

PERMIT NUMBER: **B20002929**

DATE ACCEPTED:

**JUL 23 2020**



## RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

[www.howardcountymd.gov](http://www.howardcountymd.gov)

### BUILDING SITE ADDRESS *REQUIRED*

Street Address: 15629 LINDEN GROVE LN		Unit:
City: WOODBINE	State: MD	Zip Code: 21765
Subdivision/Village/Complex Name: LINDEN GROVE		SDP/WP/BA #:
Lot: 7	Tax Map: 8	Parcel: 5
Grading Permit #: F-18-092		

### DESCRIPTION OF WORK *REQUIRED*

Existing Use: vacant	Proposed Use: sfd	Estimated Cost: \$250k
Trade Work to Be Completed ( <i>Separate Permits Required</i> ): <input checked="" type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> None		
NEW SINGLE FAMILY DWELLING FINISHED LOWER LEVEL 2 CAR SIDE ENTRY GARAGE, EXTRA ONE CAR GAR 14X21, LUXERY COVERED DECK 27X15		

### PROPERTY OWNER INFORMATION *REQUIRED*

Owner(s) Name(s) ( <i>As it appears on tax records</i> ): TOLL BROTHERS INC		Primary Residence: <input type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 7164 COLUMBIA GATEWAY DR		
City: COLUMBIA	State: MD	Zip Code: 21046
Phone: 240-418-3846	Email:	

### APPLICANT NAME *REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION*

Business Name: TERRI MCNICHOLAS PERMITS PLUS, INC.		Contact Name: TERRI MCNICHOLAS
Street Address: 487 KENORA DRIVE		
City: MILLERSVILLE	State: MD	Zip Code: 21108
Phone: 443-271-1528	Email: TERRIPERMITS@YAHOO.COM	

### CONTRACTOR INFORMATION *REQUIRED*

Business Name: TOLL MID-ATLANTIC LP COMPANY INC		
Licensee's Name: TOLL MID-ATLANTIC LP COMPANY INC.	License #: 8220	
Street Address: 7164 COLUMBIA GATEWAY DRIVE STE 230		
City: COLUMBIA	State: MD	Zip Code: 21046
Phone: 240-418-3846	Email: PCLIFFORD@TOLLBROTHERS.COM	

### ARCHITECT/ENGINEER INFORMATION *INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE*

Business Name: ESE CONSULTANTS TOLL ARCH		Name:
Street Address: 7164 COLUMBIA GATEWAY DRIVE		
City: COLUMBIA	State: MD	Zip Code: 21046
Phone: 410-872-9105	Email:	

### BUILDING CHARACTERISTICS *REQUIRED*

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)		Condo: <input type="checkbox"/> Yes <input type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Heating System: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:		Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input checked="" type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None		Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Voice Evac

### ADDITIONAL RESIDENTIAL INFORMATION (*PLEASE SELECT/COMPLETE ALL THAT APPLY*)

Model Name & Options: DUMONT-POF "2STRY FULL BST 10R,3FB,1HB,FP&3 CAR GARAGE(5BR)"					
# of Bedrooms (SF): 5	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):	
# Rooms: 11	# Full Baths: 3	# Half Baths: 1	# Fireplaces: 1		
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None					
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input checked="" type="checkbox"/> Full or <input type="checkbox"/> Partial					
1st Fl Width: 58	1st Fl Depth: 52	2nd Fl Width: 58	2nd Fl Depth: 45	Bsmt Width: 58	Bsmt Depth: 52
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input checked="" type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 7028 sq ft		Occupiable Area: 6499 sq ft	

### AGREEMENT/ DISCALIMER *REQUIRED*

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANT'S COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

### FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input checked="" type="checkbox"/> SHA	<input checked="" type="checkbox"/> CID
SUBMITTAL FEES:		PAYMENT:		ACCEPTED BY: <b>DROPBOX</b>	

10

**HOWARD COUNTY**  
**DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS**  
**3430 COURT HOUSE DRIVE - ELLICOTT CITY, MD 21043**  
**\* THIS PERMIT MUST BE CONSPICUOUSLY POSTED ON SITE \***

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**Residential New Single Family Dwelling Permit**

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**PERMIT NUMBER:** B20002424

**APPLICATION DATE:** 7/23/2020

**ISSUE DATE:** 1/26/2021

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**SITE ADDRESS:**

15629 LINDEN GROVE LN  
WOODBINE, MD 21797

**PROPERTY OWNER INFO:**

TOLL BROTHERS INC  
7164 COLUMBIA GATEWAY DRIVE  
COLUMBIA, MD 21046  
Phone #: 240-418-3846

**Subdivision:** Linden Grove

**Lot No.:** 7      **Tax Map:** 7      **Grid:** 7-18

**ADC Map:** 4691-K8      **SDP No.:**      **Zoning:** RC-DEO      **Census Tract:** 604001

**DESCRIPTION OF WORK:**

SFD/ MODEL 'DUMONT', 2 STORY, FULL BASEMENT, BASEMENT = UNFINISHED, 11R, 3FB, 1HB, 1FP, 3 CAR ATTACHED, 5BR, N/A, ENERGY METHOD = UA ALTERNATIVE, SUBJECT TO CB-76-2018.

**PRIMARY CONTRACTOR INFO:**

**Contractor License No.:** 8220

**License Address:** TOLL MID-ATLANTIC LP COMPANY INC  
NATHAN BRANDENBURG  
7164 COLUMBIA GATEWAY DRIVE SUITE  
230  
COLUMBIA, MD 21046  
**Phone #:** 410-872-9105

**PRIMARY CONTACT INFO:**

**Contact Type:** CONTACT  
PERMITS PLUS INC  
487 KENORA DRIVE  
MILLERSVILLE, MD 21108  
**Phone #:** 443-271-1528

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**Building/Lot Characteristics**

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**Legal Description:**

**Existing Use:** Vacant Lot

**Height:** 28

**Basement:** Unfinished

**SF # of Bedrooms:** 5

**SF # of Full Baths:** 3

**SF # of Half Baths:** 1

**Water Supply:** Private

**Sewage Disposal:** Private

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**Zoning Setback Requirements:**

<b>Front -</b>	<b>Proposed:</b> 90	<b>Required:</b> 50
<b>Rear -</b>	<b>Proposed:</b> 135	<b>Required:</b> 30
<b>Side -</b>	<b>Proposed:</b> 33/25	<b>Required:</b> 10
<b>Side Street - Proposed:</b>	n/a	<b>Required:</b> n/a

**Permit Fees:**

<b>Total Fees Invoiced:</b>	\$37,286.04
<b>Total Fees Paid:</b>	\$37,286.04
<b>Balance Due:</b>	\$0.00

**Meets Minimum Required Setbacks?:** Yes      **Lot Coverage for NT Zoning:**

To schedule an inspection or check the results of an inspection please call (410) 313-3800

**APPROVED BY THE DIRECTOR OF INSPECTIONS, LICENSES AND PERMITS - BUILDING OFFICIAL**



COMPLETE THIS FORM WHEN DROPPING OFF ANY CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

RECEIVED

Date: 8-10-20 GEORGE MARTINUS 12-2200

To: Building Tech. (Person's Name and Division)

From: Terri McNicholas Permits Plus Inc (443) 271-1528 (Your Name, Company Name and Telephone Number)

Subject: Project name Lot 7 Linden Grove Project site address 15629 LINDEN GROVE

Permit # B20002424 SDP #

Other information pertinent to this project

✓ Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.

