



NOT in watershed
OK -
HEALTH

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

DILP 2019 JUN 5 AM 11:18

Permit No.: **B19001828**

Building Address: 2911 Maple Leaf Way
City: Ellicott City State: MD Zip Code: 21043
Suite/Apt. #: _____ SDP/WP/BA #: SDP-19-041
Subdivision: Maple View
Lot: 1 Tax Map: 0016 Parcel: P10 0088

Existing Use: _____
Proposed Use: Residential New SFD
Estimated Construction Cost: \$ 425,239.00

Description of Work: NW SFD with 2 - 2 car garages attached, finished bsmt w/ rec room, exercise, full bath & utility/storage. FF fireplace, gourmet kitchen, morning RM, in-law suite, front covered porch (13x5). Second floor - 4 full baths, 4 beds & sitting area.

Occupant/Tenant Name: BANALA
Was tenant space previously occupied? Yes No

Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Sridhar & Anitha Banala
Address: 10717 Hillingdon Road
City: Woodstock State: MD Zip Code: 21163
Phone: 443-829-8905 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Samantha Mullinix - PERMIT SERV
Address: 2011 FRALEY Lane
City: Pasadena State: MD Zip Code: 21122
Phone: 443-465-7832 Fax: 410-360-6928
Email: sammullinix1231@comcast.net

Contractor Company: CARUSO HOMES, INC.
Contact Person: Monica Lanigan
Address: 2120 Baldwin Ave
City: CROFTON State: MD Zip Code: 21114
License No.: 6848 expiration: 2020
Phone: 301-261-0277 ext. 4224
Email: m.lanigan@carusohomes.com

Engineer/Architect Company: Architecture Collaborat
Responsible Design Prof.: DAVID ROBBINS License # 592
Address: 8334 Main Street
City: Ellicott City State: MD Zip Code: 21043
Phone: (410) 465-7500 Fax: (410) 465-0903
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	<u>67.4' Depth 81' Width</u>
Gross area, sq. ft./floor: _____	1 st floor: <u>2575</u>
Area of construction (sq. ft.): _____	2 nd floor: <u>2273</u>
Use group: _____	Basement: <u>2575</u>
Construction type:	<input checked="" type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input checked="" type="checkbox"/> Wood Frame	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
<input type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units: _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	No. of 1 BR units: _____
Roadside Tree Project Permit #	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
	Footings: _____
	Roof: _____
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	<u>#19000120</u>
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____
Email Address: sammullinix1231@comcast.net
Title/Company: PERMIT COORDINATOR - PERMIT SERVICES, INC.

Print Name: Samantha Mullinix - agent PERMIT SERVICES, INC
Date: 6/5/2019

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>7/3/19</u>	<u>R. Becker</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>15590</u>

NOTES:

1. THE LEVEL OF ACCURACY SETBACK DISTANCES IS ONE TENTH OF A FOOT, MORE OR LESS.
2. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT

