

PERMIT NUMBER: B 20004252

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS DIVISION
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 13025 Greenberry Lane
City: Clarksville
State: MD
Zip Code: 21029
Subdivision/Village/Complex Name: Greenberry
SDP/WP/BA #:
Lot: 26
Tax Map: 28, Grid 9
Parcel: 48
Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant unimproved lot
Proposed Use: SFD
Estimated Cost: \$442,125.00
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None

Residential New Single Family Dwelling (Detached)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Najaf & Ellia Ally
Primary Residence: Yes No
Owner's Street Address: 2705 Cornet Court
City: Silver Spring
State: MD
Zip Code: 20904
Phone: (301) 704-9820
Email: najafally@yahoo.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Keystone Custom Homes
Contact Name: Gregg Reinsmith
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1362
Email: greinsmith@keystonecustomhome.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Keystone Custom Homes
Licensee's Name:
License #: MHBR# 2937 (exp 12/01/2021)
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1362
Email: greinsmith@keystonecustomhome.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Paul B. Elser, P.E.
Name: Paul Elser
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1370
Email: pelser@keystonecustomhome.com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Devonshire Manor
of Bedrooms (SF): 6 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: 22 # Full Baths: 5 # Half Baths: 1 # Fireplaces: 0
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 88 1st Fl Depth: 59 2nd Fl Width: 62 2nd Fl Depth: 54 Bsmt Width: 88 Bsmt Depth: 59
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 8,318 sq ft Occupiable Area: 8,292 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: [Signature] DATE SIGNED: 10/23/2020

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID
SUBMITTAL FEES: PAYMENT: \$2069 \$150 ACCEPTED BY: mail

CE SCHEDULE

ON (M-6)

MULCH LAYER AND SOIL LAYER
 INTENTED TO CORRECTING AREAS OF
 SHALL BE DONE IN THE SPRING.
 AND INSECT INFESTATION AND
 RUNNING. ACCEPTABLE
 FOLLOWING: 2000 MARYLAND
 1 AND 2.

I. THE SPRING AND IN THE FALL
 SHALL REMOVE DEAD AND
 INT. REPLACE DEAD PLANT
 MATERIAL. TREAT DISEASED TREES
 AND WIRES.

