

Menu Save Reset Cancel Help

Record Detail (This section is required.)

| | | |
|--|---------------|-------------|
| Permit Type | Permit Number | Opened Date |
| Building/Residential/Misc/Tanks | B21000538 | 02/22/2021 |
| Description of Work | | |
| SFD/INSTALL 1000GAL UNDERGROUND PROPANE TANK | | |

check spelling

Approved
4/9/21

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

| | | | |
|------------|--------------|--------------|--------------|
| Street # | Street Name | Street Type | |
| 15629 | LINDEN GROVE | LN | |
| Unit Type | Unit # | X Coordinate | Y Coordinate |
| --Select-- | | -77.06586 | 39.32727 |
| City | State | Zip Code | Primary |
| WOODBINE | MD | 21797 | Yes |

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

| | | | | | | |
|----------|--------|-------------|------------|----------------|-----------------|-----------|
| GIS ID * | Parcel | Parcel Area | Land Value | Improved Value | Exemption Value | Plan Area |
| 11059837 | 0005 | 0 | 0 | 0 | 0 | RURAL |

Legal Description

Legal Description text area

check spelling

| | | | | | | | |
|--|-----------------|---|--------------|-----------------|-----------------|-------|----------|
| Block | Lot | Census Tract | Council Dist | Inspection Dist | Supervisor Dist | Map # | DAP Zone |
| 18 | 7 | 604001 | 5 | | | | |
| Plan Area | State Tax Id | Subdivision Name | | | | | |
| | | Linden Grove | | | | | |
| Section | Area | Tax Map | | | | | |
| | | 7 | | | | | |
| Grid | Zoning District | ADC Map | | | | | |
| 7-18 | RC-DEO | 4691-K8 | | | | | |
| SDP No. | Final Plan No. | WP File No. | | | | | |
| | ECP-17-019 | | | Primary | | | |
| Record Plat No. | WS Contract No. | FDP No. | | Yes | | | |
| 25064-2507 | | | | | | | |
| Owner Occupied | Year Built | Historic District | | | | | |
| <input type="radio"/> Yes <input type="radio"/> No | | <input type="radio"/> Yes <input checked="" type="radio"/> No | | | | | |
| Historic District Registry No. | Stat Area | Flood Plain | | | | | |
| | 4-05 | <input type="radio"/> Yes <input checked="" type="radio"/> No | | | | | |
| Building No | | | | | | | |

Owner (This section is required.)

Search Reset Clear

| | | |
|----------------|------------------------|---------------|
| Name * | KIMBERTHY/HERITAGE LLC | |
| Address Line 1 | PO BOX 482 | |
| Address Line 2 | | |
| Address Line 3 | | |
| Mail City | Mail State | Mail Zip Code |
| LISBON | MD | 21765 |
| Phone | Primary | |
| 301-725-3232 | Yes | |
| E-mail | | |
| Cell Number | Fax Number | |

Professionals (This section is not required.)

Search Reset Clear

| | | | |
|----------------|---------------------------------|-------------|------------|
| License # * | Business Name | | |
| 20100103851 | THE H.J. POIST GAS COMPANY, INC | | |
| License Type * | First Name | Middle Name | Last Name |
| Propane Gs | SEAN | MICHAEL | UNDERWOOD |
| Primary | Address Line 1 | | |
| Yes | 360 MAIN STREET | | |
| | Address Line 2 | | |
| | | | |
| | City | State | ZIP Code |
| | LAUREL | MD | 20707-0000 |
| | Phone 1 | Phone 2 | Fax |
| | 4434149582 | | |
| | E-mail | | |
| | | | |

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

| | | | |
|--------------|---------------------------------|-------|-----------|
| Type * | First Name | MI | Last Name |
| Applicant | MICHELLE | | CLANCY |
| Relationship | Full Name | | |
| Applicant | MICHELLE CLANCY | | |
| Primary | Organization Name | | |
| Yes | APPLIED & APPROVED PERMITS LLC | | |
| | Street Address | | |
| | P.O. BOX 310 | | |
| | Address Line 2 | | |
| | | | |
| | City | State | Zip Code |
| | PERRY HALL | MD | 21128 |
| | Phone | Cell | Fax |
| | 443-340-1229 | | |
| | E-mail * | | |
| | MICHELLE@APPLIEDANDAPPROVED.COM | | |

Addtl Info

| | | | |
|-------------------------|-----------------|-----------------------|--------------|
| Est Construction Cost * | Housing Units * | Number of Buildings * | Public Owned |
| 3000 | 0 | 0 | No |
| Construction Type | --Select-- | | |

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

| | | | | |
|---|-----------------------------|---|---|------------------------|
| Capital Project-No Fee * | Capital Project Number | Fee Exempt * | Roadside Tree Project Permit * | Roadside Tree Permit # |
| <input type="radio"/> Yes <input checked="" type="radio"/> No | | <input type="radio"/> Yes <input checked="" type="radio"/> No | <input type="radio"/> Yes <input checked="" type="radio"/> No | |
| Existing Use | Number of Tanks Installed * | Number of Tanks Removed * | | |
| SFD | 1 | 0 | | |
| Water Supply | Sewage Disposal | Expiration Date | Relocate Existing Tank * | |
| Private | Private | 8/22/2021 | 0 | |

PAYMENT INFORMATION

| | | | | | |
|---------|---------|---------|---------|------------|-------------|
| Check 1 | Payee 1 | Check 2 | Payee 2 | SAP Doc No | SAP Entered |
| | | | | | |

Submit Cancel

L...

HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS
3430 COURT HOUSE DRIVE - ELLICOTT CITY, MD 21043
*** THIS PERMIT MUST BE CONSPICUOUSLY POSTED ON SITE ***

Residential New Single Family Dwelling Permit

PERMIT NUMBER: B20002424

APPLICATION DATE: 7/23/2020

ISSUE DATE: 1/26/2021

SITE ADDRESS:

15629 LINDEN GROVE LN
WOODBINE, MD 21797

PROPERTY OWNER INFO:

TOLL BROTHERS INC
7164 COLUMBIA GATEWAY DRIVE
COLUMBIA, MD 21046
Phone #: 240-418-3846

Subdivision: Linden Grove

Lot No.: 7

Tax Map: 7

Grid: 7-18

ADC Map: 4691-K8

SDP No.:

Zoning: RC-DEO

Census Tract: 604001

DESCRIPTION OF WORK:

SFD/ MODEL 'DUMONT', 2 STORY, FULL BASEMENT, BASEMENT = UNFINISHED, 11R, 3FB, 1HB, 1FP, 3 CAR ATTACHED, 5BR, N/A, ENERGY METHOD = UA ALTERNATIVE, SUBJECT TO CB-76-2018.

PRIMARY CONTRACTOR INFO:

Contractor License No.: 8220

License Address: TOLL MID-ATLANTIC LP COMPANY INC
NATHAN BRANDENBURG

Phone #: 7164 COLUMBIA GATEWAY DRIVE SUITE
230
COLUMBIA, MD 21046
410-872-9105

PRIMARY CONTACT INFO:

Contact Type: CONTACT

PERMITS PLUS INC

487 KENORA DRIVE
MILLERSVILLE, MD 21108

Phone #: 443-271-1528

Building/Lot Characteristics

Legal Description:

Existing Use: Vacant Lot

Water Supply: Private

Height: 28

Sewage Disposal: Private

Basement: Unfinished

SF # of Bedrooms: 5

SF # of Full Baths: 3

SF # of Half Baths: 1

Zoning Setback Requirements:

Front - Proposed: 90 **Required:** 50

Rear - Proposed: 135 **Required:** 30

Side - Proposed: 33/25 **Required:** 10

Side Street - Proposed: n/a **Required:** n/a

Meets Minimum Required Setbacks?: Yes

Lot Coverage for NT Zoning:

Permit Fees:

Total Fees Invoiced: \$37,286.04

Total Fees Paid: \$37,286.04

Balance Due: \$0.00

To schedule an inspection or check the results of an inspection please call (410) 313-3800

APPROVED BY THE DIRECTOR OF INSPECTIONS, LICENSES AND PERMITS - BUILDING OFFICIAL

COMPLETE THIS FORM WHEN DROPPING OFF ANY CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

RECEIVED

Date: 8-10-20 GEORGE MARTIN'S 10 2020

To: Building Tech. (Person's Name and Division)

From: Terri McNicholas Permits (443) 271-1528 (Your Name, Company Name and Telephone Number)

Subject: Project name Lot 7 Linden Grove Project site address 15629 LINDEN GROVE

Permit # B20002424 SDP #

Other information pertinent to this project

H N

✓ Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
[1] Letter Summarizing Changes - Should be Upfin. Basement - NOT Finished
Energy conservation calculations
Copies of
Health Department Request
Two sets of single family dwelling model pl
Other

UPDATED A.S.I. TO UNFINISHED

Applicant's Request and/or #

271 1528 permits@yahoo.com

Contact Person Information: (Required)

Terri McNicholas Please Print Name

PLEASE ASSURE ALL DOCUMENTS AND/O. NECESSARY, BY A LICENSED ARCHITECT INFORMATION MAY RESULT IN THE DELA OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

VED AND SEALED, IF THAT INSUFFICIENT THE DEPARTMENT

Received by DROPBOX

RECEIVED

PERMIT NUMBER: B20002929

DATE ACCEPTED:

JUL 23 2020

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov



BUILDING SITE ADDRESS REQUIRED

Street Address: 15629 LINDEN GROVE LN
City: WOODBINE
State: MD
Subdivision/Village/Complex Name: LINDEN GROVE
Lot: 7
Tax Map: 8
Parcel: 5
Grading Permit #: F-18-092

DESCRIPTION OF WORK REQUIRED

Existing Use: vacant
Proposed Use: sfd
Estimated Cost: \$250k
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None
NEW SINGLE FAMILY DWELLING FINISHED LOWER LEVEL 2 CAR SIDE ENTRY GARAGE, EXTRA ONE CAR GAR 14X21, LUXERY COVERED DECK 27X15