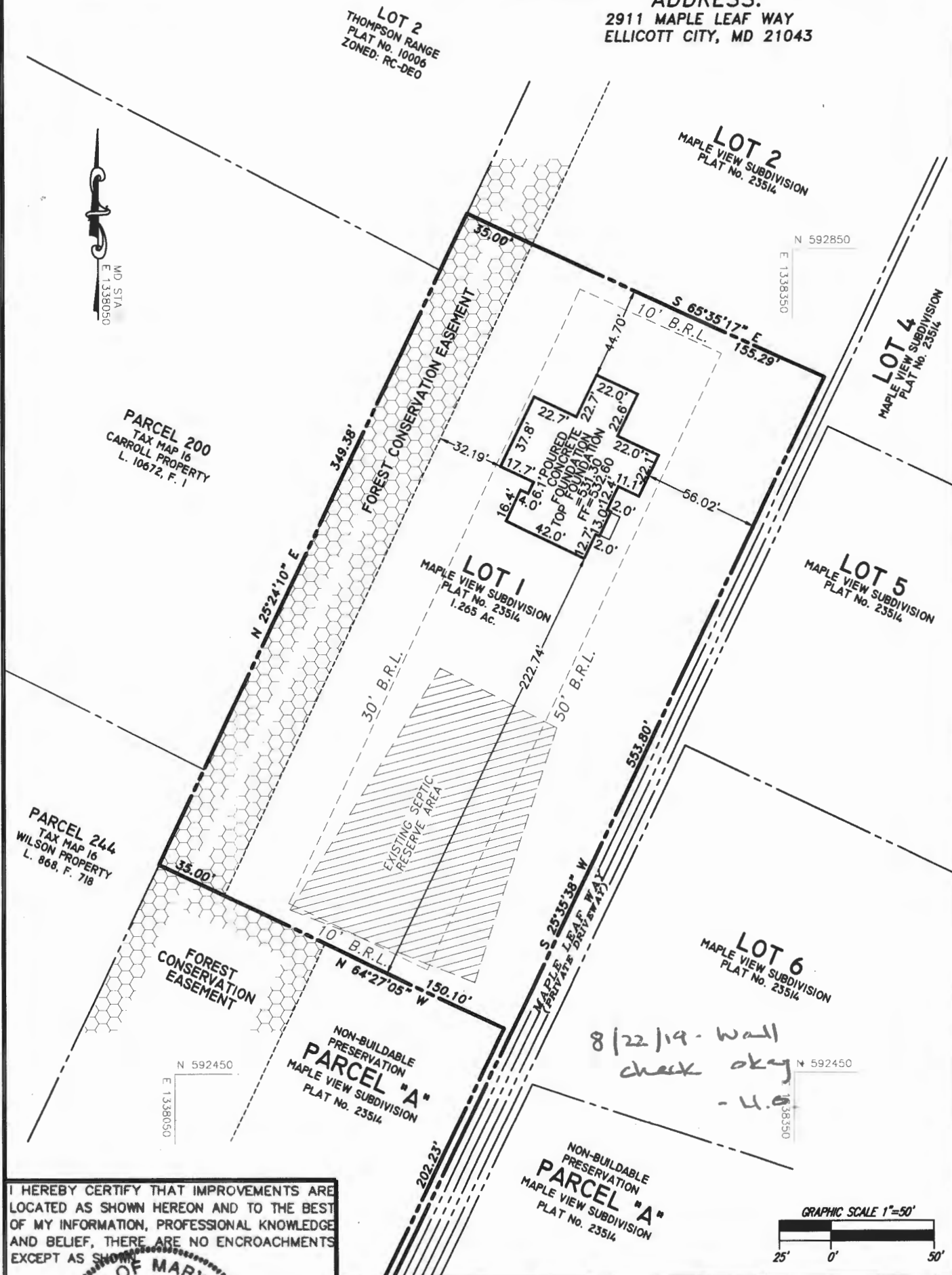
PREPARED BY:



NJR & ASSOCIATES, LLC.
LAND SURVEYING AND PLANNING

2770 STATE ROUTE 32
 WEST FRIENDSHIP, MARYLAND 21794
 TEL: (240) 508-3200 FAX: (410) 799-9093

ADDRESS:
 2911 MAPLE LEAF WAY
 ELLICOTT CITY, MD 21043

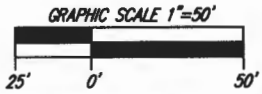


I HEREBY CERTIFY THAT IMPROVEMENTS ARE LOCATED AS SHOWN HEREON AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.



AUGUST 12, 2019

M.N. ROshan, L.S.
 MD REG. No. 11049



WALL CHECK
MAPLE VIEW SUBDIVISION
LOT 1

PLAT No. 23514
 LIBER 18513 FOLIO 3
 TAX MAP 16, GRID 15, PARCEL 88
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50' DATE: AUGUST 12, 2019

FILE No.
 3507

8/22/19 - wall
 check okay
 - U.G.

GENERAL NOTES

• ALL WORK SHALL COMPLY TO ALL APPLICABLE LOCAL CODES.

• All construction shall be classified as One- and Two-Family Dwellings and comply to the 2015 INTERNATIONAL RESIDENTIAL CODE w/ AMENDMENTS.

• All construction shall comply to the 2015 INTERNATIONAL ENERGY CONSERVATION CODE (or as required by local code).

• These plans and notes are the property of Architecture Collaborative, Inc. Use of these plans without the written consent of Architecture Collaborative, Inc. is prohibited.

• These are conceptual plans and schematic in nature. Their purpose is to develop a proto-type house.

• These plans are subject to modification as necessary to meet code requirements or to facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect reserves the right to make any changes, for any reason, at any time.

• The Owner shall defend, indemnify and save harmless the Architect and Architecture Collaborative, Inc. from and against all suits, actions, claims, liabilities, losses and/or expenses, including attorney's fees, arising out of or resulting from the performance of any work by the Owner or its employees, subcontractors, agents or representatives, caused in whole or in part by any act or omission, whether negligent or otherwise, on the part of the Owner or its employees, subcontractors, agents or representatives.

• The Contractor shall compare and coordinate all drawings, when a discrepancy or an error/omission exists, he shall comply with the code and contact the Architect and Owner in writing for proper adjustment.

• These plans are NOT to be scaled for construction purposes. Written dimensions and notes supercede all scale references. Contact the Architect and Owner prior to work when any discrepancy arises.

• In the event certain features of construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.

• Habitable space, hallway, and portions of basements containing habitable space shall have a ceiling height of not less than 7'-0", except as required by code.