G. THE MULCH SHALL BE
 THIS MULCH LAYER SHALL BE

S. ON A NEEDED BASIS, WITH A MINIMUM
 100 MM.

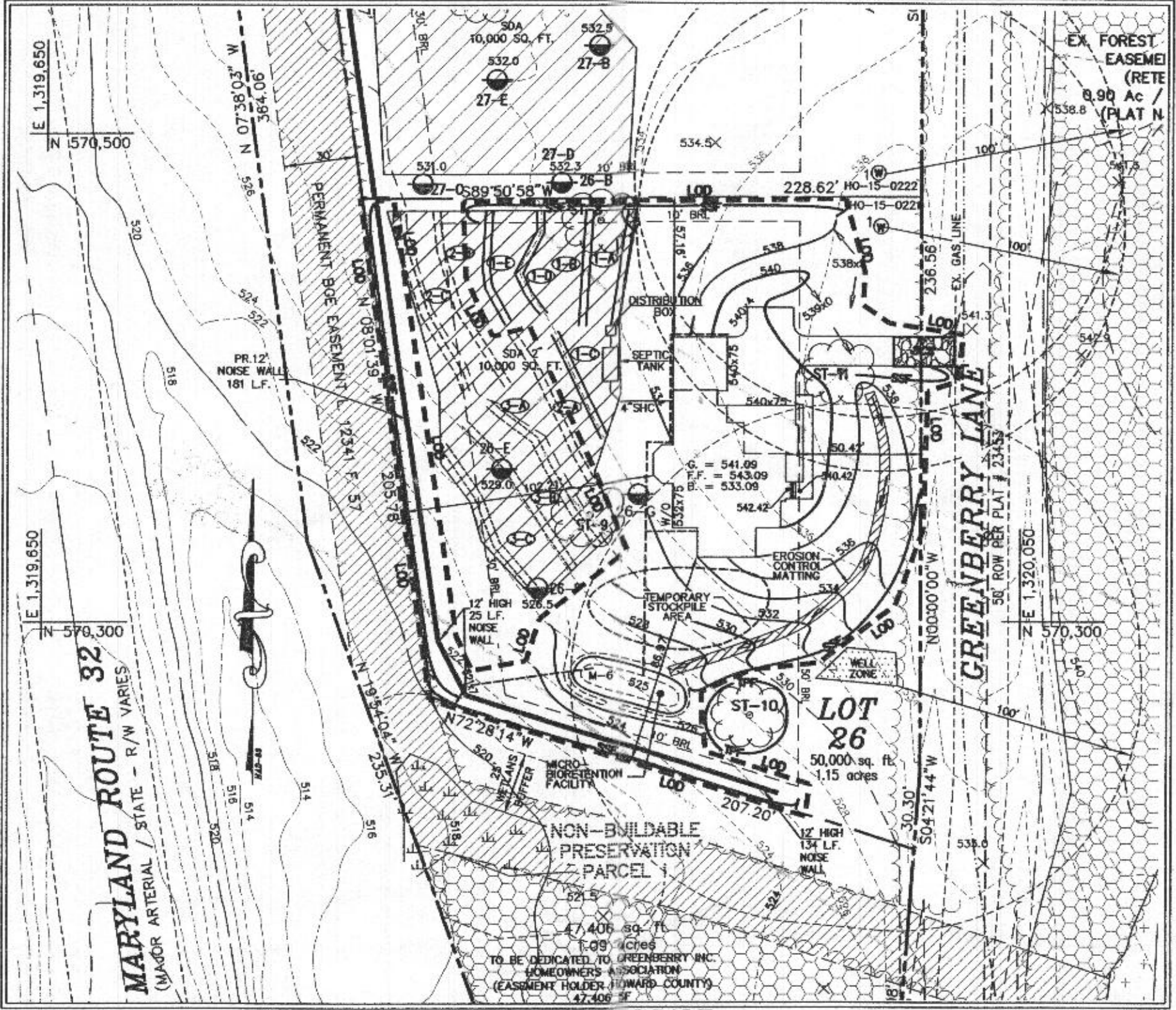
NOCE SCHEDULE FOR

ROAD MAINTAINED

TOP RUNOFF (N-1).

PROTECTION

ROAD RUNOFF IS GENERALLY NO
 UNPAVED OR LANDSCAPED AREAS. THE
 RUNOFF ARE PROTECTED FROM FUTURE
 AREA. IN COMMERCIAL AREAS, FOOT