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): TOLL BROTHERS INC
Owner's Street Address: 7164 COLUMBIA GATEWAY DR
City: COLUMBIA
State: MD
Phone: 240-418-3846
Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: TERRI MCNICHOLAS PERMITS PLUS, INC.
Contact Name: TERRI MCNICHOLAS
Street Address: 487 KENORA DRIVE
City: MILLERSVILLE
State: MD
Phone: 443-271-1528
Email: TERRIPERMITS@YAHOO.COM

CONTRACTOR INFORMATION REQUIRED

Business Name: TOLL MID -ATLANTIC LP COMPANY INC
Licensee's Name: TOLL MID-ATLANTIC LP COMPANY INC.
License #: 8220
Street Address: 7164 COLUMBIA GATEWAY DRIVE STE 230
City: COLUMBIA
State: MD
Phone: 240-418-3846
Email: PCLIFFORD@TOLLBROTHERS.COM

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: ESE CONSULTANTS TOLL ARCH
Name:
Street Address: 7164 COLUMBIA GATEWAY DRIVE
City: COLUMBIA
State: MD
Phone: 410-872-9105
Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling
Utilities: Electric Gas
Heating System: Electric Natural Gas Propane Other
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None
Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: DUMONT-POF "2STRY FULL BST 10R,3FB,1HB,FP&3 CAR GARAGE(5BR)"
of Bedrooms (SF): 5
of efficiency units (MF*):
of 1 BR (MF*):
of 2 BR (MF*):
of 3 BR (MF*):
Garage/Carport Info: Attached Garage
Basement/Foundation Info: Slab on Grade
1st Fl Width: 58
1st Fl Depth: 52
2nd Fl Width: 58
2nd Fl Depth: 45
Bsmt Width: 58
Bsmt Depth: 52
Energy Method: Prescriptive Performance UA Alternative ERI
Gross Area: 7028 sq ft
Occupiable Area: 6499 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE
DATE SIGNED: 7-23-20

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

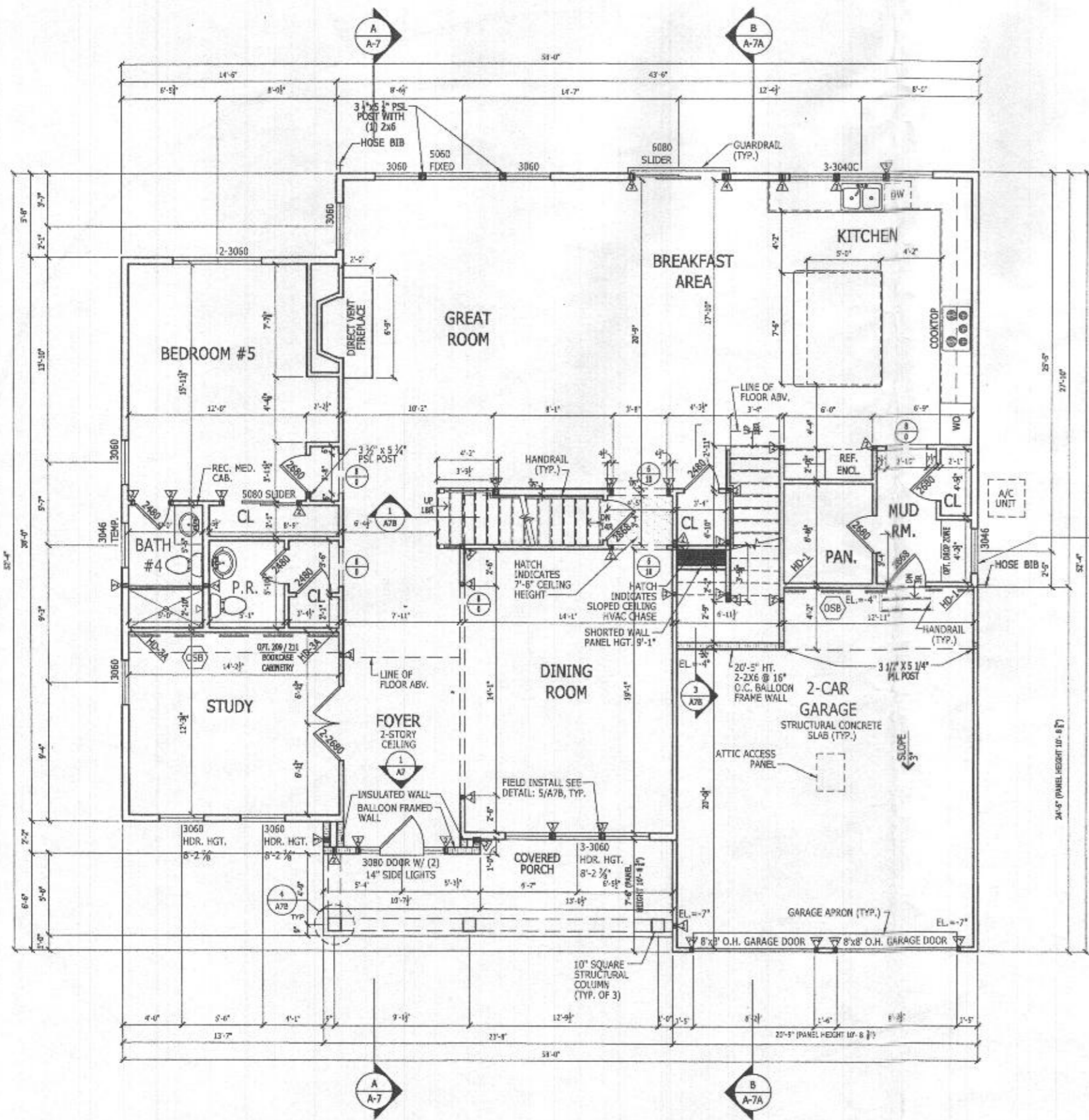
AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID
SUBMITTAL FEES:
PAYMENT:
ACCEPTED BY: DROPBOX