• Beams, girders, ducts or other obstructions in basements containing habitable space shall be permitted to project to within 6'-4" of the finish floor.

• Integral garages in dwelling units shall be separated from all adjacent living space w/ the separation as required by local code.

• These drawings do not include structural details.

DESIGN LIVE LOADS

• RECOMMENDED MINIMUMS:

Roof	30 PSF
Sleeping Floors	30 PSF
Living Floors	40 PSF
Attic Floors	30 PSF
Exterior Decks	40 PSF
Garage Slabs	50 PSF
Exterior Balconies	40 PSF

Stairs 40 PSF

Individual treads designed for uniformly distributed live load or 300-pound concentrated load over a 4 square inch area, whichever produces greatest stress.

Guard Rails 200 LB

A single concentrated load applied in any direction at any point along the top.

SITE

• GENERAL: These drawings do NOT cover sitework, grading, landscaping or zoning.

• Building foundations have been designed based on an assumed soil bearing capacity of 2,000 PSF (or as noted). Additional engineering may be required if soil bearing capacity is less than 2,000 PSF (or as noted), or if there is no Geotechnical report available.

• In lieu of a complete geotechnical evaluation, load-bearing values per Table R401(4) shall be assumed.

• Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both interior and exterior drains are required, provide minimum 1-1/2" dia. bleeder pipes through mid-line of footing at 8' o.c. (max.). Typically, drains shall be laid to sump pits or to positive daylight discharge points.

• Slope all stoops, porches, walks and garage slabs away from building 1/8" minimum per foot.

• All work shall comply with local codes.

STAIR NOTES

• INTERIOR AND EXTERIOR STAIRS:

• All stairs shall comply with the code and all local amendments.
 • Minimum finish width 36"
 • Minimum finished headroom height: 6'-8"
 • Maximum riser height to be 7 3/4" or per local code.
 • Minimum tread depth to be 10" or per local code.
 • Maximum space between balusters to be 4" or per local code.
 • Handrail height shall NOT be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.

• Stair stringers shall have a minimum inside width of 6" and a minimum tread (10") or as per code, when measured 12" from the inside corner.

• Stair landings shall be a minimum of 36" x 36" finished.

• Stairways with (3) or more risers are required to have a handrail.

• Guard rails:

• Porches, balconies or raised floor surfaces located more than 30" above the floor or grade below shall have guard rails not less than 36" in height. Guard rail spacing shall be designed not to allow passage of an object of 4" or more in diameter.

• The stair manufacturer is responsible for the design and construction of the stair. All work shall comply with local code.

CONCRETE

• Bottom of footings shall be located at minimum frost line below finished grade, as per local code. Steps or depth of footing/ foundation may vary according to local site or frost conditions.

• All interior concrete slabs 3/8" or greater in any direction shall have 6"x6"x8" welded wire mesh or control joints. Monolithic poured down slabs for townhouses shall have a control joint between units when required by local code.

• Concrete used in exposed areas (pilot to freezing and thawing both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound.

• Foundation walls of habitable space located below grade shall be water-proofed or damp-proofed using materials and methods approved by the local building jurisdiction.

Types of Concrete Construction Minimum Specified Compressive Strength:

Footings	2500 PSI
Interior Basement Slabs	2500 PSI
Foundation Walls	3000 PSI
Garage / Exterior Slabs (as per local code)	3000 PSI

• The concrete contractor is responsible for the design and construction of all concrete work. All work shall comply with local code.

MASONRY

• The maximum vertical distance of unbalanced fill, measured from the top of the lower level floor slab to outside finished grade, shall not exceed the following for un-reinforced walls where unstable soil or ground water conditions do not exist:

Types of Wall: Height of Fill:

8" CMU	4'-0"
12" CMU (hollow)	5'-0"
12" CMU (solid)	6'-0"
8" Poured Concrete	5'-0"
12" Poured Concrete	7'-0"

• Presumptive Load-Bearing Values of Foundation Materials shall not be less than 1500 PSF or greater than 60 PSF lateral pressure. Additional engineering may be required if lateral pressure or load-bearing values are not within the above values.

• All backfill shall consist of sand and/or gravel.

• Top courses of CMU foundation walls shall be filled solid, including the courses under any steel beam or corbelled CMU, as per local code.

• Stone and Masonry veneer shall be attached and anchored in accordance with Section 103 (with Amendments).

• The masonry contractor is responsible for the design and construction of all masonry work. All work shall comply with local codes.

METAL

• Straps/bolts shall be per code and building inspector approved.

Min. (2) straps/bolts per section of plying 12" max. (1) each end with intermediate straps/bolts at:
 • 1/2" bolts spaced per code.
 • Straps spaced per code or per manufacturer's specification.

• Galvanized metal brick ties shall be installed as per local codes.

