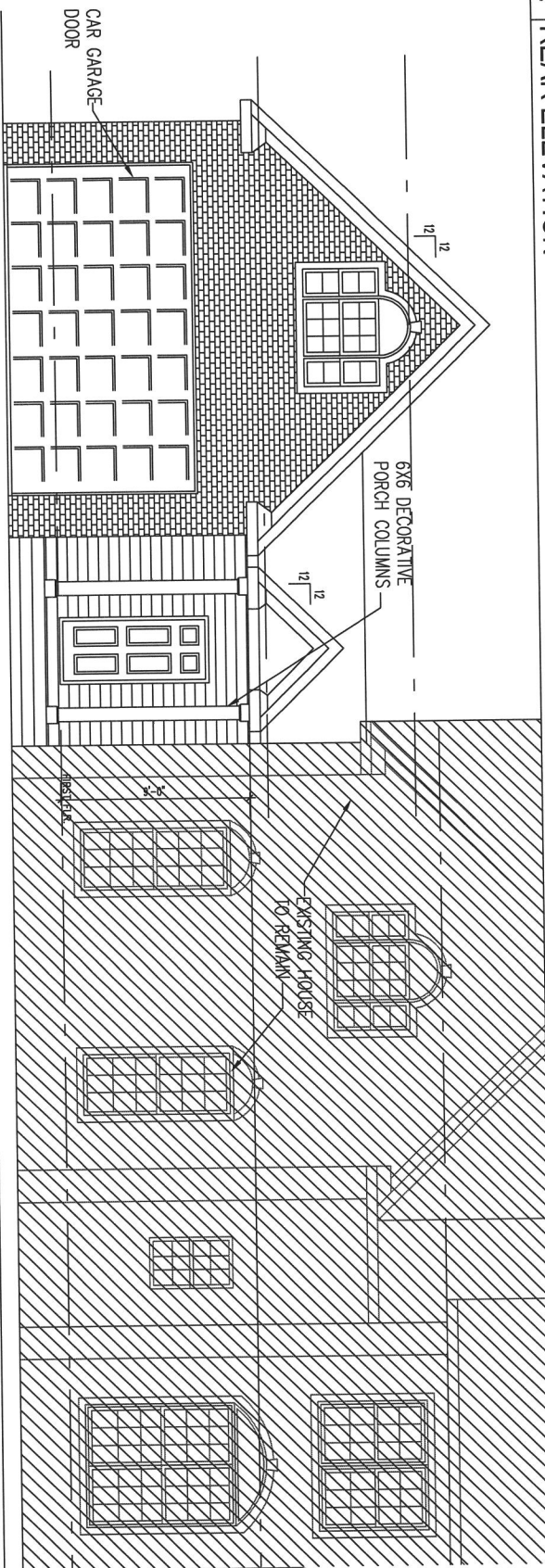
DATE: 07/23/20

2 REAR ELEVATION



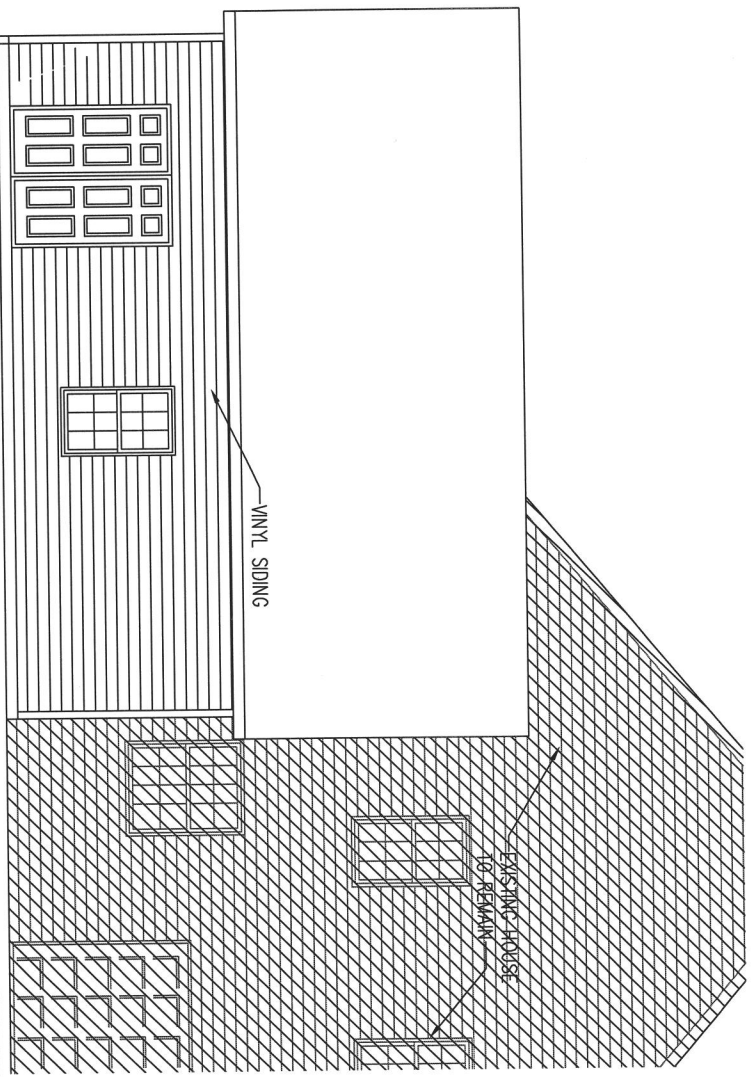
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1 FRONT ELEVATION



SCALE: 3/16"=1'-0"

<p>PROPOSED REAR ADDITION W/ CAR GARAGE</p> <p>12738 LIMEKILN RD. HIGHLAND, MD 20777</p>	
<p>PROJECT NAME: PATEL'S RESIDENCE</p>	<p>DATE: 08/20/20</p>
<p>DRAWN BY: J. S. [unreadable]</p>	<p>SCALE: AS SHOWN</p>
<p>SHEET TITLE: ELEVATIONS</p>	
<p>A.06</p>	