1 Letter Summarizing Changes - Should be Unfin. Basement - NOT Finished

Energy conservation calculations

Copies of

Health Department Request

Two sets of single family dwelling model pl

Other

UPDATED A.S.I. TO UNFINISHED

Applicant's Request and/or #

Contact Person Information: (Required)

Terri McNicholas Please Print Name

271 1528 permits@yahoo.com

PLEASE ASSURE ALL DOCUMENTS AND/OR NECESSARY, BY A LICENSED ARCHITECT INFORMATION MAY RESULT IN THE DELA OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by DROPBOX

Menu Save Reset Cancel Help

Record Detail (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21000538	02/22/2021
Description of Work		
SFD/ INSTALL 1000GAL UNDERGROUND PROPANE TANK		

check spelling

Approved  
4/9/21

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
15629	LINDEN GROVE	LN	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		77.06586	39.32727
City	State	Zip Code	Primary
WOODBINE	MD	21797	Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059837	0005	0	0	0	0	RURAL
Legal Description						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
18	7	604001	5				
Plan Area	State Tax Id	Subdivision Name					
		Linden Grove					
Section	Area	Tax Map					
		7					
Grid	Zoning District	ADC Map					
7-18	RC-DEO	4691-K8					
SDP No.	Final Plan No.	WP File No.					
	ECP-17-019						
Record Plat No.	WS Contract No.	FDP No.	Primary				
25064-2507			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-05	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is required.)

Search Reset Clear

Name		
KIMBERTHY/HERITAGE LLC		
Address Line 1		
PO BOX 482		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
LISBON	MD	21765
Phone	Primary	
301-725-3232	Yes	
E-mail		
Cell Number	Fax Number	

Professionals (This section is not required.)

Search    Reset    Clear

License # *	Business Name		
20100103851	THE H.J. POIST GAS COMPANY, INC		
License Type *	First Name	Middle Name	Last Name
Propane Gs	SEAN	MICHAEL	UNDERWOOD
Primary	Address Line 1		
Yes	360 MAIN STREET		
	Address Line 2		
	City	State	ZIP Code
	LAUREL	MD	20707-0000
	Phone 1	Phone 2	Fax
	4434149582		
	E-mail		

Applicant (This section is not required.)

Search    As Owner    As Lic. Prof    As Contact

Type *	First Name	MI	Last Name
Applicant	MICHELLE		CLANCY
Relationship	Full Name		
Applicant	MICHELLE CLANCY		
Primary	Organization Name		
Yes	APPLIED & APPROVED PERMITS LLC		
	Street Address		
	P.O. BOX 310		
	Address Line 2		
	City	State	Zip Code
	PERRY HALL	MD	21128
	Phone	Cell	Fax
	443-340-1229		
	E-mail *		
	MICHELLE@APPLIEDANDAPPROVED.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
3000	0	0	No
Construction Type			
--Select--			

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	8/22/2021	0	

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit    Cancel

**LEGEND:**

- BRL BUILDING RESTRICTION LINE
- W WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- FAILED PERC LOCATION
- ▨ SEPTIC RESERVE AREA
- ▩ WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE
- PROPOSED TREE