• Gutters, downspouts, and blades shall be installed by the contractor as required by local codes.

• All structural steel shall be detailed, fabricated and erected in accordance with the latest edition of AISC (American Institute of Steel Construction) "Specification for Structural Steel Buildings - Allowable Stress Design and Plastic Design" and AISC code of standard practice, shall be of domestic origin and conform to:

- Wideflange - ASTM A992, Fy = 50 ksi
- Plates and Angles - ASTM A36
- HSS Round - ASTM A513, Grade B Fy = 35 ksi

SPECIALTIES

• Pre-Built fireplace units shall be UL approved and installed according to code and manufacturer's specifications and recommendations.

• Wood burning fireplaces shall have tight-fitting fire dampers and outdoor combustion air.

• Chimneys shall extend a minimum of 2'-0" above any roof structure within 10'-0".

• Provide overflow pans and drains for wet appliances when located above a finished space.

• Provide a 22"x30" (min) attic access with switched light or 22"x48" pull down stair. Seal and insulate as per local code.

• Kitchen and Bath plans are approximate. See manufacturer's plans for exact layout and dimensions.

• The drywall contractor is responsible for the design and construction of the party walls, fire walls and fire separation assemblies. All work shall comply with local codes.

• The fire suppression contractor is responsible for the design and construction of the suppression systems. All work shall comply with local codes.

THERM. PROTECTION

R-Value	Thickness	Location
R-4.6	--	Duct insulation in uncond. sp.
R-6	--	Duct insulation in uncond. sp.
R-6	--	Duct insul. below conc. slab.
R-8	--	Duct insulation in Attic, sp.
R-10	2"	Slab insulation at Parimeter
R-1 (tolerant)	3/8"	Basement Walls - Unfinished
R-13	3/8"	Basement Walls - 2x4 Finished
R-13 + 5	3/8"	2x4 Walls - Exterior
R-21	5/8"	2x6 Walls - Exterior
R-13	6/25"	Crack space / Floors exposed to unconditioned space
R-30	2"	Ceiling (w/ Energy heel)
R-30 C	10/25"	Vaulted Ceiling
R-38	2"	Ceiling (w/ Energy heel)
R-45	5" (min.)	Ceiling (w/ standard heel)

• When using blown insulation, the manufacturer's settled R-value shall be used and the blown insulation shall be installed per manufacturer's specifications.

• The building thermal envelope shall meet the requirements of the IECC Sections R402(1) through R402(15).

• Prescriptive R-values in IECC Table R402.1 are shown above.
 • Per IECC Section R402.14, Alternative II-values of an assembly may be substituted as the U-factor Alternative method to meet building thermal envelope requirements.
 • Per IECC Section R402.15, the Total UA Alternative method may be used to meet the building thermal envelope requirements.

• Insulation for slab-on-grade construction shall begin at the inside intersection of the slab and foundation wall and shall extend for a minimum distance of 24" above the inside face of the foundation wall and horizontally under the slab.

• Provide continuous soffit vents and ridge vents shown on drawings and as per code. Install insulation baffles in accordance with local code, in each truss/rafter bay to maintain free air flow.

• Flashing shall be of pre-finished aluminum (or equal), installed at all roof offsets, chimneys, roof openings, hips, valleys, ridges, domes and where roof intersects wall (as per local code).

• Contractor shall maintain, in all instances, proper fire, sound and pest ratings when penetrating through walls, floors, ceilings and roofs.

WINDOWS and DOORS

• Provide safety glazing as required by local code.

• All doors and windows shall be sealed and flashed on all sides and installed in accordance with manufacturer's specifications and per local code.

• Garage door into dwelling shall have a minimum fire rating of 20 minutes (or per local code). The threshold of the door opening between the garage and adjacent interior space shall not be less than 4" above the garage floor (or per local code).

• Every sleeping room shall have at least one operable window or exterior door approved for emergency egress or rescue. The sill height shall not be more than 44" above the floor. Egress windows must have a minimum net clear opening of 5.7 ft., or per local code.

• Window sill height shall be a minimum 24" above finished floor at all sills greater than 12" above finished grade, or per local code.

WOOD

• Wall bracing shall be installed as per local code.

• All roof trusses and floor systems shall be engineered by others.

• All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and per local code. See manufacturer's plans for exact layout and construction.

• Fire-stopping shall be provided to cut off concealed draft openings and to form an effective fire barrier between stories, as per local code:

- At the intersection of kitchen bulkhead and wall.
- At the top of all heat chases.
- At bathtub trap openings.
- 2x fire-stopping / blocking at every floor or 8'-0" o.c. vert.