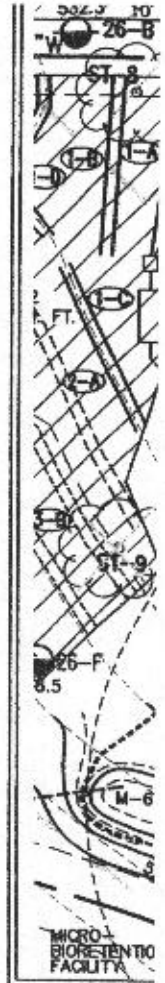


B20004252

Approved Septic System Plan
 Howard County Health Department

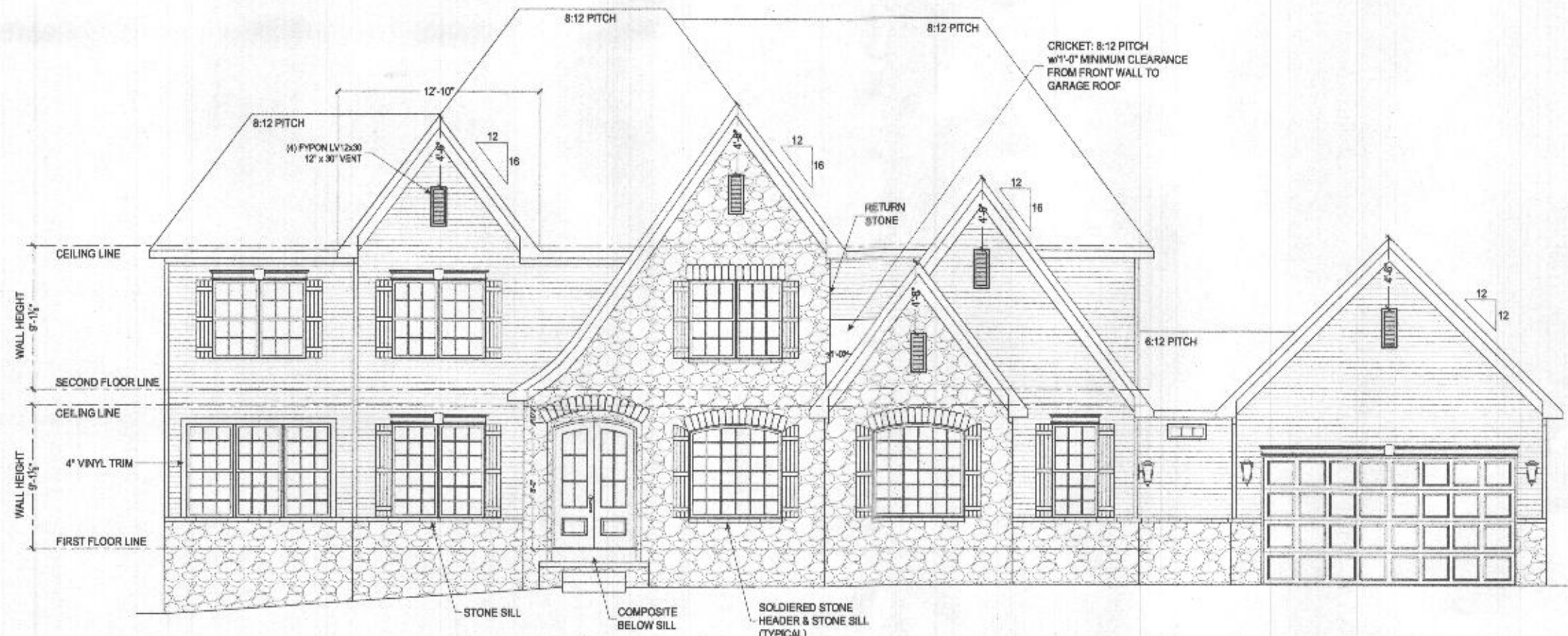
Budner *Uebow*
 Signature Date

approved Online
 6-Bedroom SFD



SF

5.3]



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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LANCASTER, PENNSYLVANIA 17601
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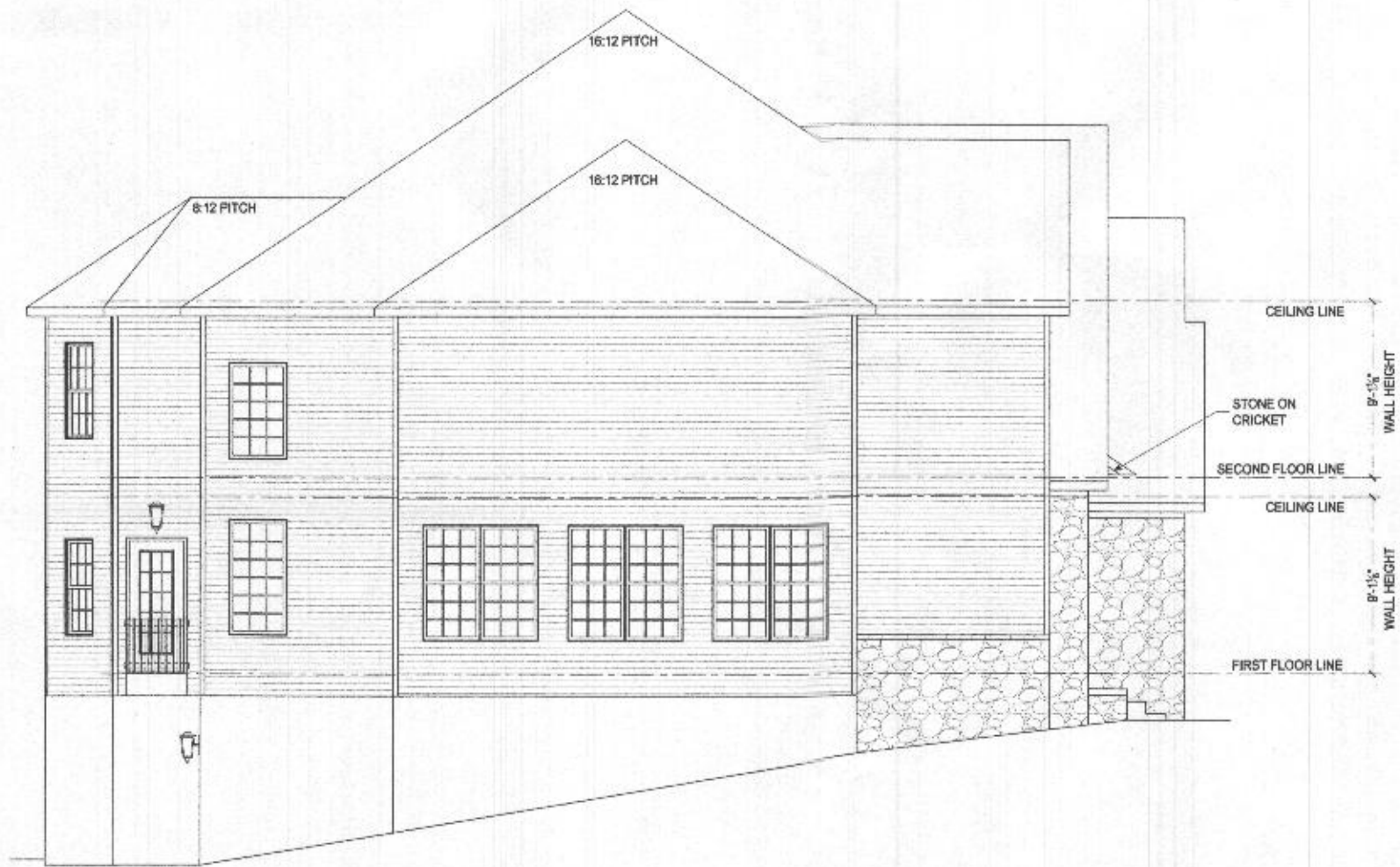
Professional Certification: I hereby certify that these documents were prepared or supervised by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 85478, Expiration Date 09-19-2022