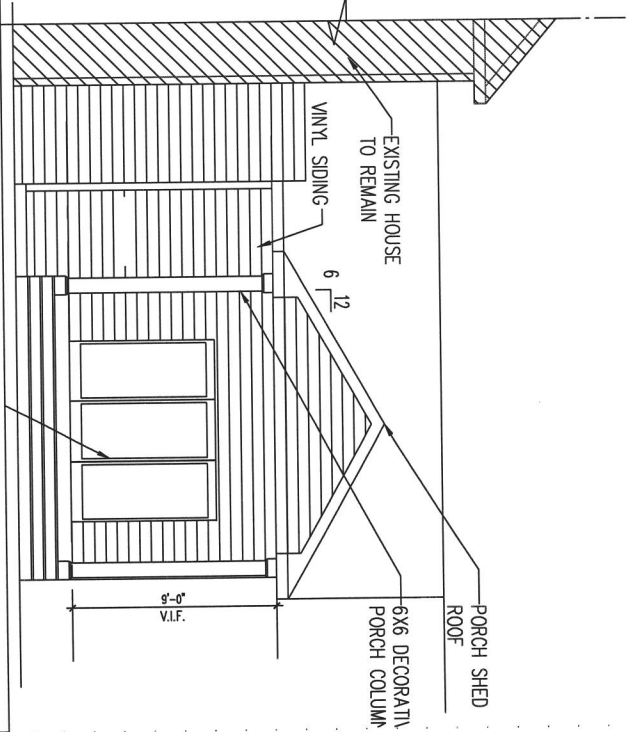


2 SIDE ELEVATION

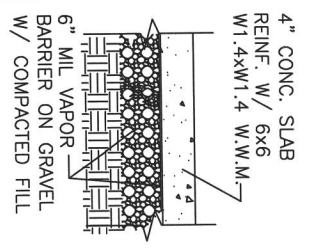
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1 SIDE ELEVATION

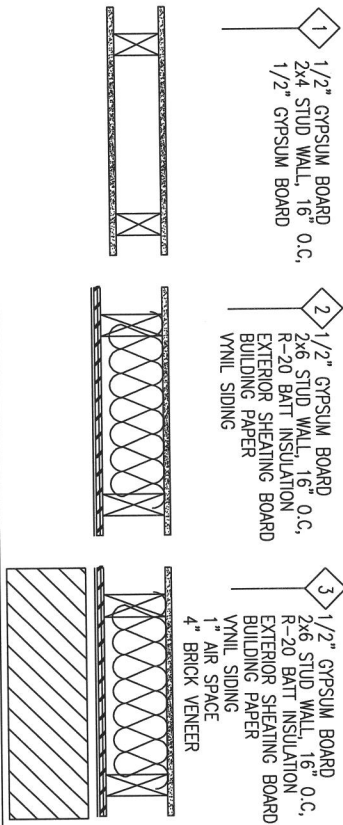
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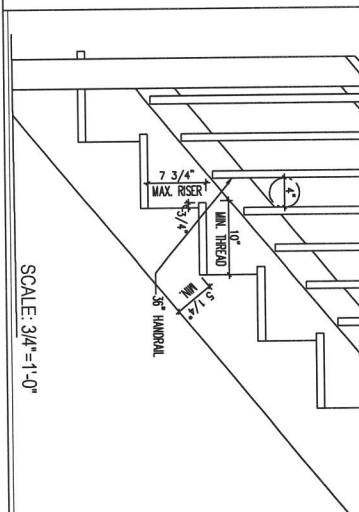
DESIGN ON GRADE DETAIL