• LVL Beams: 1-3/4" wide - 18E Microlam LVL
 • LSL Beams: 3-1/2" wide - 15E Timberstrand LSL
 • PSL Beams: 3-1/2" wide - 20E Parallel PSL
 • PSL Columns: (as noted) - 18E Parallel PSL Columns

• All walls to be 16" o.c. stud (thickness per plan), minimum 5/8" stud grade unless otherwise noted. Interior non-load bearing partitions may be 2x4 studs at 24" o.c.

• All interior and exterior load bearing walls shall have lapping top plates where walls intersect.

• All wood less than 8" from grade shall be treated lumber. All sole plates on slabs and foundations shall be treated lumber.

• Provide bracing at all structural members as required by code.

• Provide floor and wall blocking as shown on framing plans as required by local codes.

• See drawings for type of floor construction.
 • Tongue and groove floor decking, glued and fastened on floor joists shall meet the American Plywood Assoc. Sturd-I Floor System.

• All materials shall be installed per manufacturer's specifications and per applicable local codes.

TABLE 102.8.3.1 ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER *As per code*

SIZE OF STEEL ANGLE (inches)	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO. OF 1/2" OR EQUIVALENT REINFORCING BARS
3 X 3 X 1/4	6'-0"	4'-6"	3'-0"	1
4 X 3 X 1/4	8'-0"	6'-0"	4'-6"	1
5 X 3 1/2 X 3/16	10'-0"	8'-0"	6'-0"	2
6 X 3 1/2 X 5/16	14'-0"	10'-0"	7'-0"	3
2-6 X 3 1/2 X 5/16	18'-0"	12'-0"	9'-6"	4

For 6x 1 inch = 25.4 mm, 1 foot = 304.8 mm

- Long leg of the angle shall be placed in the vertical position.
- Depth of the re-inforced lintel shall not be less than 8" and all cells of hollow masonry lintels shall be grouted solid.
- Re-inforcing bars shall extend not less than 8" into the support.
- Steel members indicated are adequate typical examples. Other steel members meeting structural design requirements may be used.

• Either steel angle or re-inforced lintel shall span opening.

2015 IRC - 2015 IECC

MECH. PLUMB. ELEC.

• Mechanical contractor is responsible for the design and installation of the mechanical systems including duct sizes, trunk and register sizes for air conditioning, heating and ventilation. Systems shall be installed per manufacturer's specifications and recommendations and per all applicable codes.

• Mechanical systems shall provide a minimum of (3) air exchanges per hour (or per local code). The building shall be provided with ventilation that meets the requirements of the International Residential Code or International Mechanical Code, as applicable.

• Per IRC R303.4, when the air infiltration rate of a dwelling unit is 5 air changes per hour or less, the dwelling unit shall be provided with whole-house mechanical ventilation in accordance with IRC section M1501.3. Outdoor air intakes or exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.

• Mechanical systems in unconditioned space shall have a manufacturer's designation for an air leakage of no more than 2% of the design air flow rate when tested in accordance w/ ASHRAE 153.

• Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and per all applicable codes.

• Each bump shall be sealed and vented as per code, vented through roof with 3" Diameter vent.

• Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.

• Install programmable thermostats.

• Smoke detectors and Carbon Monoxide detectors:

- Provide a minimum of (1) ceiling mounted fixture per floor, hardwired to a nearby circuit and interconnected for simultaneous activation with battery backup.
- Provide Smoke detectors at each sleeping room.