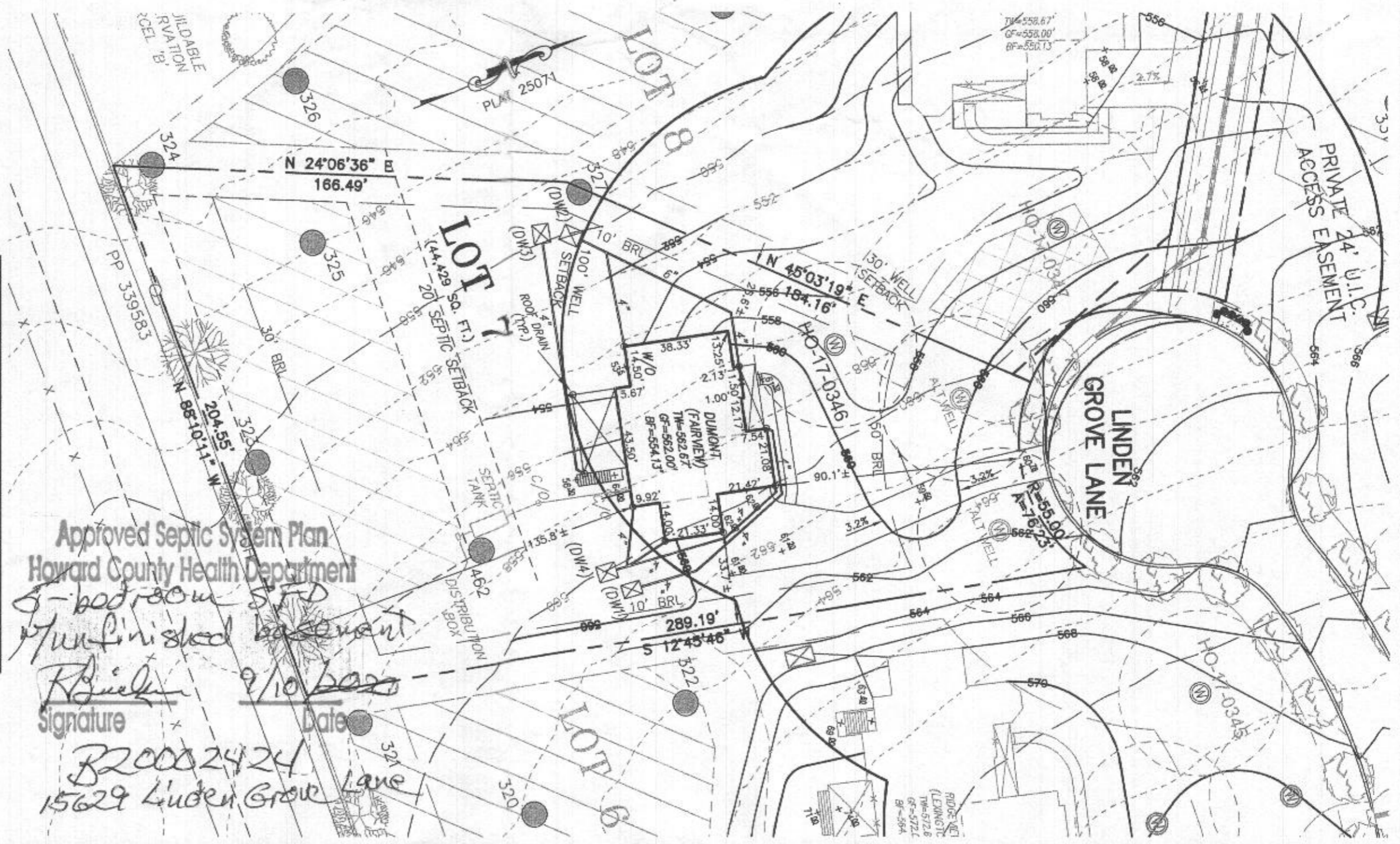


HOUSE ENLARGEMENT  
SCALE 1" = 30'

WELL NUMBER: HO-17-0346

ADDRESS: 15629 LINDEN GROVE LANE  
WOODBINE, MD 21797

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE  
DEVELOPMENT PLAN SETBACK DISTANCES SHOWN  
HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



Approved Septic System Plan  
Howard County Health Department  
5-bedroom SFD  
Unfinished basement  
*R. Buckner*  
Signature *9/10/2020*  
Date  
*B20002424*  
*15629 Linden Grove Lane*



HOUSE TYPE: DUMONT (FAIRVIEW)

TWO CAR SIDE ENTRY GARAGE	OPTION No. 012
WALK-OUT BASEMENT	OPTION No. 017
ADD'L 1' TO FOUNDATION WALL HEIGHT	OPTION No. 070
ADDITIONAL INTERIOR DOOR	OPTION No. 167
ADDITIONAL SINGLE WINDOW	OPTION No. 187
OPTIONAL DROP ZONE	OPTION No. 263081
ADD'L ONE CAR FRONT ENTRY GARAGE	OPTION No. 263102
WALK-OUT LUXURY COVERED DECK	OPTION No. 263169
OPTION 030 ADDITIONAL WALK IN CLOSET	OPTION No. 90007001
DELETE DOUBLE DOORS OFF THE STUDY-CASED OPENING ONLY	OPTION No. 90007010

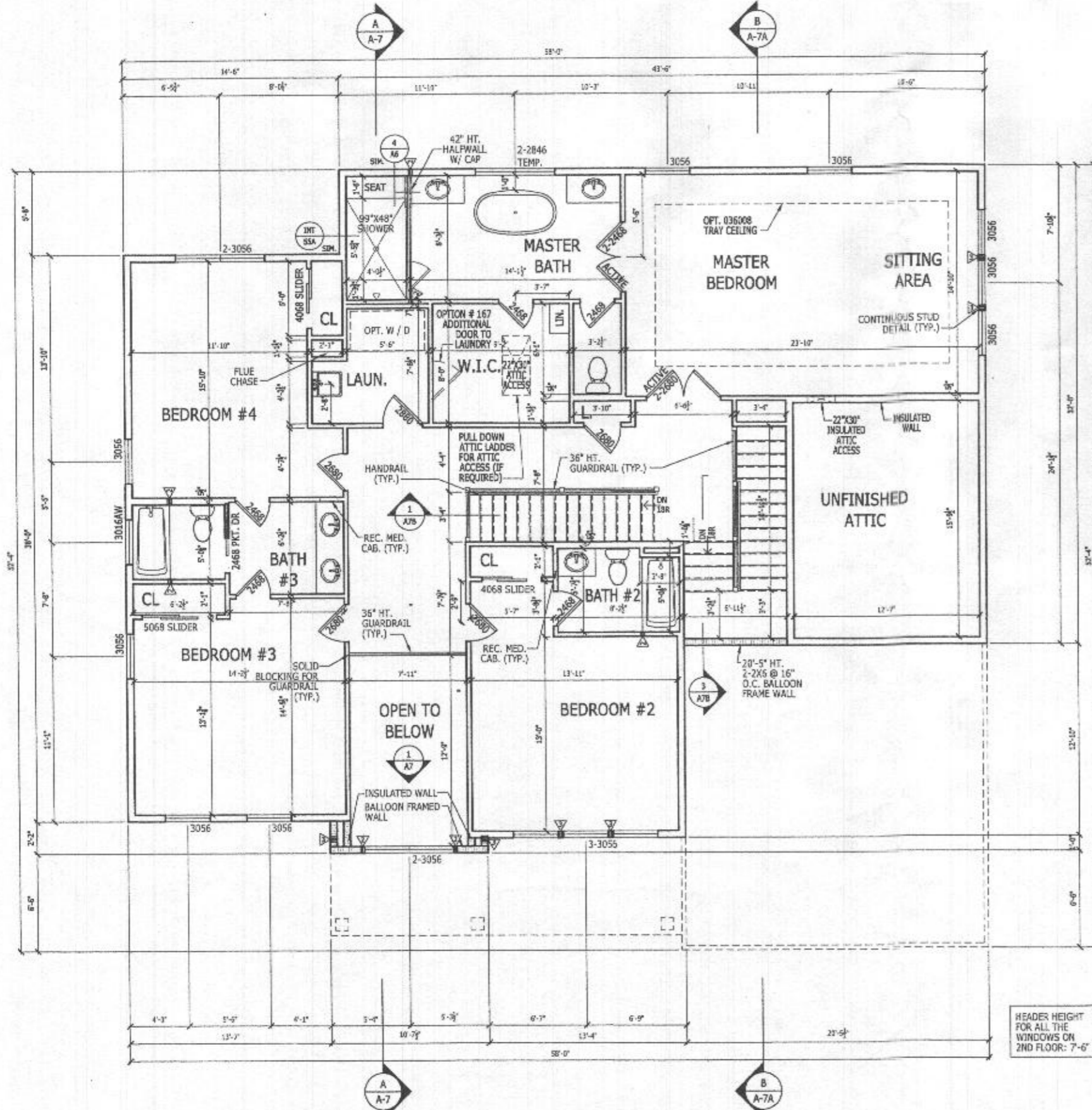
PLOT PLAN  
LOT 7  
**LINDEN GROVE**  
LIBER 15899, FOLIO 246  
PLAT NO. 25071  
ELECTION DISTRICT No. 4  
HOWARD COUNTY, MARYLAND

**ESE CONSULTANTS**  
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENT

ESE Consultants, Inc.  
7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046  
T: 410-872-9105

DATE: 07/18/2020    SCALE: 1" = 40'    FILE: PP LOT 7 - DUMONT FAIRVIEW  
CHK'D: M.J.B.    JOB NO: 4683    DRAWN: R.C.K./G.V.S.