DATE DESCRIBED	FRONT ELEVATION
DATE	ZhoGL2
BY	ALLY
DATE	OCT 30 2020
SCALE	AS NOTED
DRAWN BY	G. SWEIGERT
SHEET NO.	A1.0
PLANS	a d s 10

Lot 26 / 13025 GREENBERRY LANE, CLARKSVILLE

B20004252

HEATH DEPT



LIVING SIDE ELEVATION
SCALE 3/4" = 1'-0"

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SHEET/DESCRIPTION	LIVING SIDE ELEVATION
DATE	OCT 30 2020
SCALE	AS NOTED
DRAWN BY	G. SWEIGERT
CHECKED BY	ALJ
DATE	ads 10

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REAR ELEVATION
SCALE 1/8" = 1'-0"



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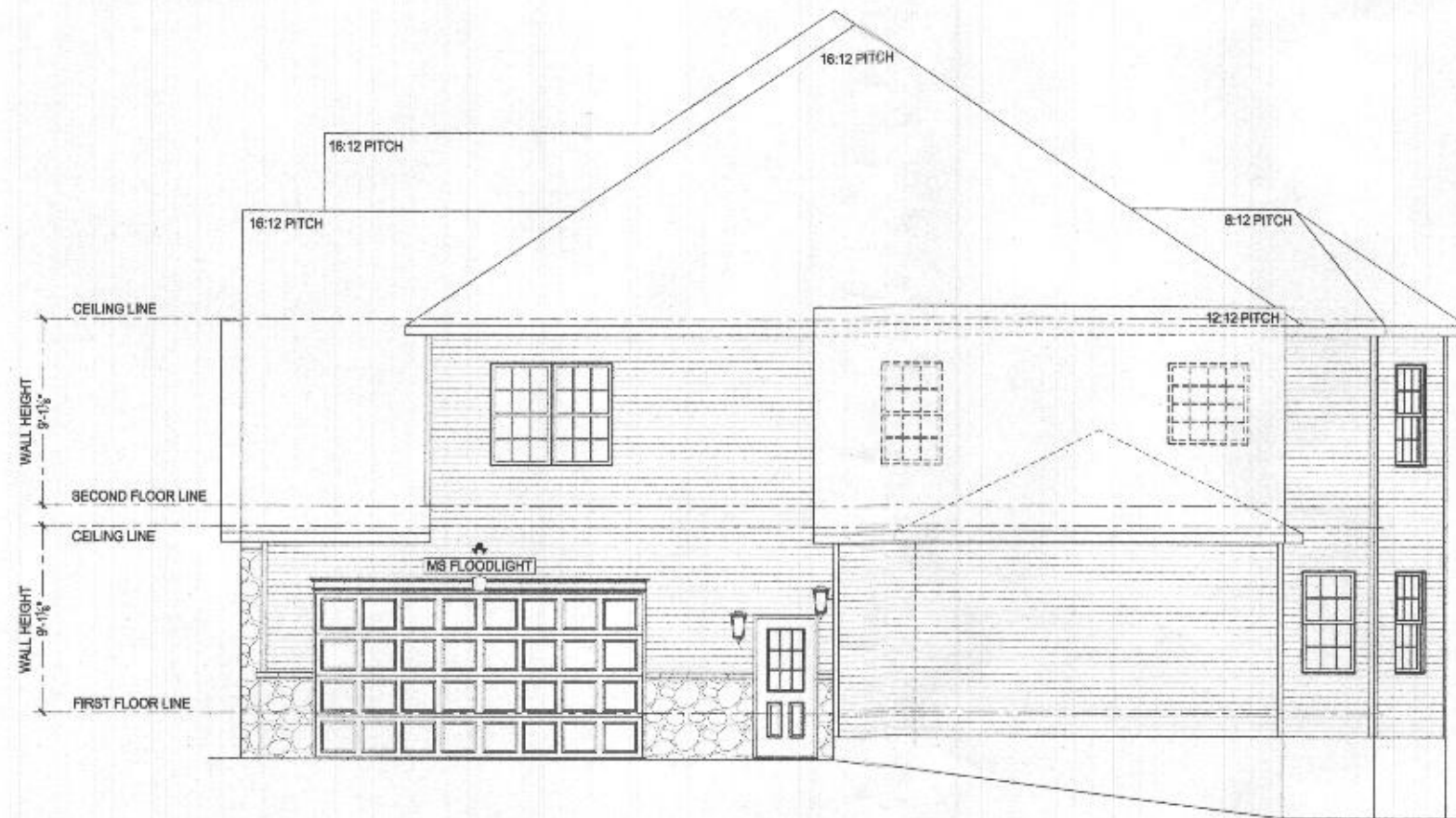
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SHEET DESCRIPTION	REAR ELEVATION
DATE	OCT 30 2020
SCALE	AS NOTED
DRAWN BY	G. SWENBERT
CHECKED BY	ZhoGL2
DATE	ALL Y
SHEET NO.	A12
TOTAL SHEETS	ads10