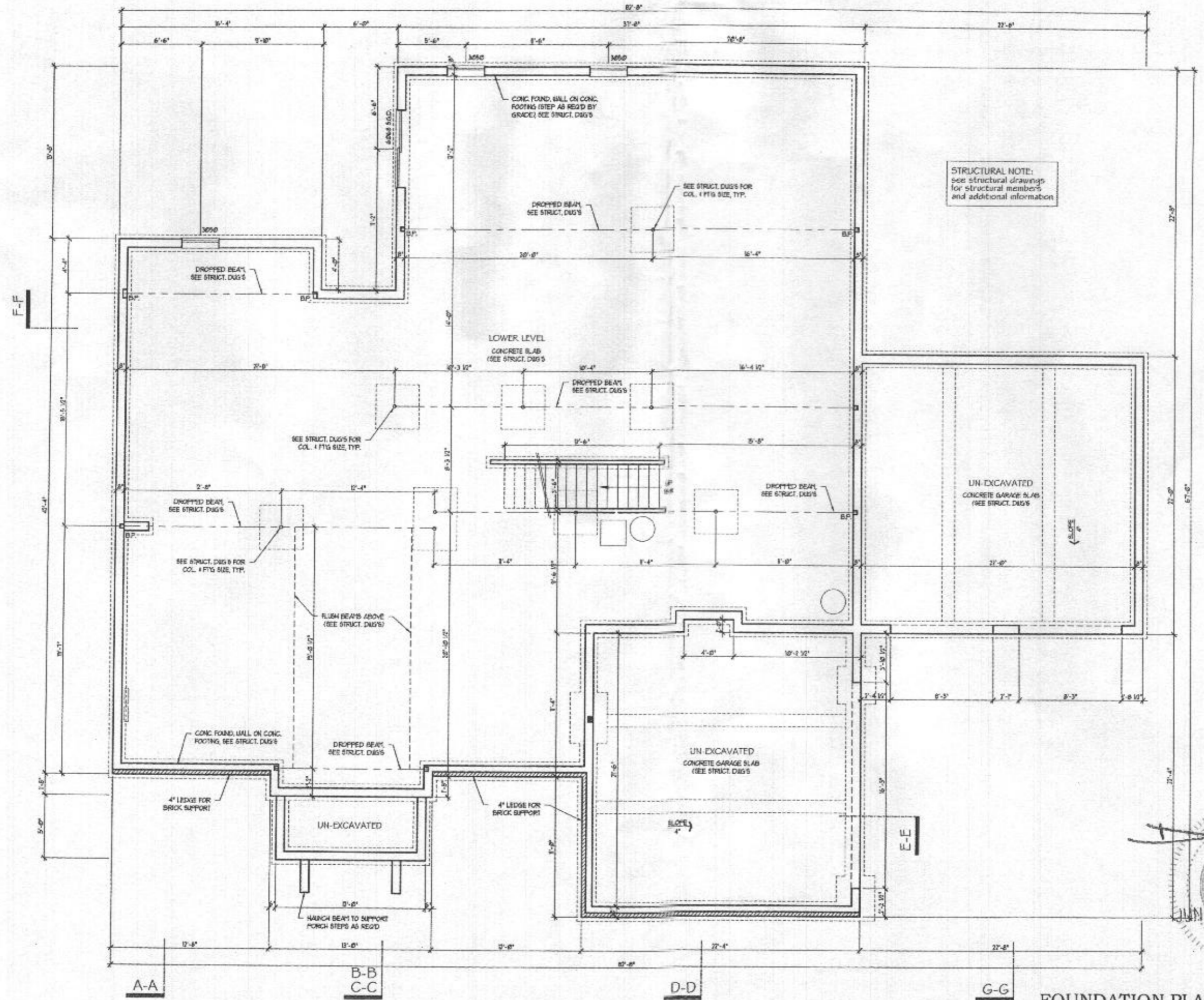
• Not less than 75% of the lamps in permanently installed lighting fixtures shall be high efficiency lamps or not less than 75% of permanently installed lighting fixtures shall contain only high-efficiency lamps.

• Sprinkler system (when required) shall be NFPA-10D, installed per manufacturer's specifications and recommendations and per all applicable local codes.

Architecture Collaborative, Inc.
 Elliott City, MD 21043
 8934 Main Street
 www.archcol.com
 Tel.: (410) 465-7500 Fax: (410) 465-0903

GENERAL NOTES
 SCALE: 1" = 4' (3/4"x22) (11/16")
 U.N.O. 1" = 8' (1/2"x11) 2.0
 DRAWN: ACT DATE: 5-20-19
 CARUSO HOMES, INC.
 TARA PARK - CUS.195

Professional Certification
 I hereby certify that these documents were prepared or approved by me, an individual registered under the law of the State of Maryland.
 My license number: 04-07-0003
 My expiration date: 04-07-2020



STRUCTURAL NOTE:
see structural drawings
for structural members
and additional information



FOUNDATION PLAN

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

CODE CYCLE: 2015 IRC Architecture Collaborative, Inc. 8/30/2019 2:27 PM

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

FOUNDATION PLAN
Project: 17-4 (34522) File: 018.0, 17-8 (17281) 4.1
Drawn: ACI Date: 5-20-19
CARUSO HOMES, INC.
TARA PARK - CUS.195