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 ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF TOLL BROTHERS, INC. AND ARE COPYRIGHTED. THEY WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF TOLL BROTHERS, INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND TOLL BROTHERS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



**LATERAL BRACING**  
 THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.  
 FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET

**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

9' CEILING HEIGHT  
 CRAFTSMAN

**RIGHT HAND SET**

SHEET DESCRIPTION  
**SECOND FLOOR PLAN**

SHEET NUMBER  
**A3\_31**

DRAWN BY - K.SIDHUPURA  
 CHECKED BY - TOLLARCH  
 SHEET DATE - 03.13.2019

PRODUCT LINE  
**DUMONT**  
 MODEL/PROJECT NAME  
**CRAFTSMAN**

SHEET REVISION INFO  
 SET REVISION INFO  
 202347

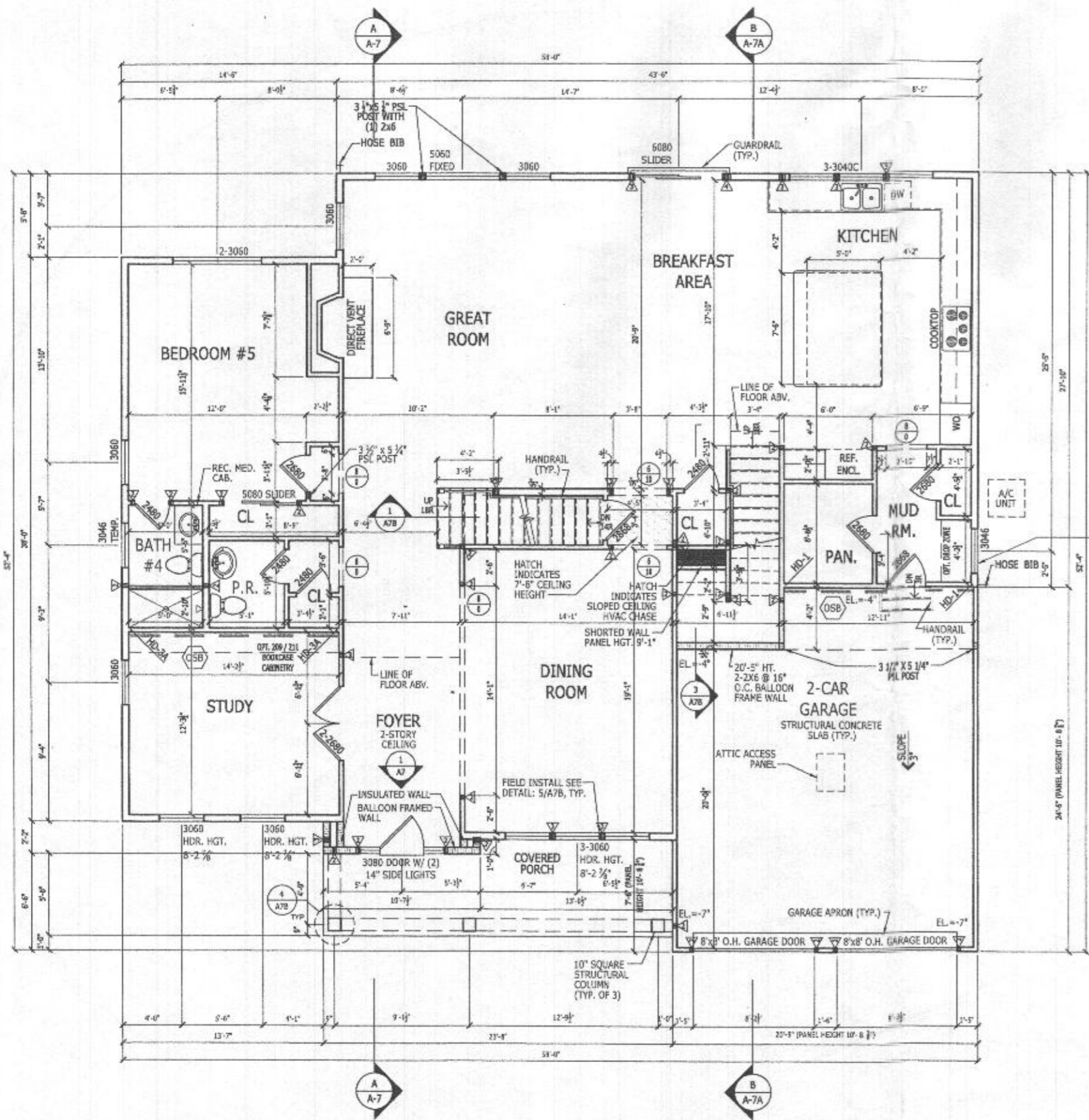
**TOLLARCHITECTURE**  
 PHILADELPHIA · ORLANDO  
 DALLAS · LOS ANGELES · SEATTLE  
 250 Gibraltar Road, Horsham, PA 19044  
 P 215-293-5300 | F 215-293-5314  
 A Division of Toll Brothers

B20002424 Lot 7 Health Dept. Floorplans

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**LATERAL BRACING**  
 THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.  
 FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET



DELETE WINDOW W/ OPT. S. 263061 DROP ZONE, 263062 DROP ZONE W/ CABINETRY, & 263150 PAINTED FAMILY ENTRY LOCKERS

**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

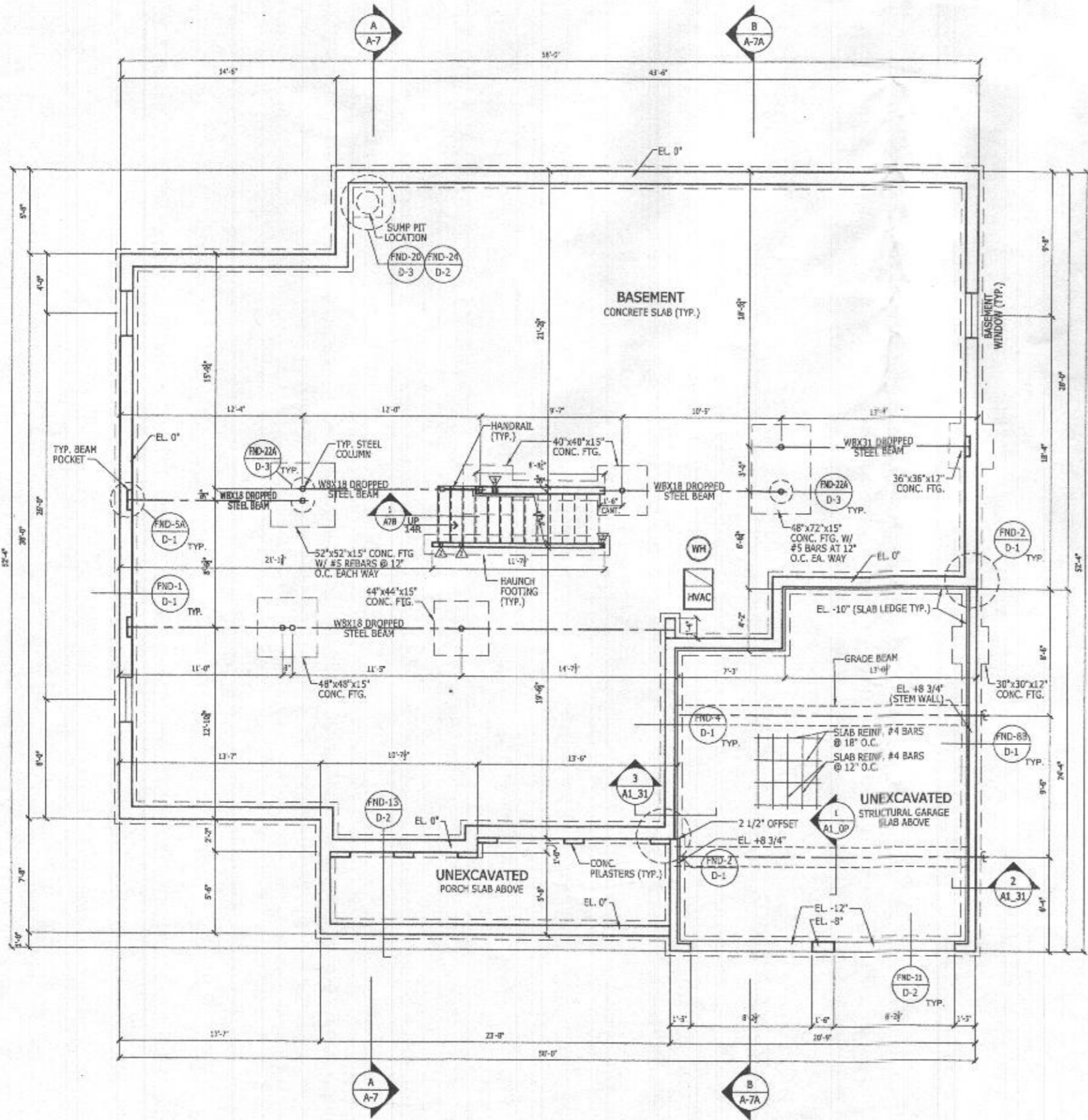
10' CEILING HEIGHT  
 CRAFTSMAN

REVISED  
 Date: 8/12/2020  
 Comments: B20-2427

RIGHT HAND SET

<b>TOLLARCHITECTURE</b>	
PHILADELPHIA - ORLANDO DALLAS - LOS ANGELES - SEATTLE 250 Gibraltar Road, Horsham, PA 19044 P 215-293-5500   F 215-293-5314 A Division of Toll Brothers	
SHEET REVISION INFO	SET REVISION INFO
	202347
PRODUCT LINE	MODEL/PROJECT NAME
	DUMONT
	ELEVATION NAME
	CRAFTSMAN
DRAWN BY - K.SIDHURA	CHECKED BY - TOLLARCH
	SHEET DATE - 03.13.2019
SHEET DESCRIPTION	FIRST FLOOR PLAN
SHEET NUMBER	A2_31
SERIAL NUMBER	1015.1

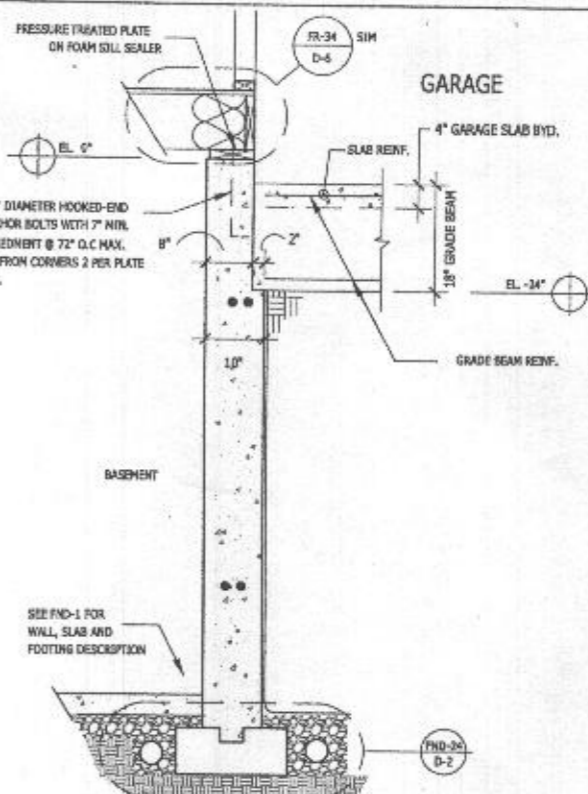
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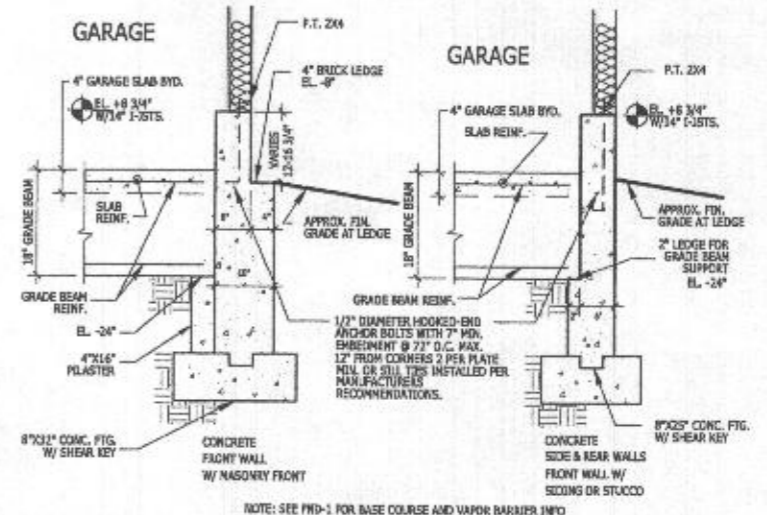
**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