B20002424 Lot 7 Health Dept. Floorplans

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LATERAL BRACING
 THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.
 FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET



DELETE WINDOW W/ OPT. S. 263061 DROP ZONE, 263062 DROP ZONE W/ CABINETRY, & 263150 PAINTED FAMILY ENTRY LOCKERS

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

10' CEILING HEIGHT
 CRAFTSMAN

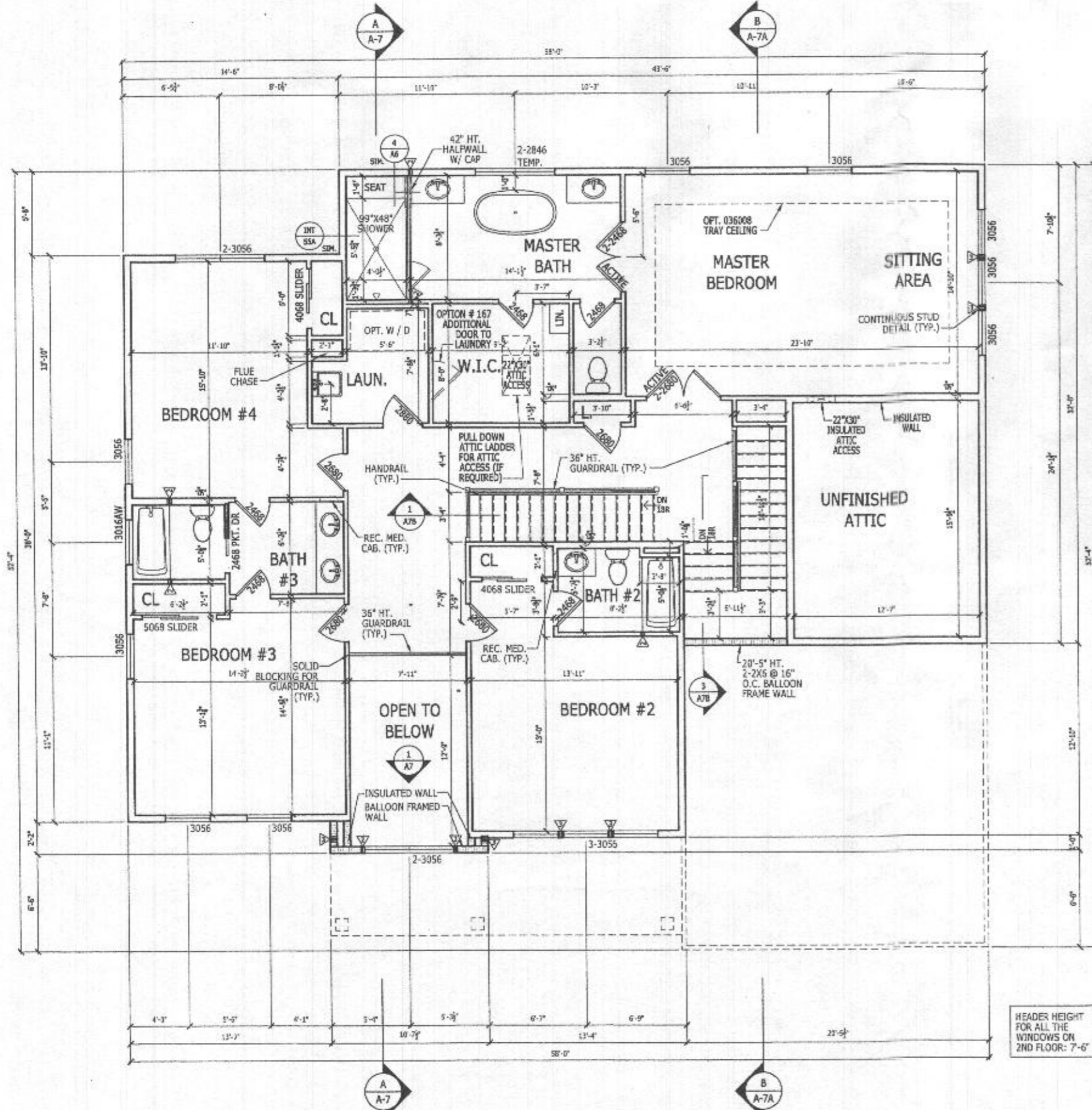
REVISED
 Date: 8/12/2020
 Comments: B20-2427