date	revision	by

SHEET #
4.1

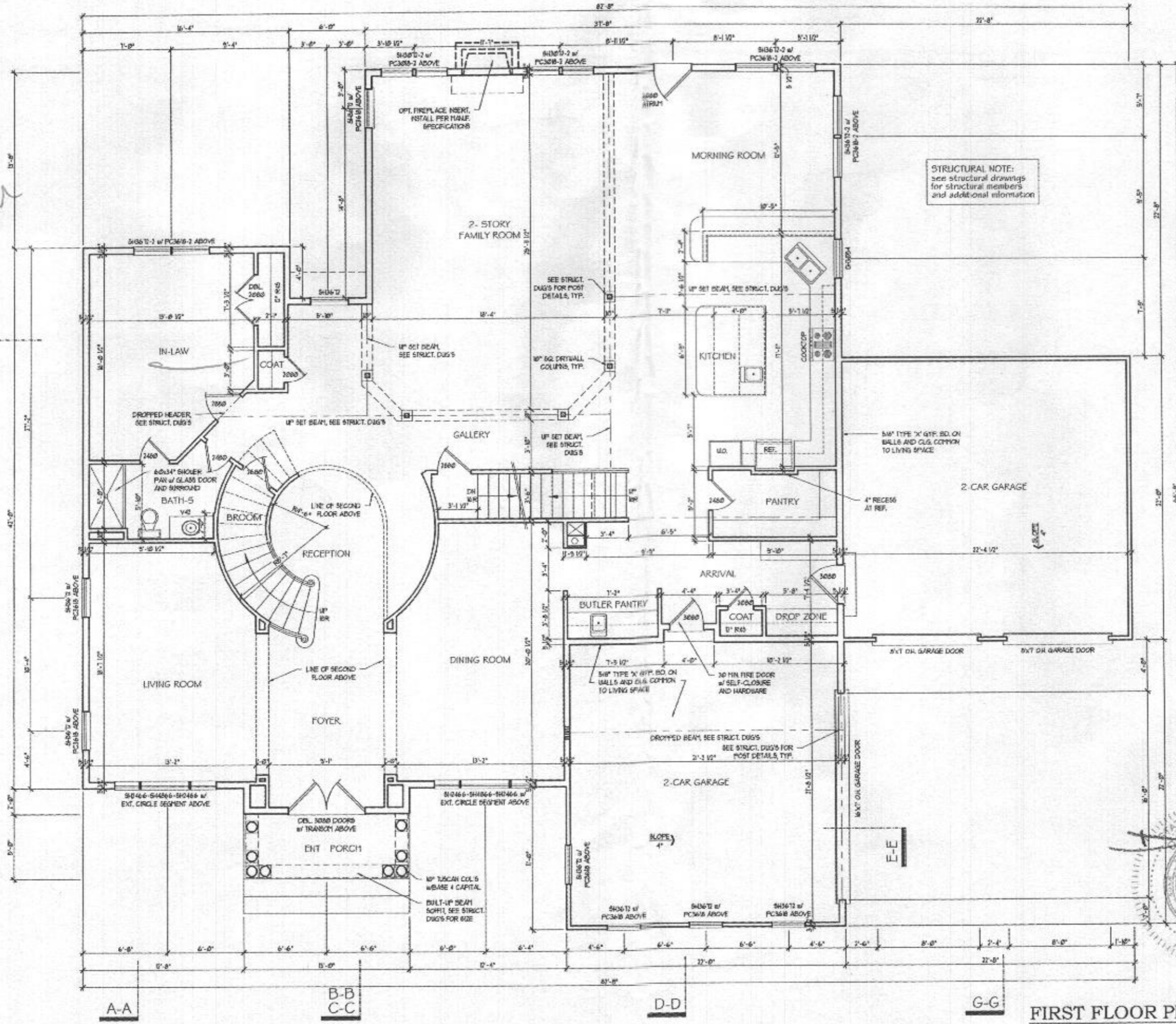
Professional Certification
I hereby certify that these documents
were prepared or supervised by me, and
that I am a duly licensed architect for the year
of this State of Maryland.
license number: 0001
expiration date: 04-03-2020

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File Name: S:\CLIENT\CARUSO\CUSTOM\CARUSO\SHSHEETS\4.1.DWG

1 bedroom

F-F



STRUCTURAL NOTE:
see structural drawings
for structural members
and additional information

FIRST FLOOR PLAN

SCALE (1/8"=1'-0") 1/8" = 1'-0"
SCALE (3/16"=1'-0") 3/16" = 1'-0"



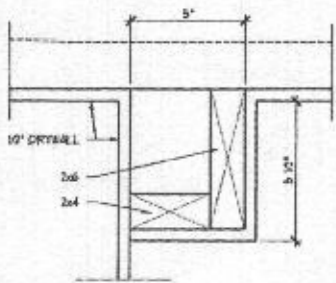
1 bedroom
OK RB
7/3/19

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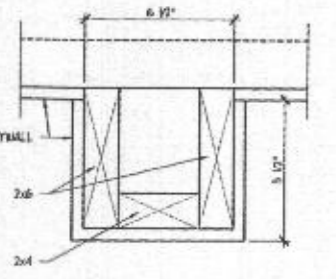
PROJECT: CARUSO HOMES, INC.
TARA PARK - CUS.195
DATE: 5-20-19
DRAWN: ACI
CHECKED: JTB