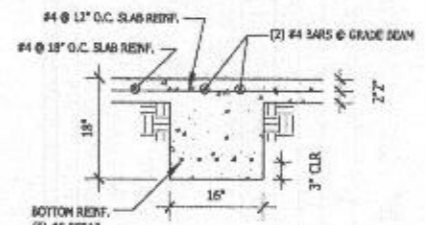
CRAFTSMAN



**3 GARAGE GRADE BEAM TO BASEMENT DETAIL**  
A1\_31 Scale: 3/4" = 1'-0" CRAFTSMAN



**2 GARAGE GRADE BEAM AND SLAB DETAILS**  
A1\_31 Scale: 3/4" = 1'-0" CRAFTSMAN



**1 GARAGE GRADE BEAM AND SLAB DETAILS**  
A1\_31 Scale: 3/4" = 1'-0" CRAFTSMAN

- NOTES: 1. CONCRETE Fc 3500 PSI-AS-ENTRAINED
- 2. REINF: GRADE 60 (MIL); WWF: GRADE 60
- 3. BAR LAP LENGTHS: #4 USE 20"; #5 USE 26" WWF: LAP 4" (MIL)
- 4. DESIGN LIVE LOAD - GARAGE 50 PSF
- 5. SOIL BRG. 1500 PSF (MIL)

RIGHT HAND SET

SHEET DESCRIPTION  
**BASEMENT FOUNDATION PLAN**

**TOLLARCHITECTURE**

PHILADELPHIA · ORLANDO  
DALLAS · LOS ANGELES · SEATTLE  
250 Gibraltar Road, Horsham, PA 19044  
P 215-293-5300 | F 215-293-5314  
A Division of Toll Brothers

SHEET REVISION INFO

SET REVISION INFO  
202347

PRODUCT LINE

MODEL/PROJECT NAME  
**DUMONT**  
ELEVATION NAME  
**CRAFTSMAN**

DRAWN BY · K.SIDHUPURA

CHECKED BY · TOLLARCH

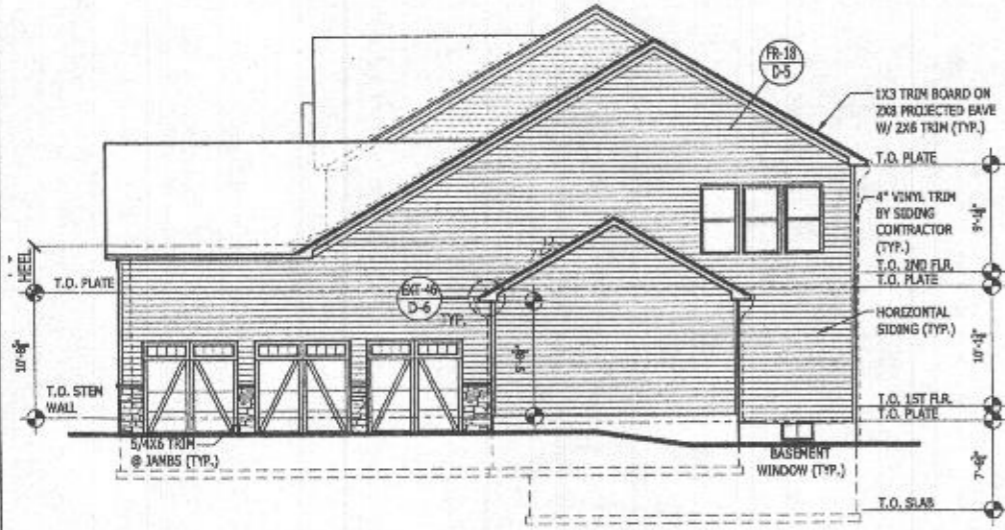
SHEET DATE · 03.13.2019

SHEET NUMBER  
**A1\_31**

SHEET NUMBER  
**A1\_31**

SERIAL NUMBER  
1015.1

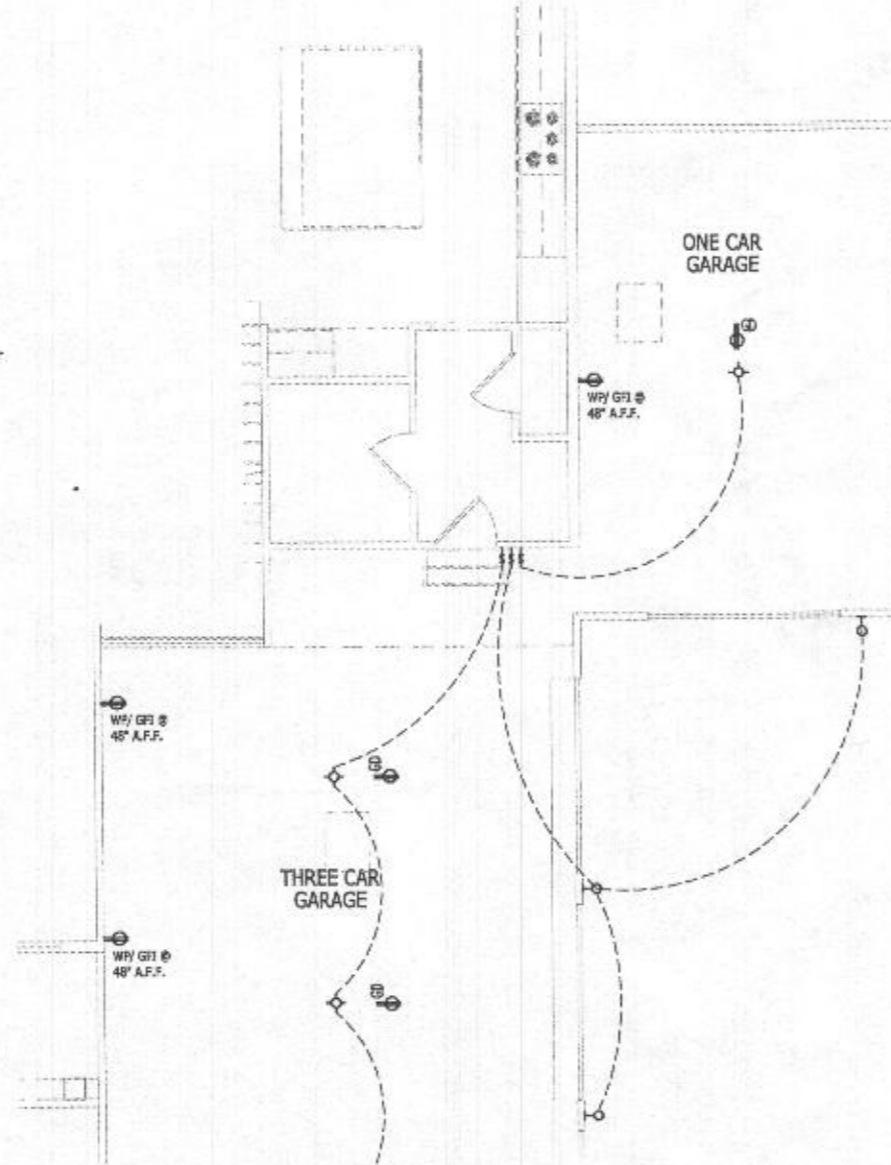
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**SIDE ELEVATION**