RIGHT HAND SET

| | | | | | | | | | |
|---------------------------------------|--|-------------------------|--|--------------------|--|---------------------|--|---|--|
| SHEET DESCRIPTION FIRST FLOOR PLAN | | DRAWN BY - K.SIDHURA | | PRODUCT LINE | | SHEET REVISION INFO | | TOLLARCHITECTURE | |
| SERIAL NUMBER | | CHECKED BY - TOLLARCH | | MODEL/PROJECT NAME | | SET REVISION INFO | | PHILADELPHIA - ORLANDO DALLAS - LOS ANGELES - SEATTLE | |
| SHEET NUMBER | | SHEET DATE - 03.13.2019 | | DUMONT | | 202347 | | 250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300 F 215-293-5314 A Division of Toll Brothers | |
| 1015.1 | | | | ELEVATION NAME | | | | | |
| | | | | CRAFTSMAN | | | | | |
| | | | | | | | | | |

A2_31

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LATERAL BRACING
 THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.
 FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET

SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

9' CEILING HEIGHT
 CRAFTSMAN

RIGHT HAND SET

SHEET DESCRIPTION
SECOND FLOOR PLAN

SHEET NUMBER
A3_31

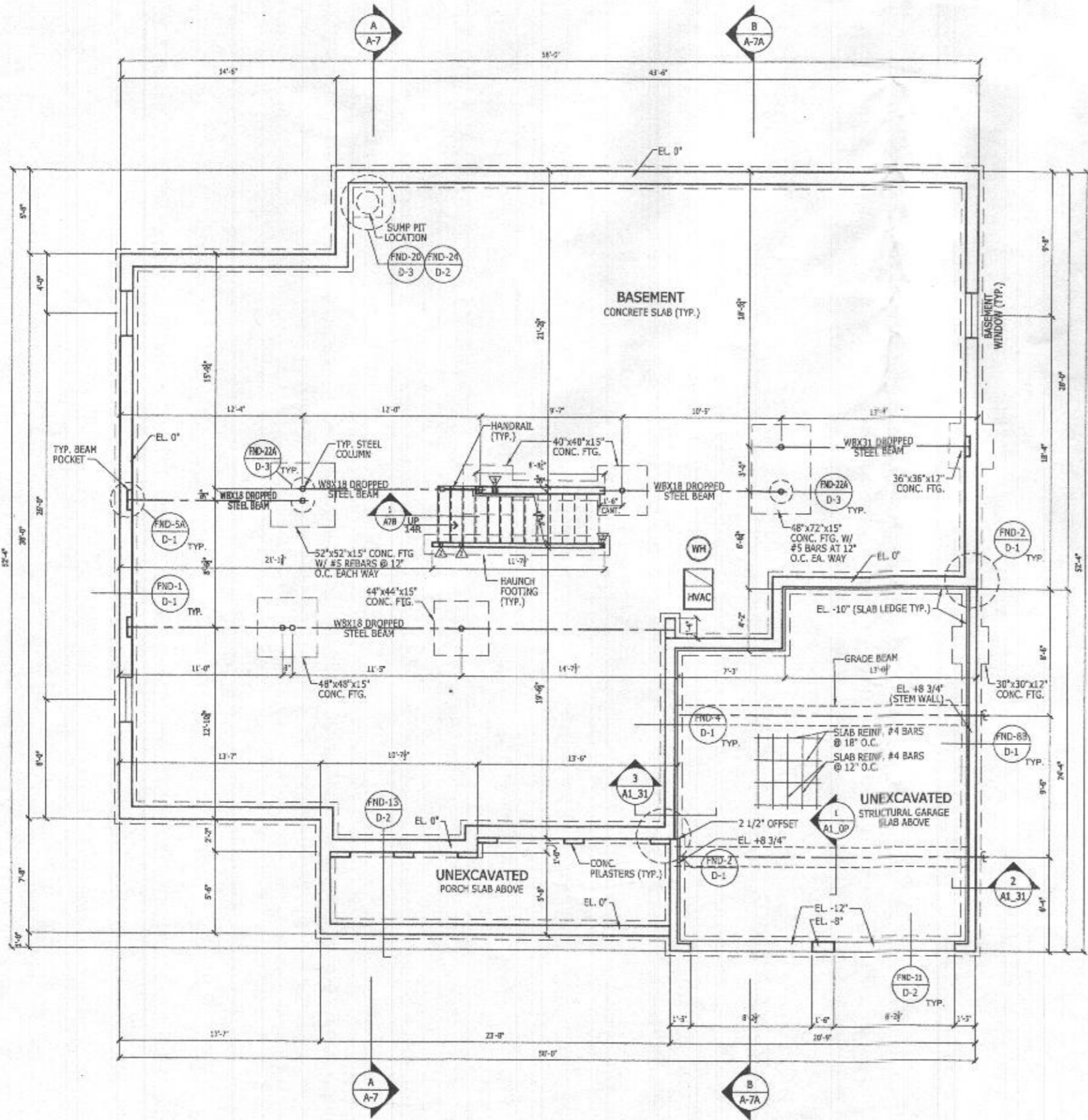
DRAWN BY - K.SIDHUPURA
 CHECKED BY - TOLLARCH
 SHEET DATE - 03.13.2019

PRODUCT LINE
DUMONT
 ELEVATION NAME
CRAFTSMAN

SHEET REVISION INFO
 SET REVISION INFO
 202347

TOLLARCHITECTURE
 PHILADELPHIA · ORLANDO
 DALLAS · LOS ANGELES · SEATTLE
 250 Gibraltar Road, Horsham, PA 19044
 P 215-293-5300 | F 215-293-5314
 A Division of Toll Brothers

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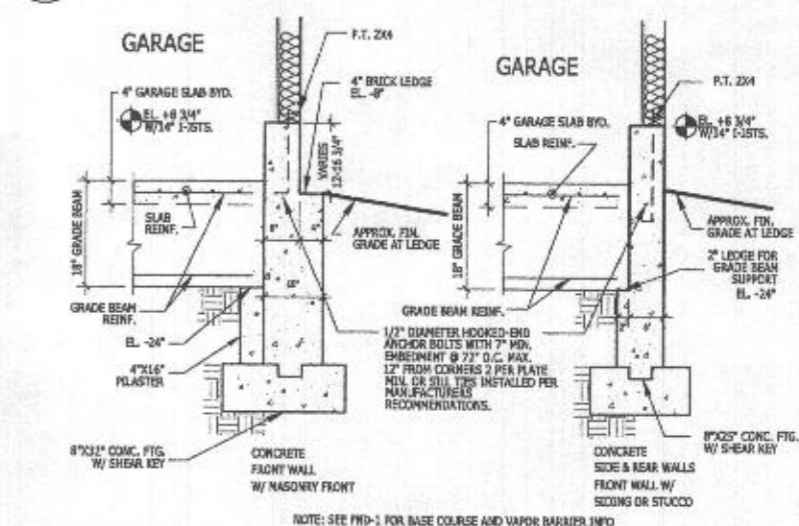


BASEMENT FOUNDATION PLAN

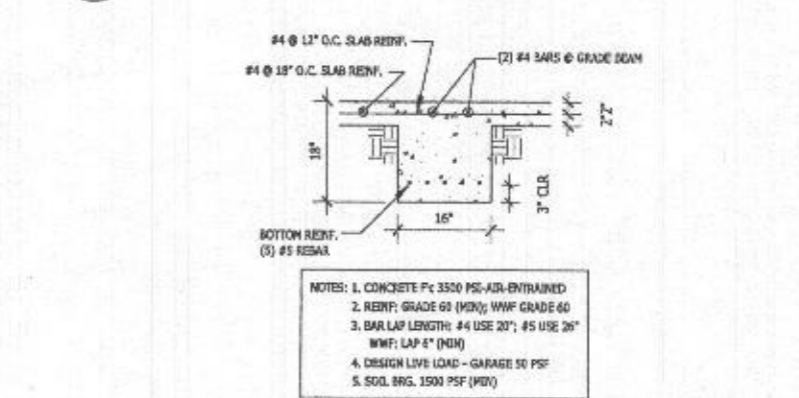
SCALE: 1/4" = 1'-0"

CRAFTSMAN

3 GARAGE GRADE BEAM TO BASEMENT DETAIL
A1_31 Scale: 3/4" = 1'-0" CRAFTSMAN



2 GARAGE GRADE BEAM AND SLAB DETAILS
A1_31 Scale: 3/4" = 1'-0" CRAFTSMAN



1 GARAGE GRADE BEAM AND SLAB DETAILS
A1_31 Scale: 3/4" = 1'-0" CRAFTSMAN

- NOTES:
1. CONCRETE Fc 3500 PSI-AIR-ENTRAINED
 2. REINF: GRADE 60 (MIL); WWF: GRADE 60
 3. BAR LAP LENGTHS: #4 USE 20"; #5 USE 26"
WWF: LAP 4" (MIN)
 4. DESIGN LIVE LOAD - GARAGE 50 PSF
 5. SOIL BRG. 1500 PSF (MD)