DATE	REVISION

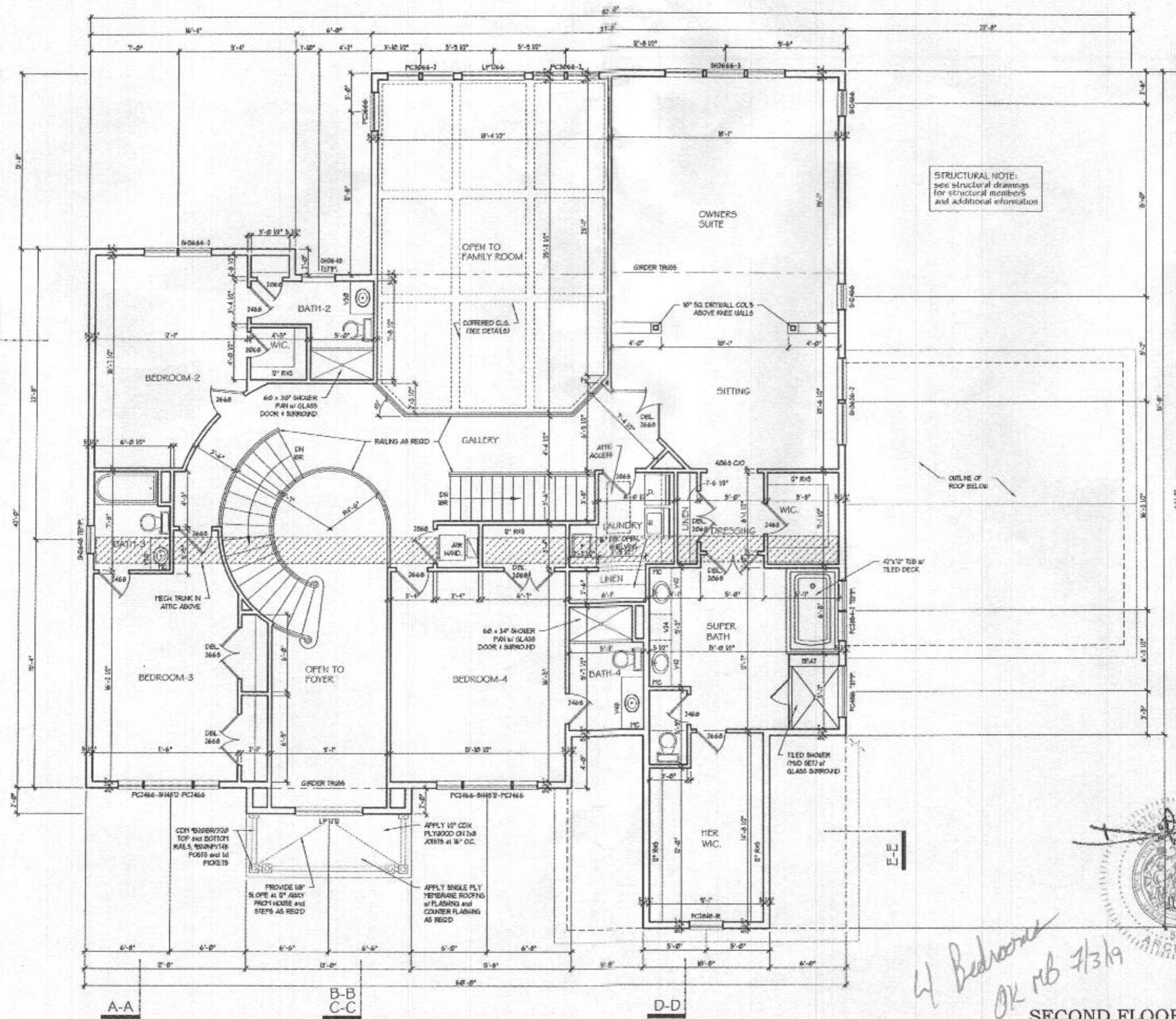
PROFESSIONAL CERTIFICATION
I hereby certify that these documents
were prepared by me or under my direct
supervision and that I am a duly licensed
professional architect under the laws
of the State of Maryland.
License number: 04-00-2025
Expiration date:



2
DETAIL:
COFFERED CEILING
along the walls no scale



1
DETAIL:
COFFERED CEILING
in the middle no scale



STRUCTURAL NOTE:
see structural drawings
for structural members
and additional information

*4 Bedrooms
OK MB 7/3/19*



SECOND FLOOR PLAN
SCALE (1/8" = 1'-0")
SCALE (1/4" = 1'-0")

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
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Tel: (410) 465-7500 Fax: (410) 465-0903

content: SECOND FLOOR PLAN
title: CARUSO HOMES, INC.
TARA PARK - CUS.195
date: 5-20-19
drawn: ACI
checked: (S) (S) (S) (S) (S)
U.S.D. 1'-0" (1/8") (1/8") (1/8") (1/8") (1/8")

date	revision	by

SHEET #
6.1
Professional Certification
I hereby certify that these documents
were prepared or approved by me, and
that I am a duly licensed architect in the
State of Maryland.
license number: 0823
expiration date: 04-05-2020