WALL TYPES



STAIR DETAIL

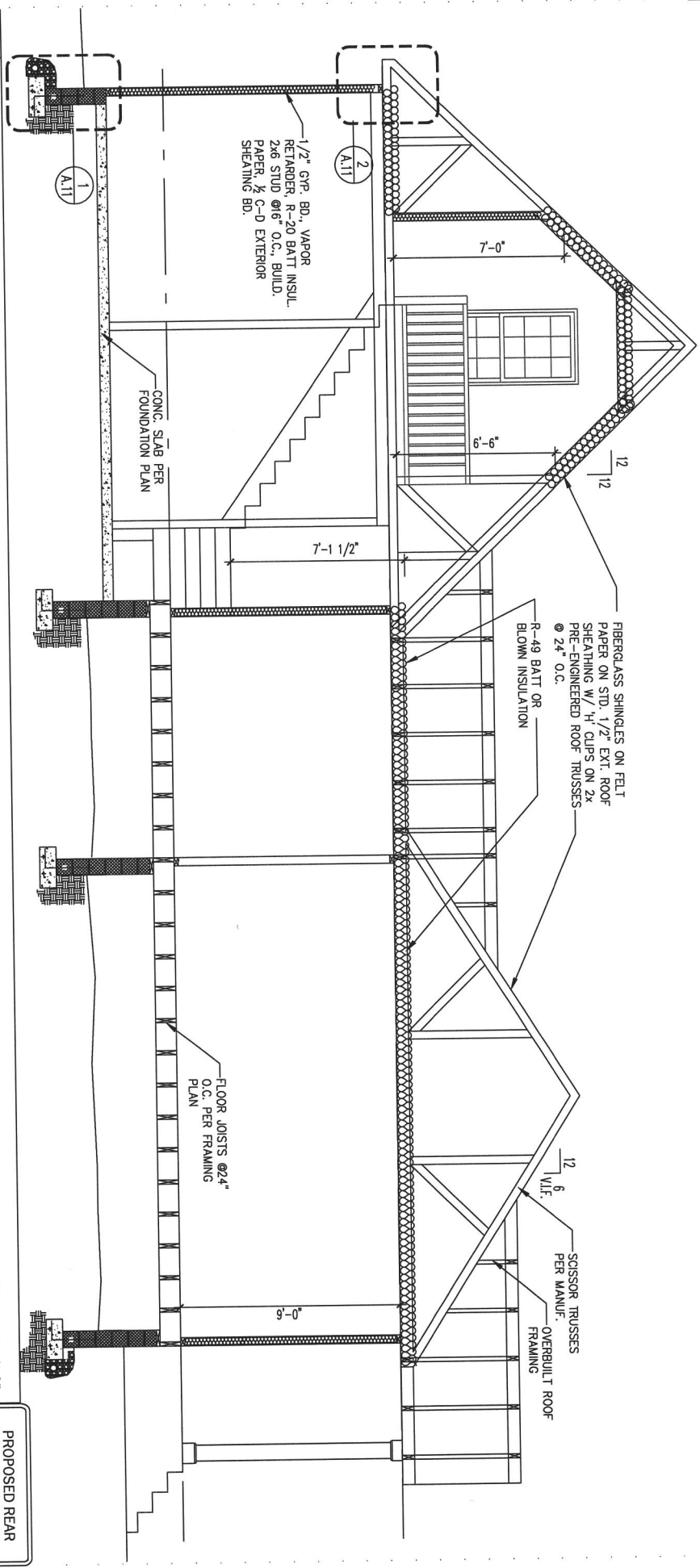


PROPOSED REAR ADDITION W/ CAR GARAGE
 12738 LIMEKILN RD.
 HIGHLAND, MD 20777

PROJECT NAME: PATEL'S RESIDENCE
 DRAWN BY: [blank]
 IN CHARGE: [blank]
 DATE: 07/23/06
 SHEET TITLE: SIDE ELEVATIONS

SHEET **A.07**

1 FRONT ELEVATION



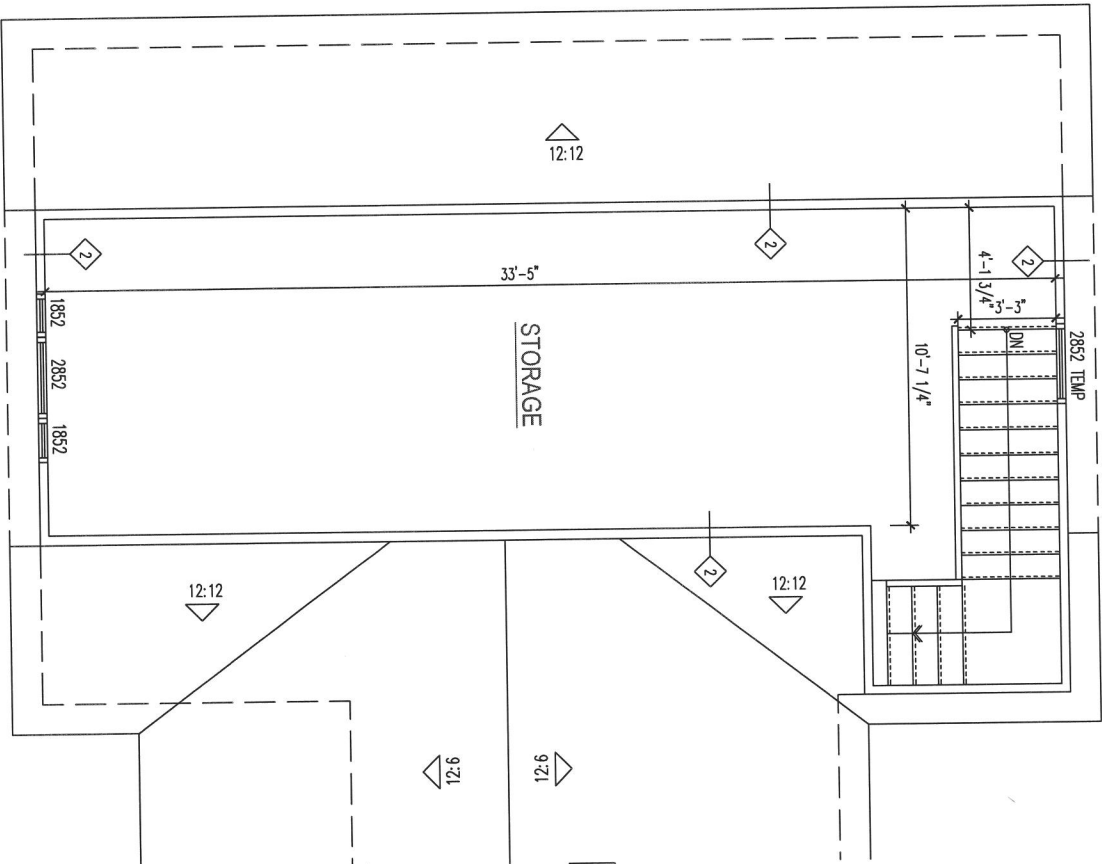
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PROPOSED REAR ADDITION W/ CAR GARAGE
 12738 LIMEKILN RD.
 HIGHLAND, MD 20777

PROJECT NAME:	PATEL'S RESIDENCE
OWNER:	
DATE:	
REVISIONS:	
NO.	SCALE:
SHEET TITLE: BUILDING SECTION	
SHEET NO. A.08	

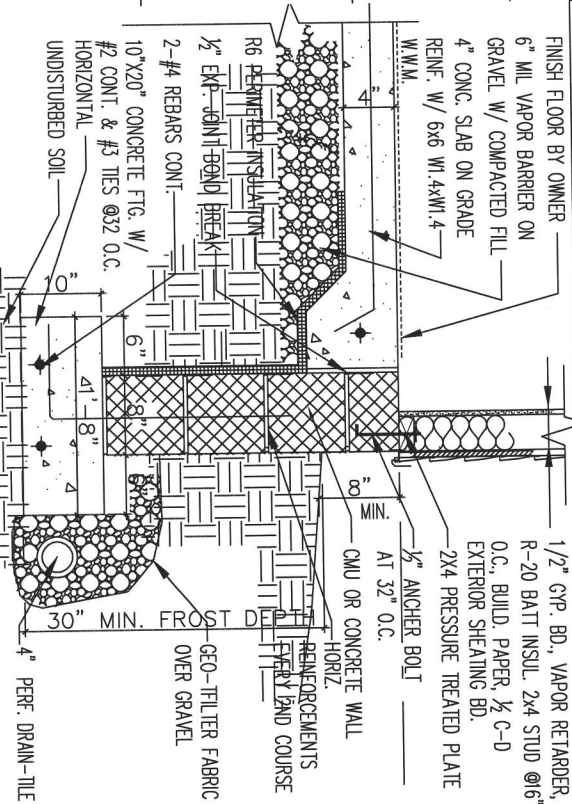
1 ATTIC FLOOR PLAN

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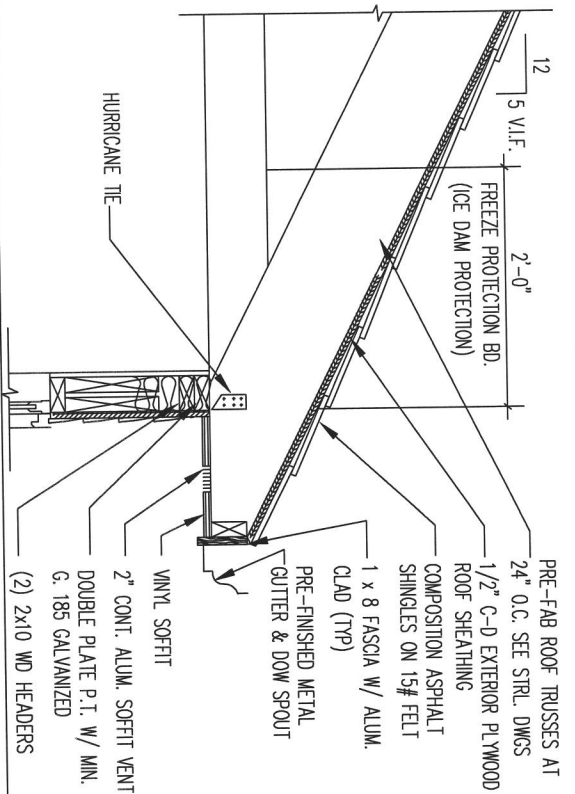
2 OVERHANG DETAIL (TYP.)