GARAGE SIDE ELEVATION
SCALE 3/16" = 1'-0"



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KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION	GARAGE SIDE ELEVATION
SCALE	3/16" = 1'-0"
DATE	OCT 30 2020
AS NOTED	
DRAWN BY	G. SWEIGERT
CHECKED BY	ZhoGL2
DATE	ALLY

© Keystone Custom Homes, Inc.
OCT 30 2020
AS NOTED
DRAWN BY: G. SWEIGERT
DATE: ALLY
A13
ads 10

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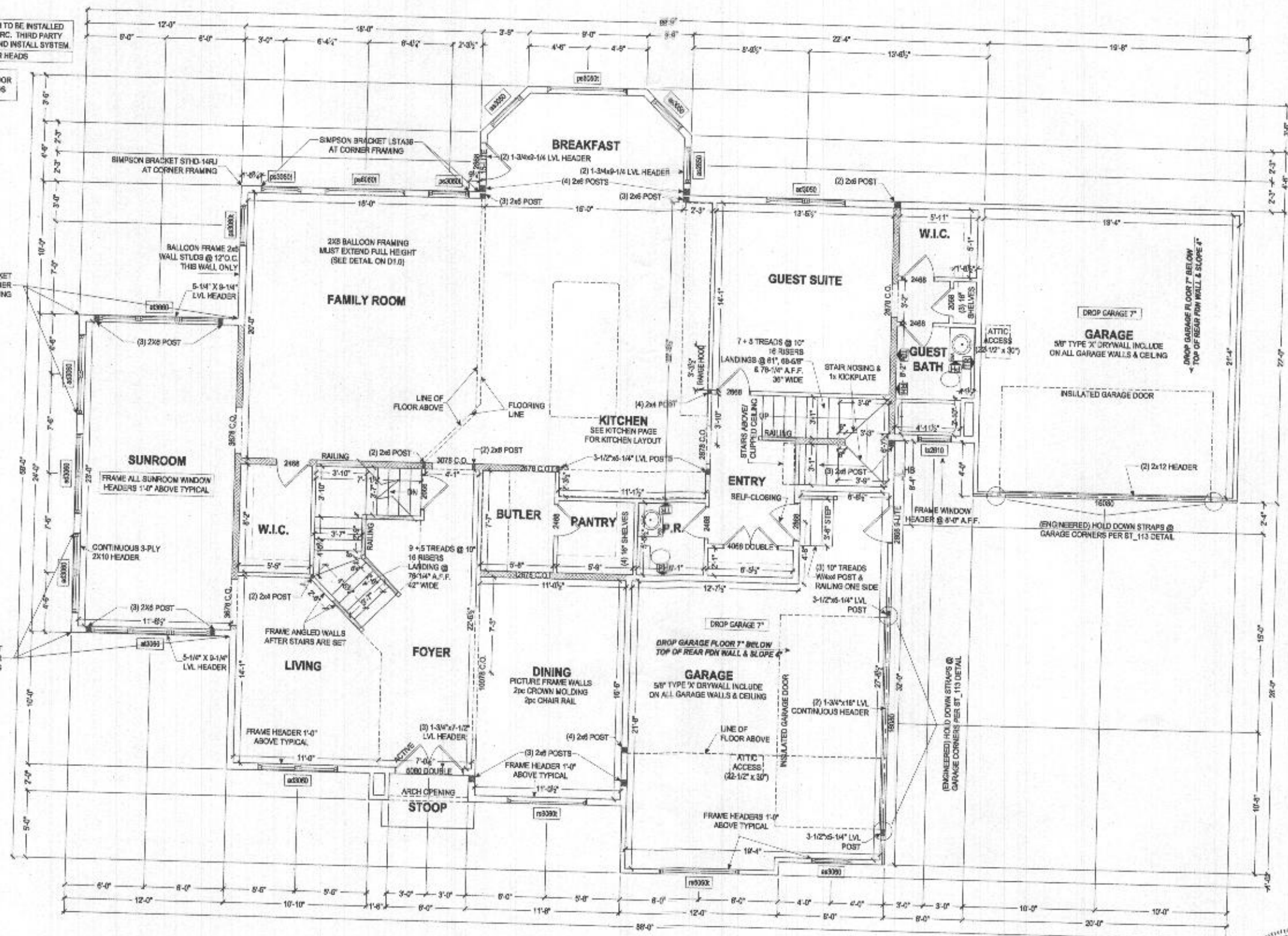
PROJECT NO. 227GR
FIRST FLOOR PLAN
DATE: ZhoGL2
ALLY