RIGHT HAND SET

SHEET DESCRIPTION
BASEMENT FOUNDATION PLAN

SERIAL NUMBER 1015.1

DRAWN BY - K.SIDHUPURA

CHECKED BY - TOLLARCH

SHEET DATE - 03.13.2019

PRODUCT LINE

MODEL/PROJECT NAME

DUMONT

ELEVATION NAME

CRAFTSMAN

SHEET REVISION INFO

SET REVISION INFO

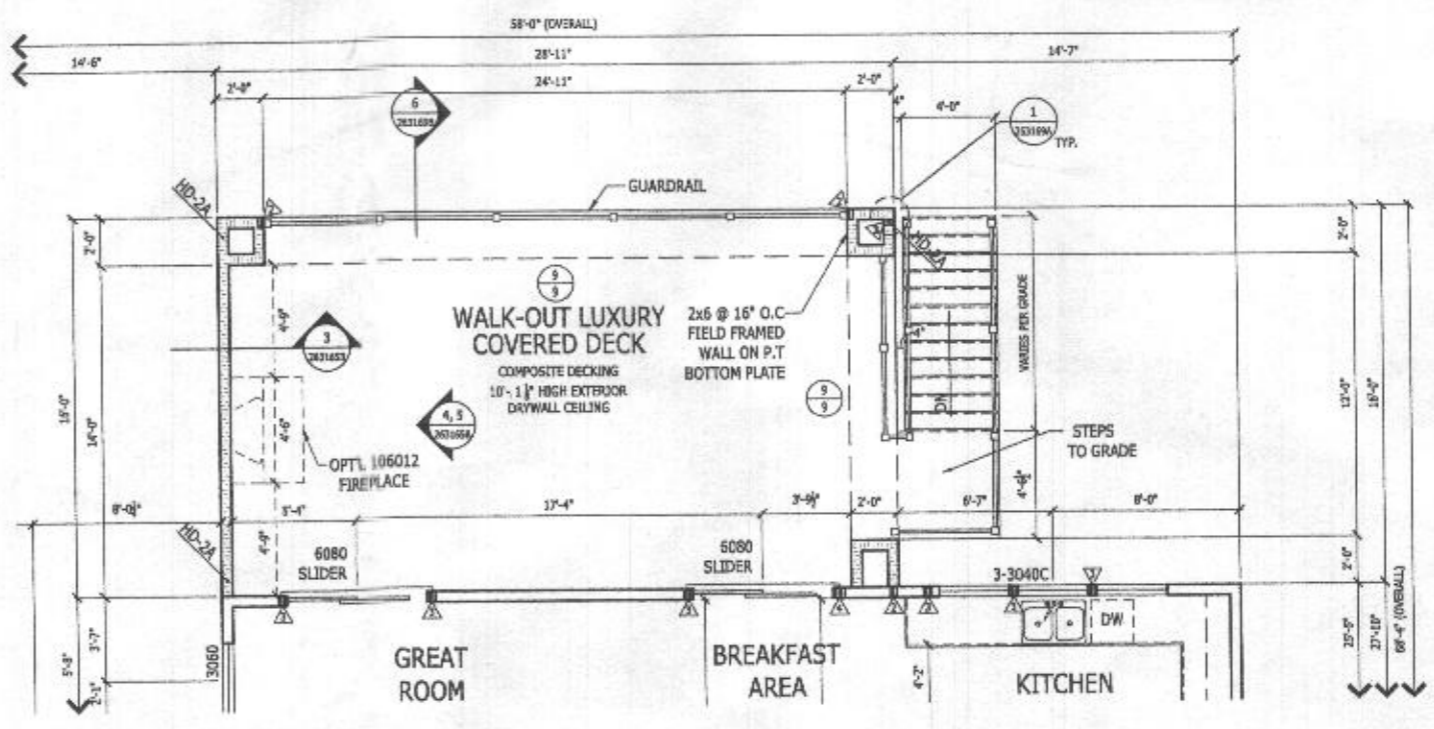
202347

TOLLARCHITECTURE

PHILADELPHIA · ORLANDO
DALLAS · LOS ANGELES · SEATTLE
250 Gibraltar Road, Horsham, PA 19044
P 215-293-5300 | F 215-293-5314
A Division of Toll Brothers