SCALE: 1"=1'-0"



3 OVERHANG DETAIL (TYP.)

SCALE: 1"=1'-0"



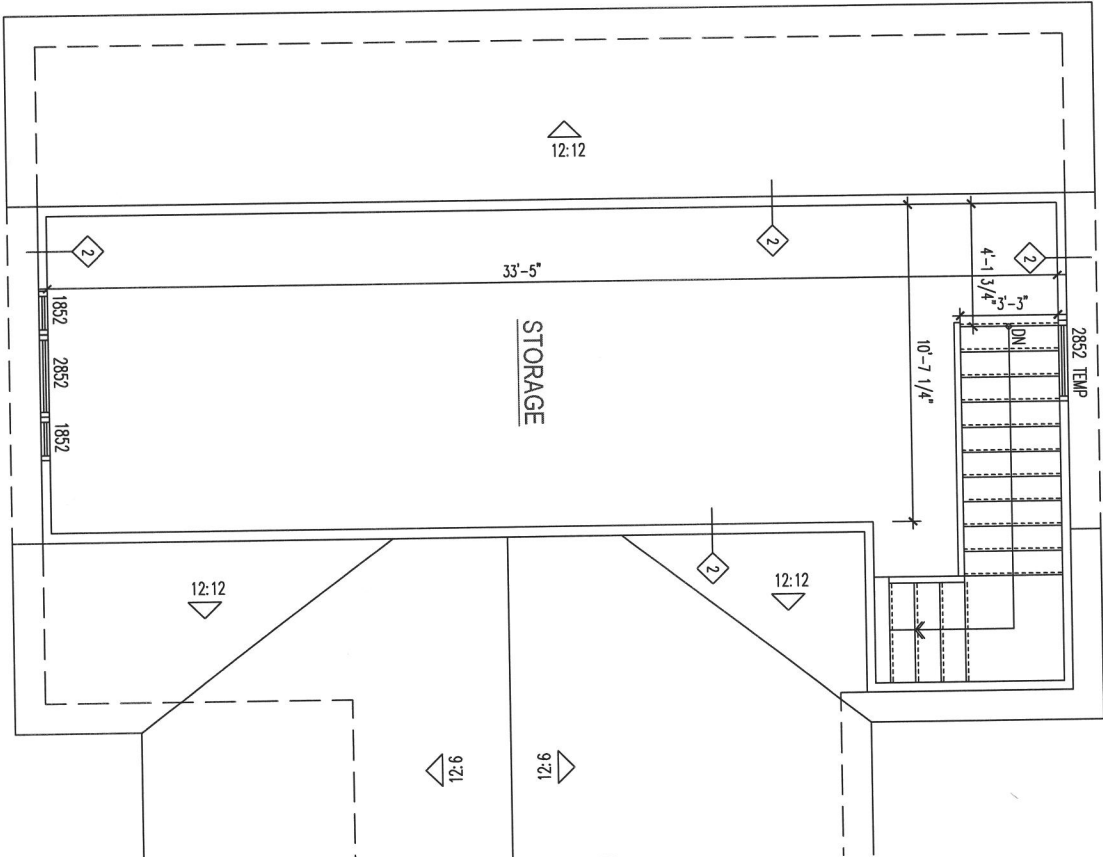
FOUNDATION NOTE:
MIN. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 2500 PSI