DATE: OCT 30 2020
SCALE: AS NOTED
DRAWN BY: G.SWEIGERT

SCALE: P.L.O.
SCALE: a d s 10



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FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

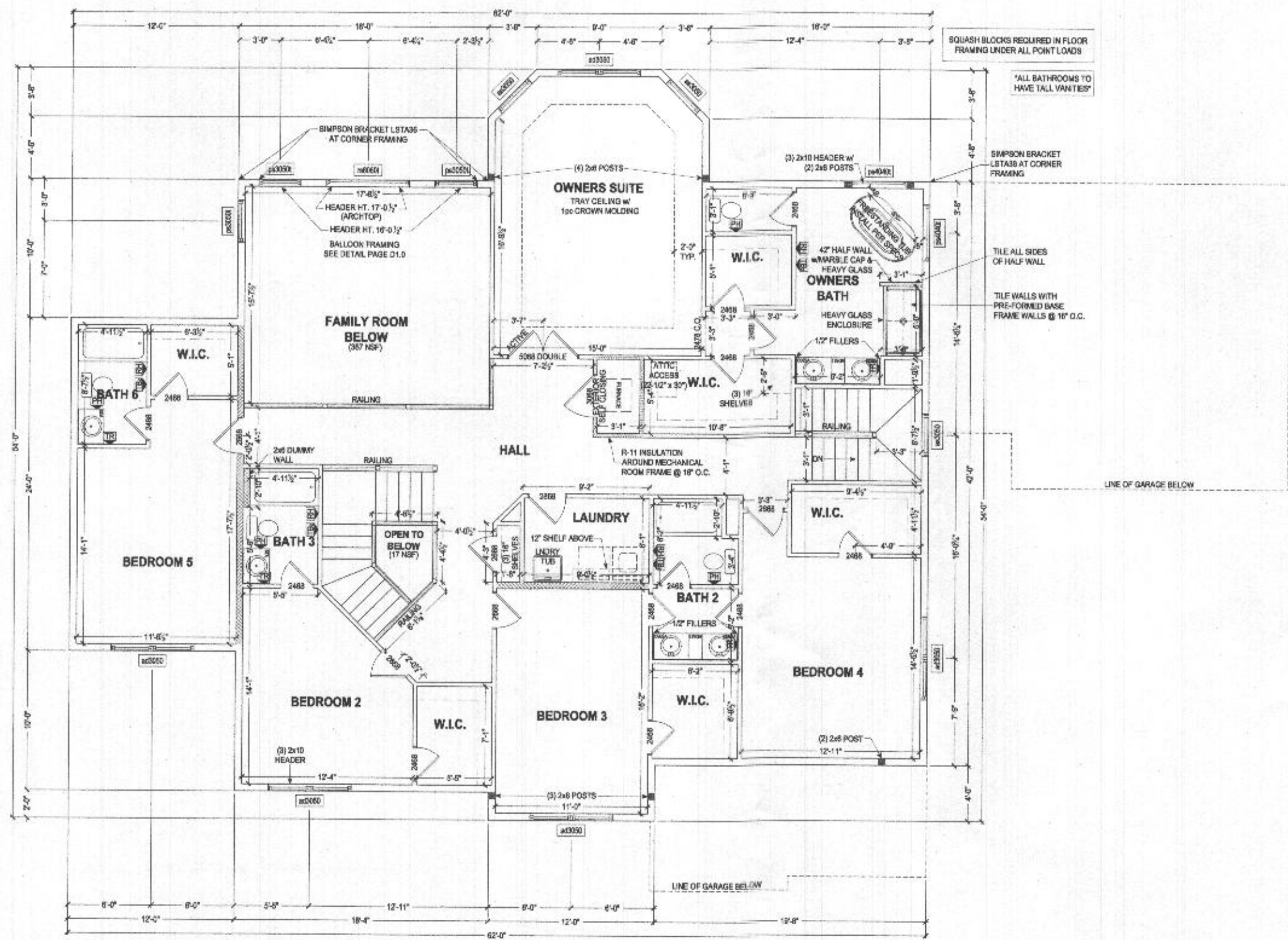
RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2018 IFC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM CONCEALED SPRINKLER HEADS