Scale: 1/4" = 1'-0"

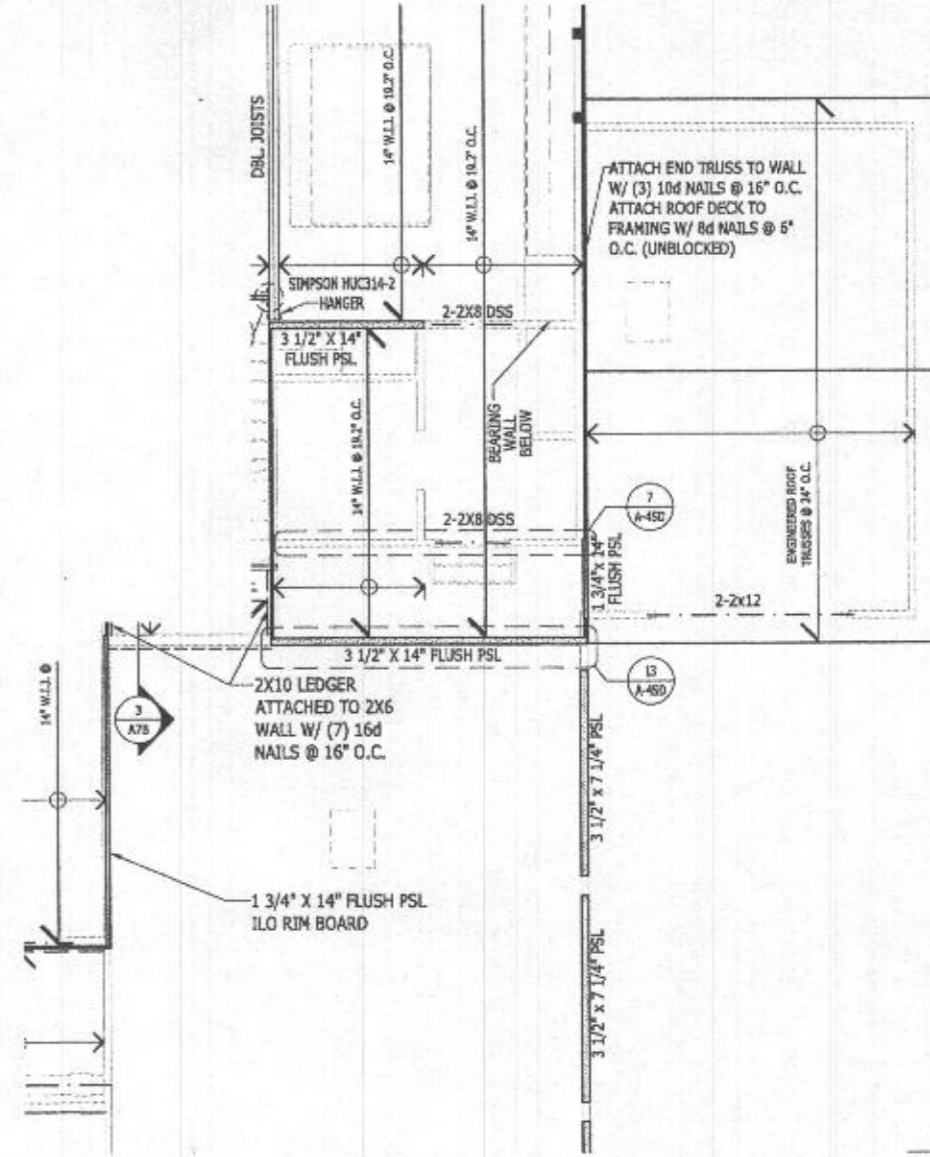
CRAFTSMAN SHOWN (ALL ELEVATION SIM.)



**PARTIAL FIRST FLOOR ELECTRICAL PLAN**

Scale: 1/4" = 1'-0"

CRAFTSMAN SHOWN (ALL ELEVATION SIM.)



**PARTIAL SECOND FLOOR FRAMING PLAN**

Scale: 1/4" = 1'-0"

**LATERAL BRACING**

THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.

FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET

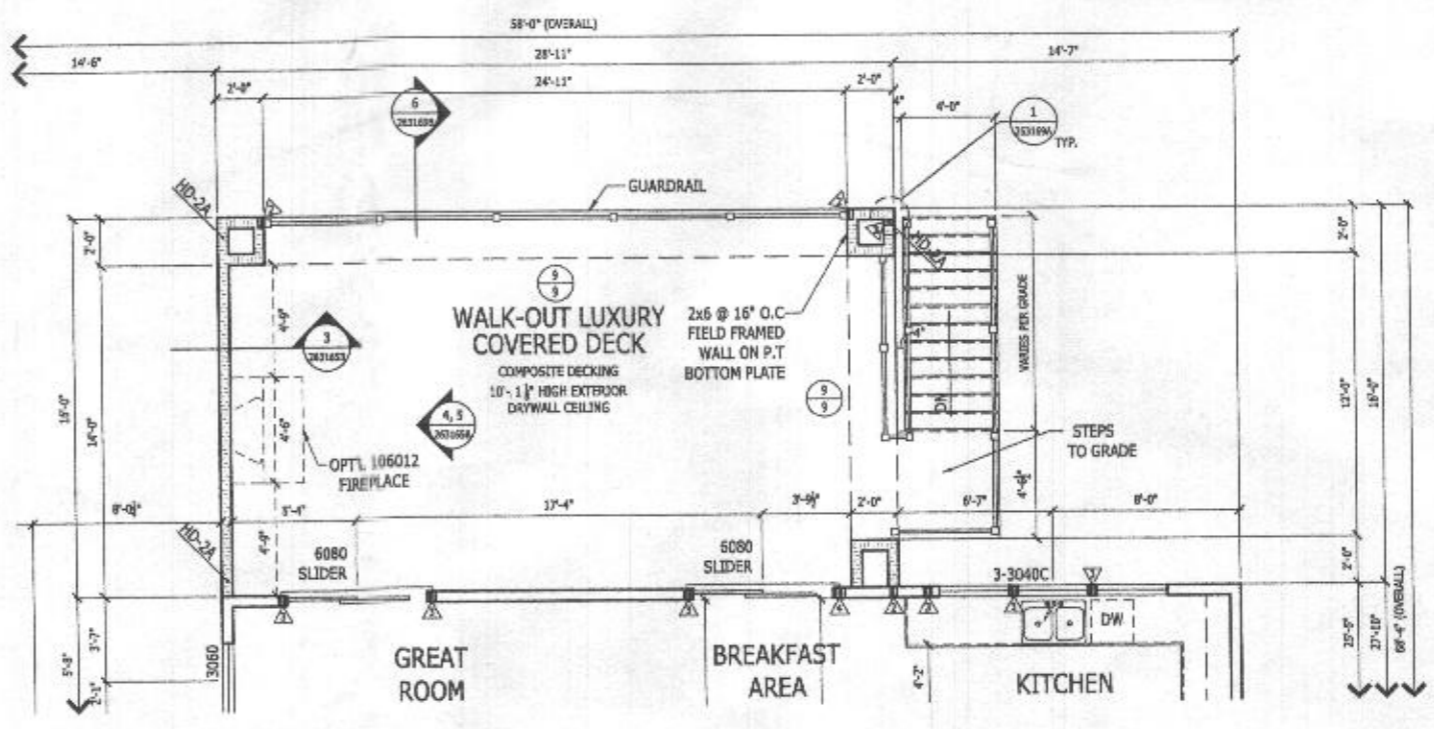
HEADER HEIGHT FOR ALL THE WINDOWS ON 2ND FLOOR: 7'-6"