PROPOSED REAR ADDITION W/ CAR GARAGE
12738 LIMEKILN RD.
HIGHLAND, MD 20777

PROJECT NAME:	PATEL'S RESIDENCE
OWNER:	07/23/20
DATE:	07/23/20
SCALE:	SCALE
SHEET TITLE:	DETAILS

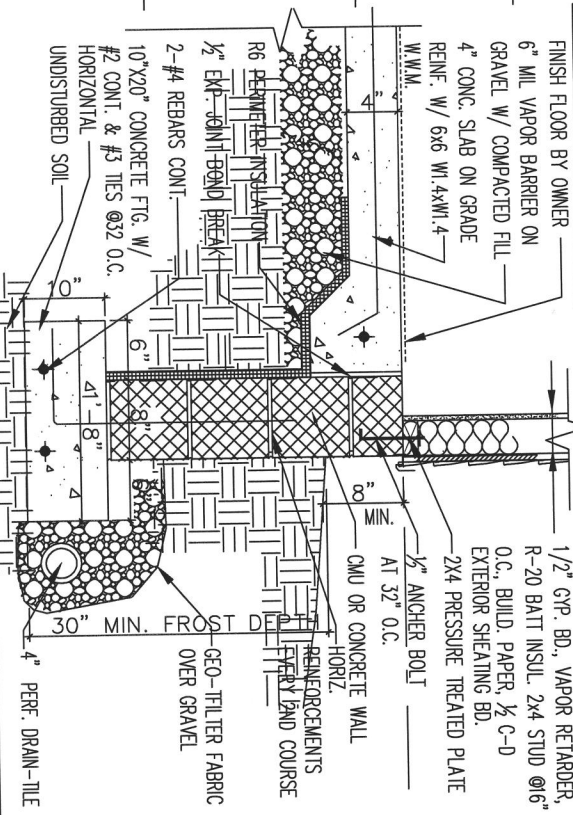
A.09

1 ATTIC FLOOR PLAN



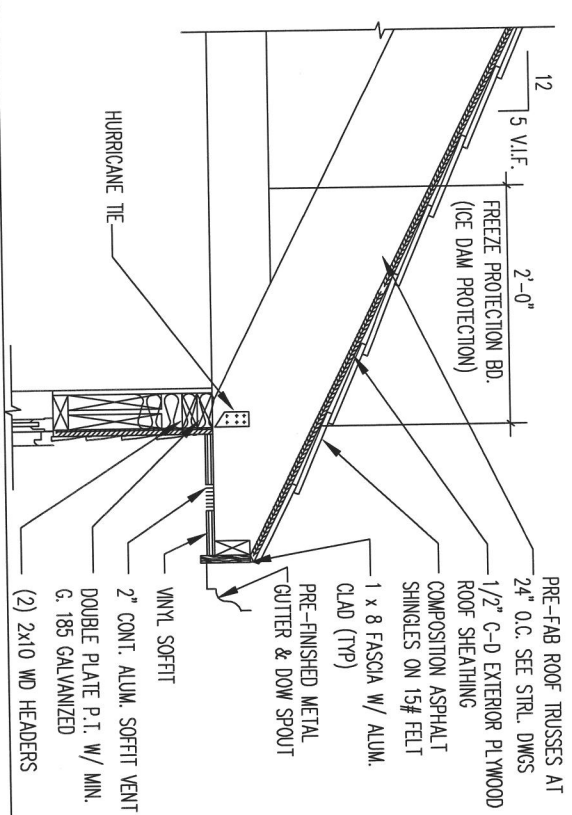
SCALE: 1/4"=1'-0"

2 OVERHANG DETAIL (TYP.)



SCALE: 1"=1'-0"

3 OVERHANG DETAIL (TYP.)



SCALE: 1"=1'-0"

PROJECT NAME: PATEL'S RESIDENCE
 SHEET NO: A.09
 DATE: 07/23/20
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: [Scale]
 SHEET TITLE: DETAILS

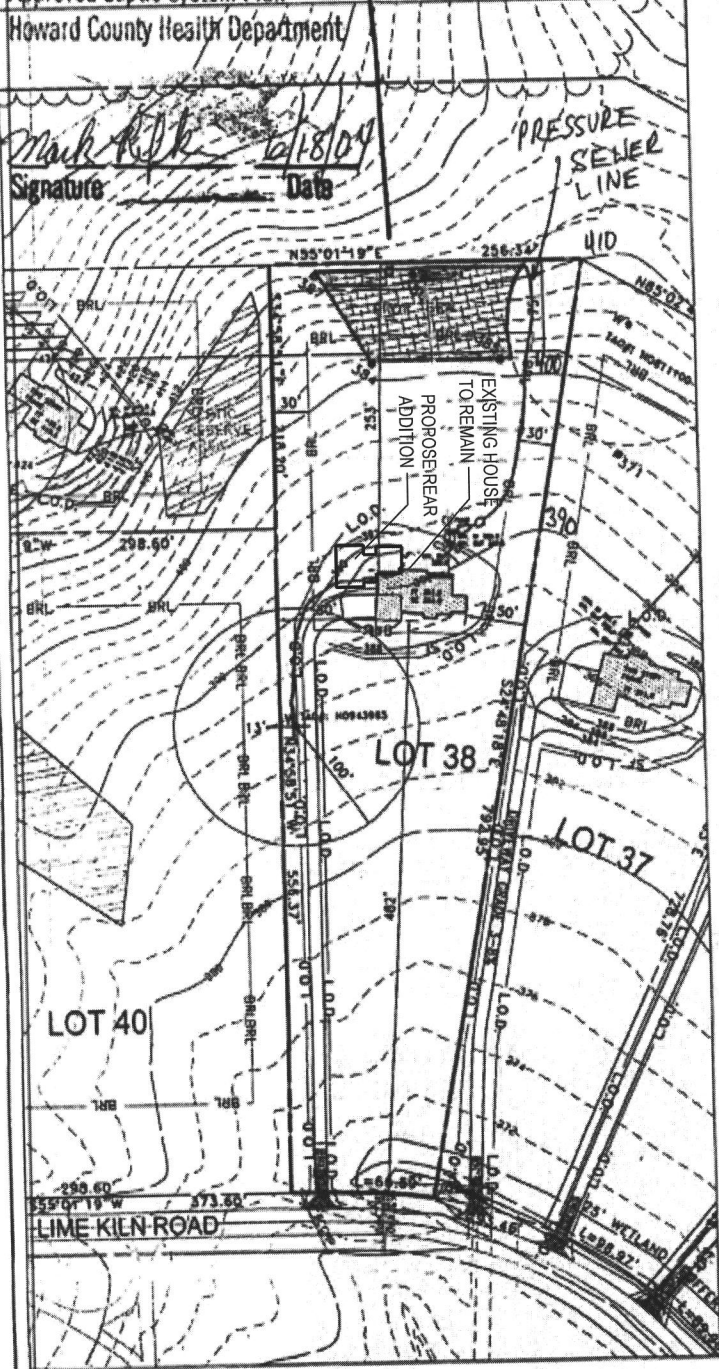
12738 LIMEKILN RD.
 HIGHLAND, MD 20777

FOUNDATION NOTE:
 MIN. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 2500 PSI

PROPOSED REAR ADDITION W/ CAR GARAGE

Approved Septic System Plan
Howard County Health Department

Mark R. K...
Signature
6/18/04
Date

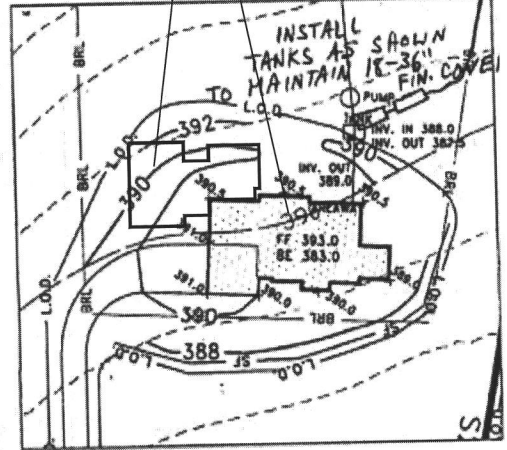
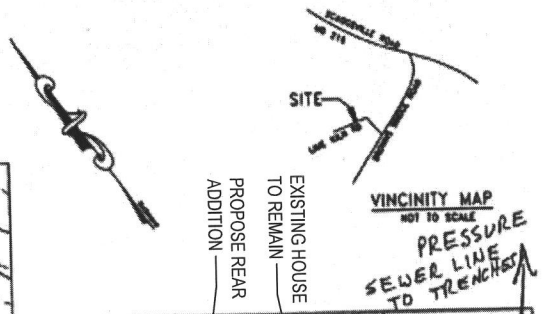


SCALE: 1"=100'

TOPOGRAPHY PROVIDED BY
HOWARD COUNTY



KCW Engineering Technologies, Inc.
3106 Lord Baltimore Drive, Suite 110
Baltimore, Maryland 21244
Tele (410) 281-0033