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

ALL BATH ROOMS TO HAVE TALL VANITIES

ALL EXTERIOR WALLS ARE 15% CONT. STRUCTURAL SHEATHING METHOD AS PER ST. 112
CYRULU BOARD, TWO SIDES
METHOD AS PER ST. 111

2 X 8 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST
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SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD 4), PER 81.110

	2x6 EXTERIOR WALL
	INTERIOR HALF WALL
	FRAMING POST



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KEYSTONE CUSTOM HOMES, INC.

PROJECT: SECOND FLOOR PLAN	DATE: OCT 30 2020
DESIGNER: ZhoGL2	AS NOTED
CLIENT: ALLY	DRAWN BY: G. SWEIGERT
SHEET NO. P1.1	
FRAME: ads 10	

KITCHEN SYMBOL LEGEND:

ON THE CABINET LAYOUT, ITEMS SHOWN BELOW IN CIRCLES ARE INCLUDED WITH THE PACKAGE. ITEMS SHOWN BELOW IN TRIANGLES ARE PRE-DESIGNED LOCATIONS IF THE CLIENT CHOOSES THE OPTION SEPARATELY. AVAILABILITY AND INCLUSIONS VARY PER PLAN/KITCHEN PACKAGE.

DB	Drawer Bank
GL	Glass Doors
SS	Slide Out Shelf
WB	Waste Basket
MW	Microwave (All locations w/ wall mount board)
UC LIGHT	Under Cab. Light