REFER 263102A FOR ROOF PLAN REAR ELEVATION AND FRONT ELEVATION

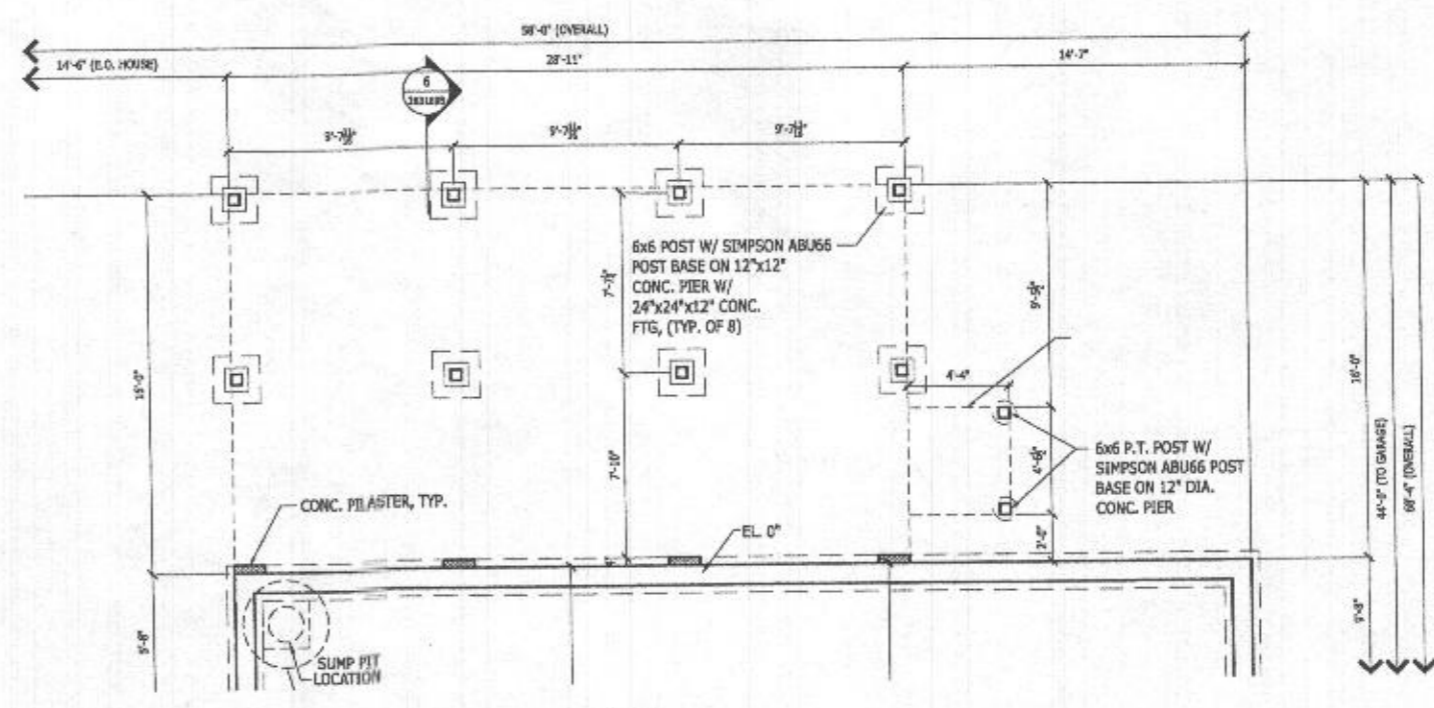
**RIGHT HAND SET**

<b>TOLLARCHITECTURE</b>	
PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE	
250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300   F 215-293-5314 A Division of Toll Brothers	
SHEET REVISION INFO	SET REVISION INFO
PRODUCT LINE	MODEL/PROJECT NAME
DRAWN BY - K.SIDHURA	CHECKED BY - TOLLARCH
DATE - 09.10.2019	SHEET DATE - 09.10.2019
SHEET DESCRIPTION	
OPT #001-263102- THREE CAR SIDE ENTRY GARAGE	
W/ ADDITIONAL ONE CAR FRONT ENTRY GARAGE-14'	
SHEET NUMBER	001-263102A
SERIAL NUMBER	1015.1

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**PARTIAL FIRST FLOOR PLAN**  
Scale: 1/4" = 1'-0" CRAFTSMAN SHOWN



**PARTIAL BASEMENT FOUNDATION PLAN**  
Scale: 1/4" = 1'-0" CRAFTSMAN SHOWN

**LATERAL BRACING**

THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.

FOR OSB + DRYWALL ATTACHMENT SEE A411 DETAIL SHEET

HEADER HEIGHT FOR ALL THE WINDOWS ON 2ND FLOOR: 7'-6"

SEE OPT. 263165 FOR ADDITIONAL PLANS AND DETAILS

**RIGHT HAND SET**

<b>TOLL ARCHITECTURE</b> PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE 250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300   F 215-293-5314 A Division of Toll Brothers	
SHEET REVISION INFO SET REVISION INFO 202347	PRODUCT LINE MODEL/PROJECT NAME <b>DUMONT</b> ELEVATION NAME
DRAWN BY - A. BIENSTEIN CHECKED BY - TOLL ARCH. SHEET DATE - 08/26/19	SHEET DESCRIPTION <b>OPT # 263169- WALK-OUT LUXURY COVERED DECK</b>
SERIAL NUMBER <b>263169</b>	SHEET NUMBER <b>1015.1</b>