HOUSE INSERT
SCALE: 1"=50'

LEGEND

- 396 — EXISTING CONTOUR
- 396 — PROPOSED CONTOUR
- ⊙ EXISTING WELL
- ⊙ PROPOSED WELL
- ▨ PROPOSED SEPTIC RESERVE ARC.
- BRL — BUILDING RESTRICTION LINE
- L.O.D. — LIMIT OF DISTURBANCE
- S.F. — PROPOSED SILT FENCE PER H.C.S.C.D. DETAIL E-15
- PROPOSED SCE PER H.C.S.C.D. DETAIL F-17-3

NOTE

1. DRIVEWAY CONSTRUCTION SHALL DISTURB ONLY THAT WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY.
2. EJECTOR PUMP BASEMENT
3. THE WELL LOCATION SHOWN ON THIS PLAN (TAG# H0943965) HAS BEEN FIELD LOCATED BY KCW ENGINEERING TECHNOLOGIES PROFESSIONAL LAND SURVEYOR(S) AND IS ACCURATELY SHOWN.

PAVING
SPECIFICATIONS
3" BIT CONC.
6" CR-6

OWNER
POTOMAC ELECTRIC POWER CO
1900 PENNSYLVANIA AVE. N.W.
WASHINGTON D.C. 20068
BUILDER
ALTIERI HOMES, INC.
9017 RED BRANCH ROAD, SUI. 20
COLUMBIA, MD 21045

PLAT TO ACCOMPANY BUILDING PERMIT
FOR
LIME KILN VALLEY
LOT 38, LIME KILN ROAD

8-foot wall	9-foot wall	10-foot wall	(% of wall height)
48	54	60	100%
32	36	40	85%
24	27	27	65%

For SL 1 inch= 25.4 mm. 1 foot=305mm. 1 pound per square foot =0.0479 kN/m²

a. Linear interpolation shall be permitted

b. Full-height sheathed wall segments to either side of garage openings that support light frame roofs only, with roof covering dead loads of 3 psf or less shall be permitted to have a 4:1 aspect ratio.

WALL BRACE SCHEDULE

CS-WSP-1 (Continuously Sheathed, Wood structural panel)

27" BRACED WALL PANELS

EXTERIOR FACE:

3/8" CS-WSP WALL STRUCTURAL PANEL W/ 6D COMMON NAIL (2"x0.113") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 GA. x 1-3/4 STAPLES: AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)

INTERIOR FACE:

1/2" GYPSUM SHEATHING SEE IRC 2012 FOR NAILING PATTERN

CS-WSP-2 (Continuously Sheathed, Wood structural panel)

32" BRACED WALL PANELS

EXTERIOR FACE:

3/8" CS-WSP WALL STRUCTURAL PANEL W/ 6D COMMON NAIL (2"x0.113") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 GA. x 1-3/4 STAPLES: AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)

INTERIOR FACE:

1/2" GYPSUM SHEATHING SEE IRC 2012 FOR NAILING PATTERN

GENERAL NOTES

1. DO NOT SCALE DRAWINGS. IN THE EVENT OF DIMENSIONAL DISCREPANCY, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.

2. ALL DIMENSIONS ARE FROM CENTERLINE OF COLUMN OR BEAM TO FACE OF STUD OR FURRING; OR FROM FACE OF STUD TO FACE OF STUD OR FURRING, UNLESS NOTED OTHERWISE, AND ARE BASED ON NOMINAL SIZES OF MATERIAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

3. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY ON THE GENERAL CONTRACTOR AND HIS SUBCONTRACTOR. CONTRACTOR TO INFORM ARCHITECT OF CONDITIONS WHICH MAY SUBSTANTIALLY AFFECT THE CONSTRUCTION AS SHOWN.

4. ARCHITECTURAL DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED AS PART OF THE CONDITIONS FOR THE WORK. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, CURRENT NATIONAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS OR AGREEMENTS AS WELL AS CURRENT ACCEPTABLE BUILDING PRACTICES SHALL GOVERN, AND THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.

5. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CLIENT OR HIS CONTRACTORS, SUBCONTRACTORS, OR ANYONE PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT DOCUMENTS.

6. CONTRACTOR SHALL FURNISH TO THE ARCHITECT SHOP DRAWINGS OF ALL THE PREFABRICATED COMPONENTS WITH ONE SET BEING RETAINED BY THE ARCHITECT. ITEMS REQUIRING SHOP DRAWING REVIEW INCLUDE, BUT ARE NOT LIMITED TO ROOF TRUSSES, FLOOR TRUSSES AND STAIRS. SHOULD THE DESIGN OR CONFIGURATION OF ANY PREFABRICATED COMPONENT BE MODIFIED DURING CONSTRUCTION FROM PREVIOUSLY APPROVED SHOP DRAWINGS, THE ARCHITECT SHALL BE FURNISHED, PRIOR TO THE FABRICATION, WITH REVISED SHOP DRAWINGS INCORPORATING THE REVISION. IF THE ARCHITECT IS NOT PROVIDED WITH THE ABOVE INFORMATION, THE CLIENT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIM OR SUITE WHATSOEVER, INCLUDING BUT NOT LIMITED TO, ALL PAYMENTS, EXPENSES, COSTS INCLUDED, ARISING OR ALLEGED TO HAVE ARISEN FROM PREFABRICATED ITEMS.

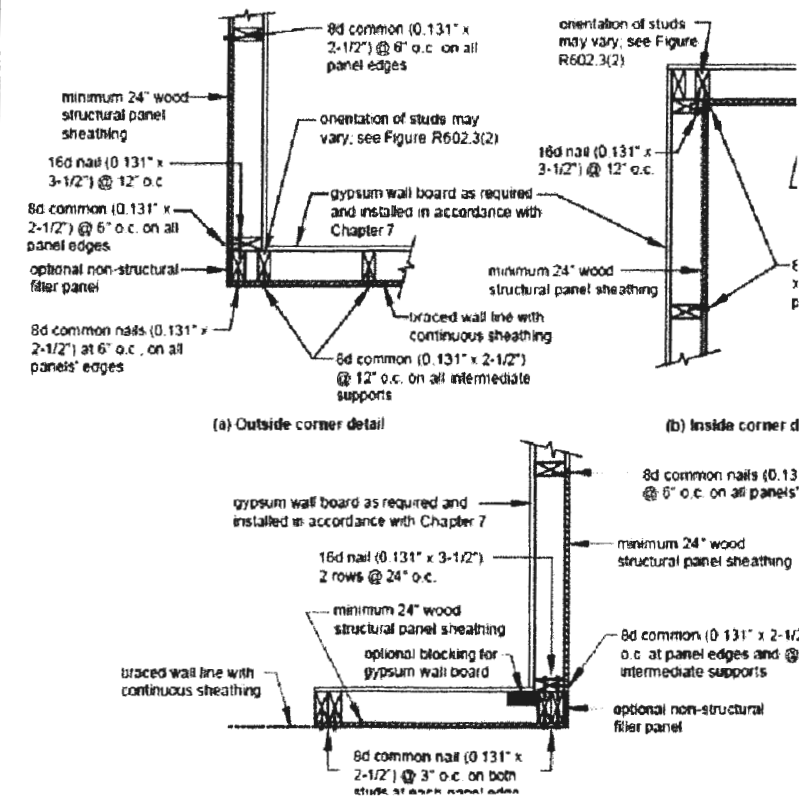
7. ALL EXTERIOR AND INTERIOR WALL OPENINGS (TRADE PENETRATIONS, WINDOWS, DOORS, LOUVERS, ETC.) TO BE SEALED AROUND ENTIRE OPENING.