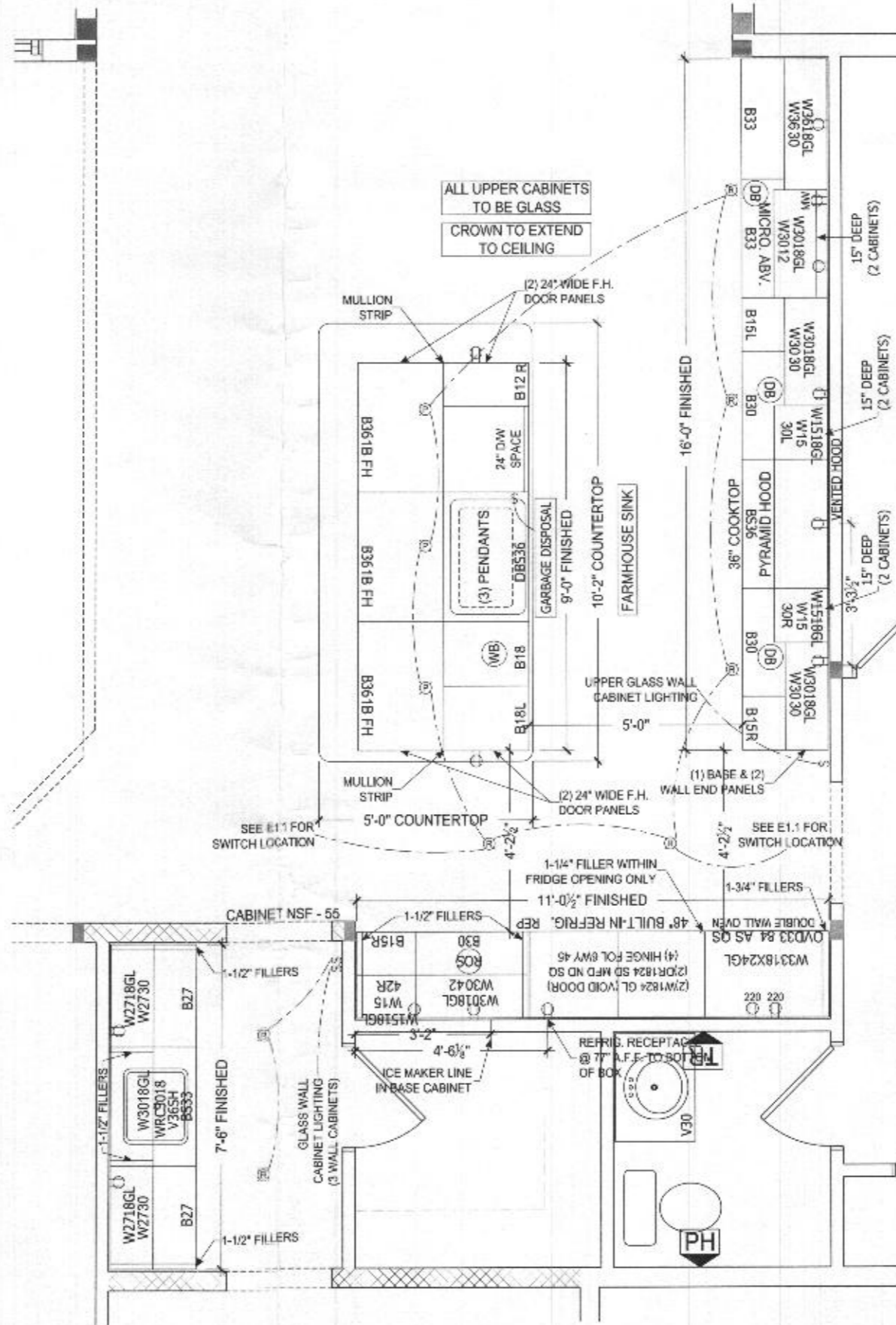
CHEFS PKG INCL:

Tahoe Maple Cabinet Style - May Upgrade Separately
Small / Angled Crown Molding
Door Trays
**Drawer Bank(s)
**Upper Glass Wall Cabinets w/ Lighting
**Garbage Disposal (1/2 hp)
Installed Ice Maker Line
**Installed Recessed Light Package w/ White Trim Kits
Level 30 Kitchen Sink
Kitchen Faucet Upgrade
Appliance Upgrade (incl. 36" Gas Cooktop, Double Electric Wall Oven, Built-In Microwave, 36" Vented Range Hood, Dishwasher)
**Roll-Out Shelves
**Linen Range Base Cabinet for Under Cooktop
**Oven Cabinet for Double Wall Oven
**Waste Basket Rollout Cabinet
**Specialty Kitchen Window
**Utility Cabinet with Fixed Shelf Kit
**24" Deep Refrigerator Wall Cabinet, May Include Refrigerator End Panel(s) (REP)
**48" Wide Refrigerator Opening
** THESE INCLUSIONS VARY PER HOUSE DESIGN. PLEASE SEE PLAN FOR SPECIFIC INFORMATION REGARDING SIZE AND LOCATION.

NOTE: COMPARED TO STANDARD KITCHEN, MANY INCLUSIONS REPLACE EXISTING CABINETRY AND ARE NOT ADDITIONS.

GEN. KITCHEN NOTES:

NON-VENTED HOOD FRAMING DIMENSION FROM SUBFLOOR TO UNDERSIDE OF CABINET TO RANGE IS 5'-10" (30" x 14" H. CABINETS) 6'-0" (42" x 24" H. CABINETS)
FRAMING DIMENSIONS UNLESS OTHERWISE NOTED
ALL COUNTERTOP RECEPTACLES ARE GFI PROTECTED
TYPICAL WINDOW CASING REQUIRED, DO NOT USE WIDER TRIM OPTION ON WINDOW



CHEF'S KITCHEN & BUTLER PANTRY LAYOUT
SCALE: 1/2" = 1'-0"



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KEYSTONE CUSTOM HOMES, INC.

PROJECT: KITCHEN	DATE: 10/30/2020
DESIGNER: ZHU, G.L.	SCALE: AS NOTED
CLIENT: ALLY	DRAWN BY: G. SINEIGER
SHEET NO. K1.0	
OF 10	