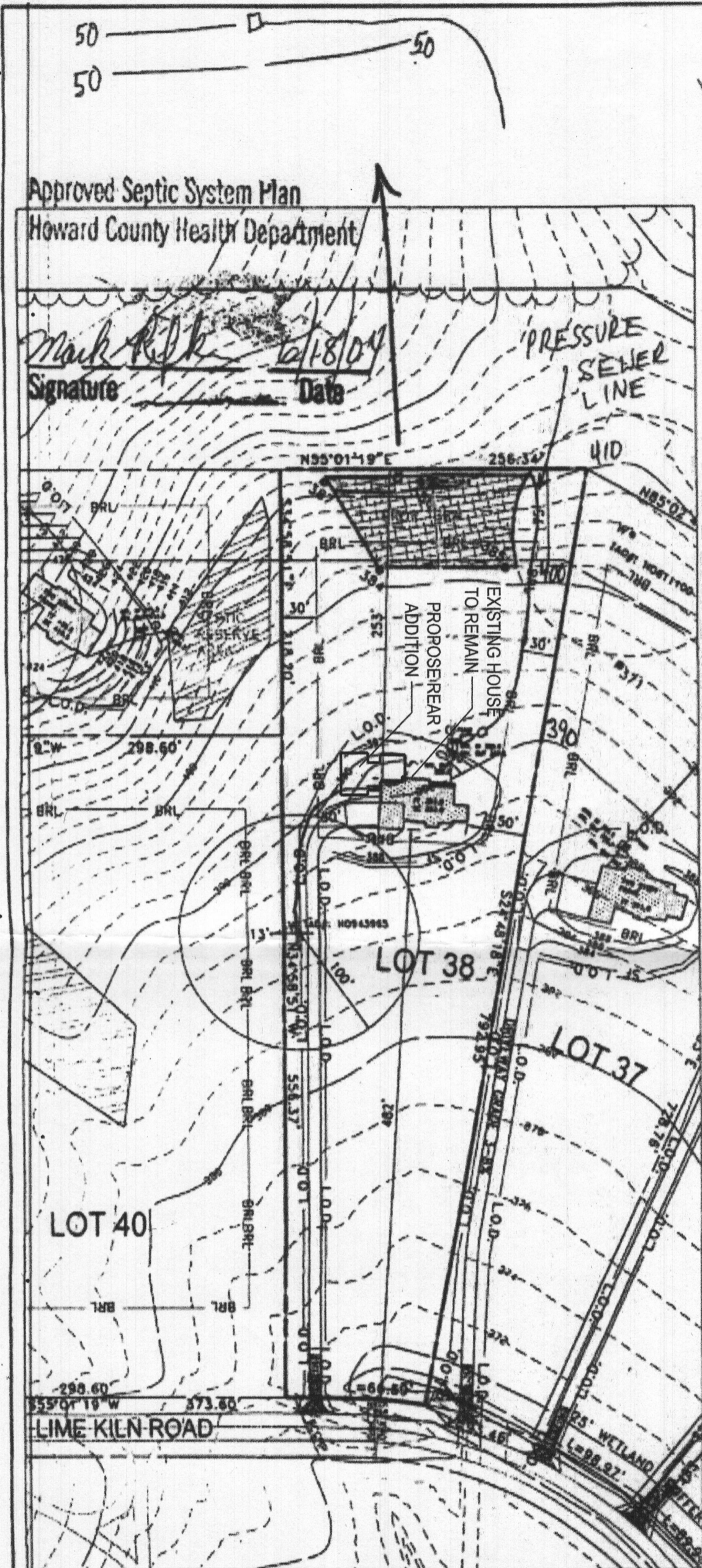
8. PROVIDE LOOSE LINTELS IN ACCORDANCE WITH NOTES ON DRAWINGS AT WALLS AND MECHANICAL AND OR ELECTRICAL OPENINGS.

9. PROVIDE SUPPLEMENTARY SUPPORT AND, OR FRAMING FOR ALL LIGHTING FIXTURES AND CEILING DIFFUSERS AS REQUIRED. COORDINATE LOCATION OF LIGHT FIXTURES, CEILING DIFFUSERS, ETC. WITH EACH OTHER.

CORNER FRAMING

Corners of braced wall lines with continuous sheathing must be framed as shown



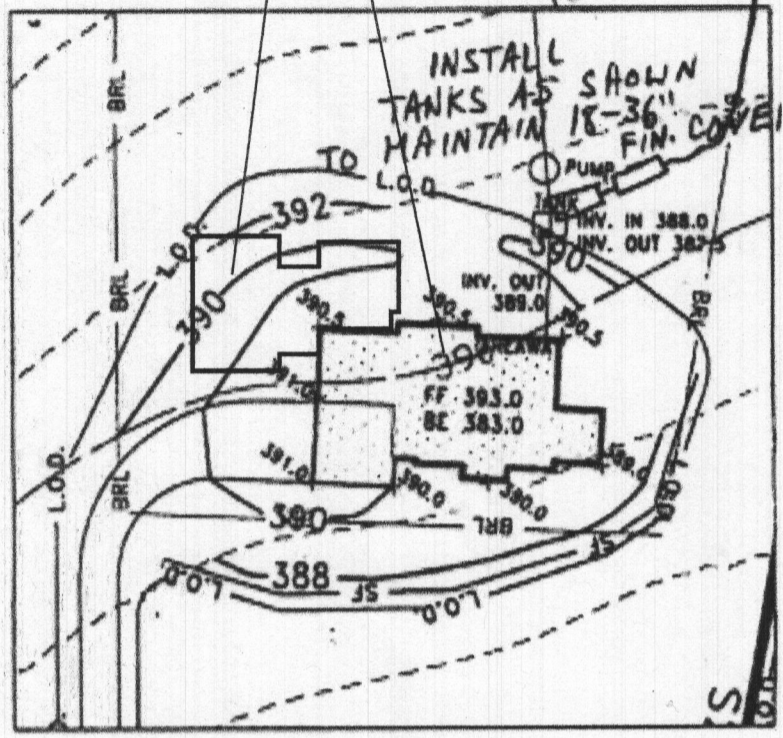
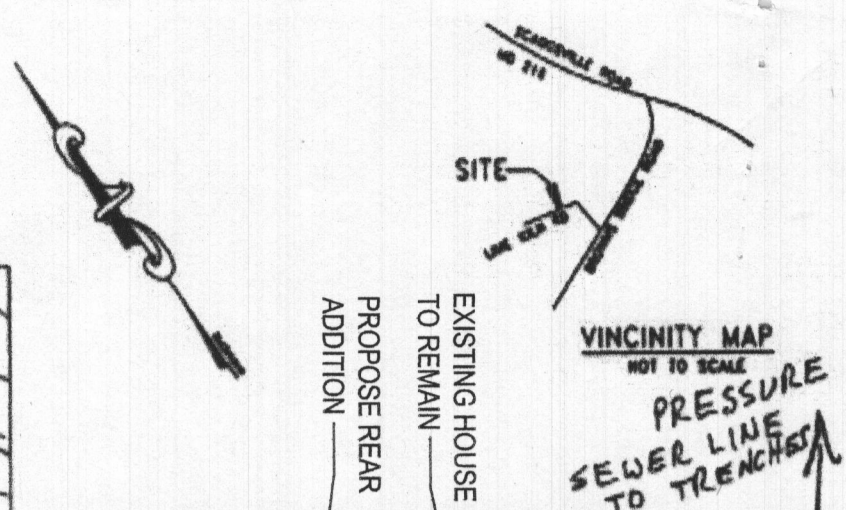


Approved Septic System Plan
Howard County Health Department

Mark Elk 6/18/04
Signature Date

SCALE: 1"=100'

TOPOGRAPHY PROVIDED BY
HOWARD COUNTY



HOUSE INSERT
SCALE: 1"=50'

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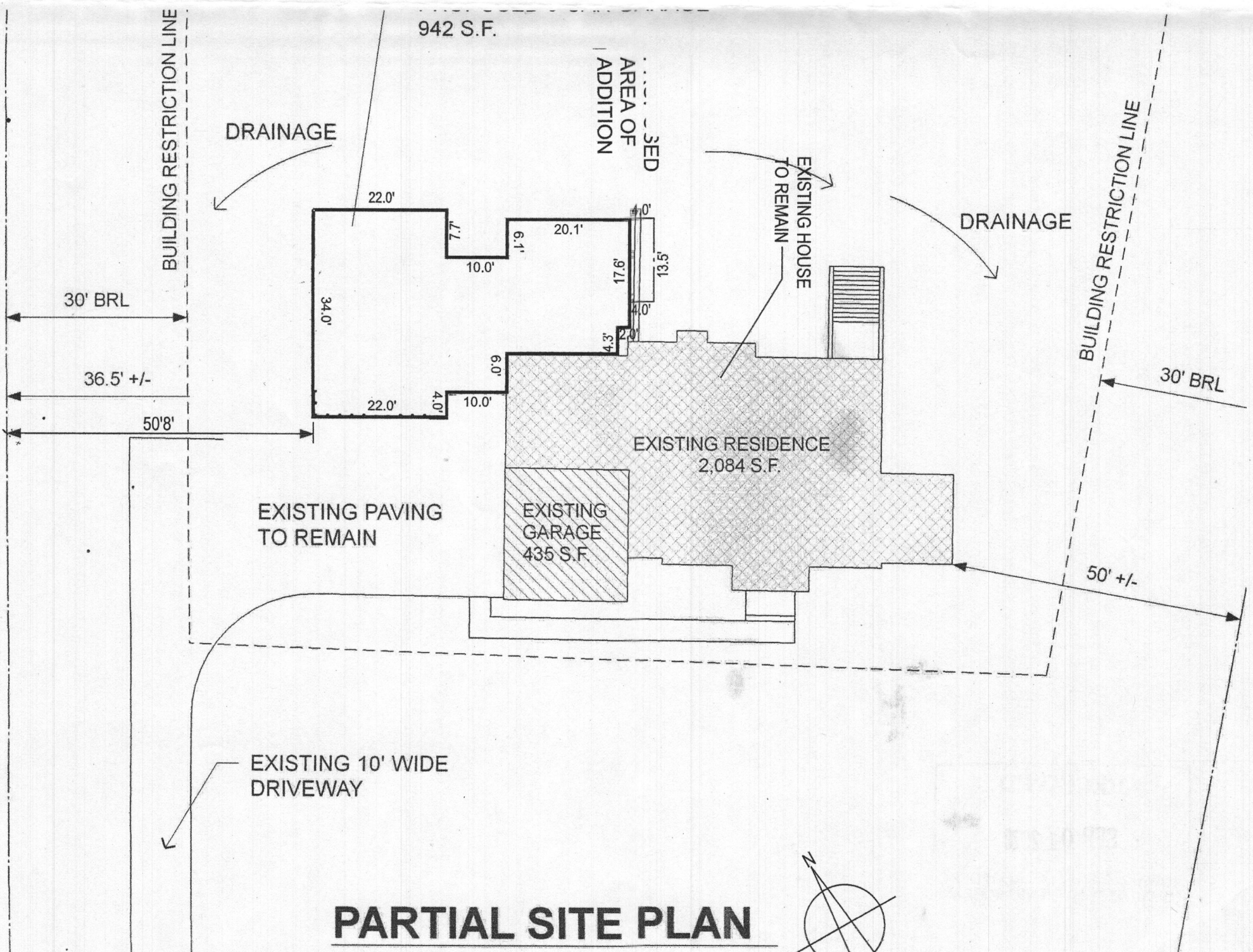
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PLAT TO ACCOMPANY BUILDING PERMIT
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LOT 38, LIME KILN ROAD



PARTIAL SITE PLAN

SCALE: 1:20'