SHEET NUMBER
A1_31

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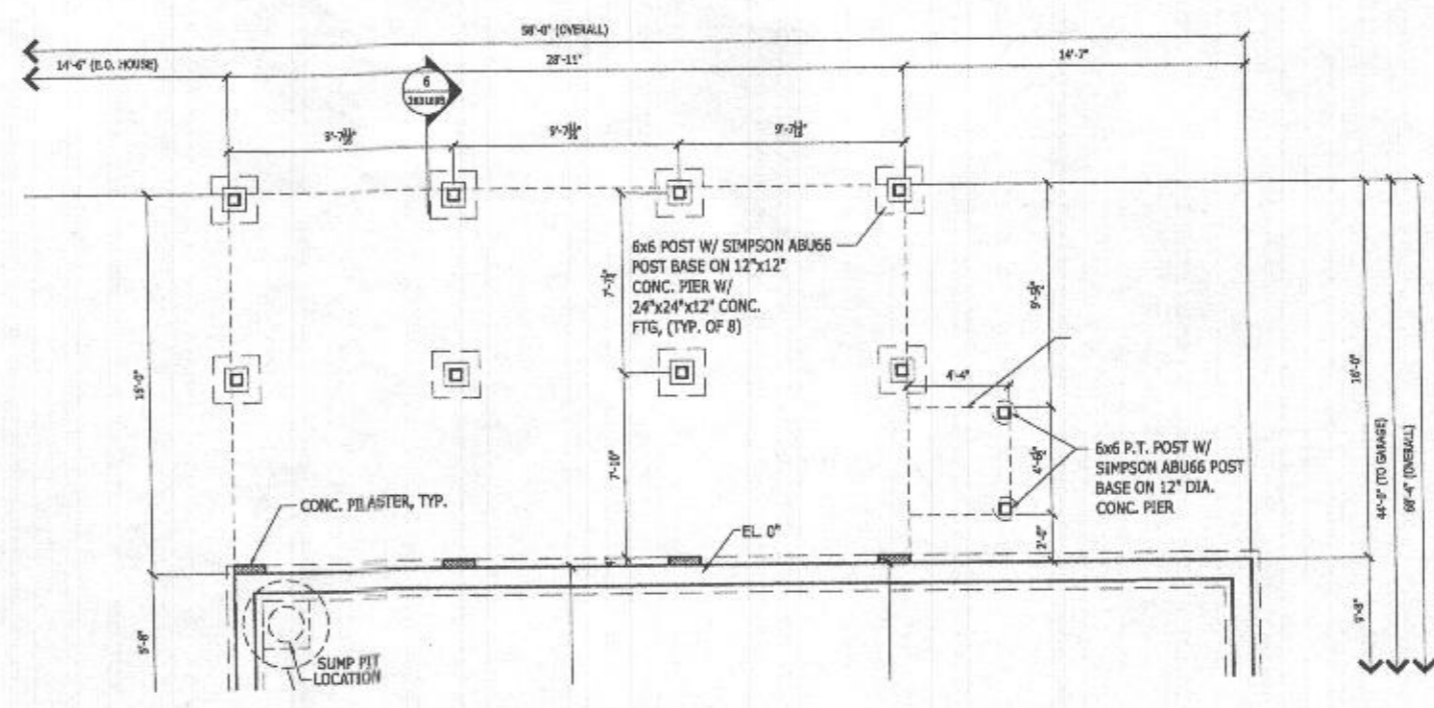


PARTIAL FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

LATERAL BRACING
THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.
FOR OSB + DRYWALL ATTACHMENT SEE A411 DETAIL SHEET

SEE OPT. 263165 FOR ADDITIONAL PLANS AND DETAILS

HEADER HEIGHT FOR ALL THE WINDOWS ON 2ND FLOOR: 7'-6"



PARTIAL BASEMENT FOUNDATION PLAN
Scale: 1/4" = 1'-0"

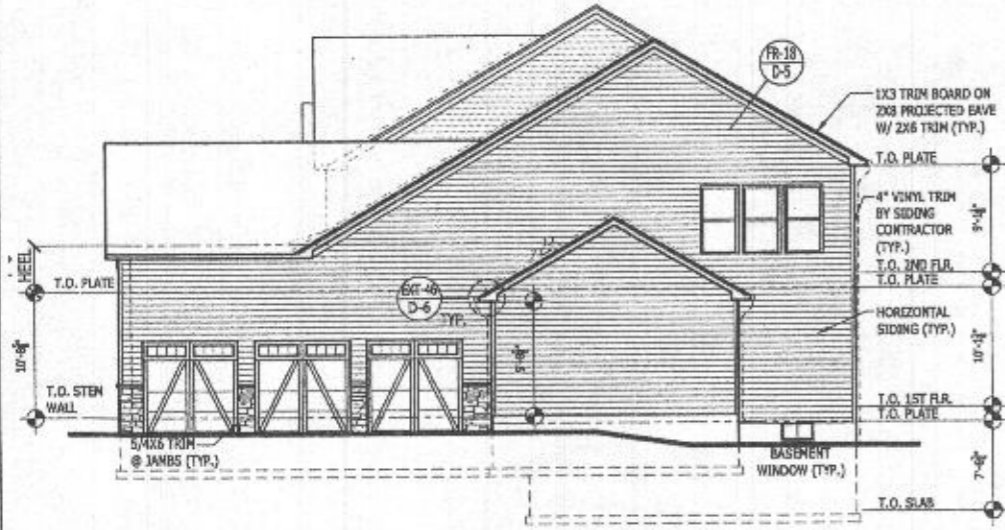
CRAFTSMAN SHOWN

CRAFTSMAN SHOWN

RIGHT HAND SET

| | |
|---|--|
| TOLL ARCHITECTURE PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE 250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300 F 215-293-5314 A Division of Toll Brothers | |
| SHEET REVISION INFO SET REVISION INFO 202347 | PRODUCT LINE MODEL/PROJECT NAME DUMONT ELEVATION NAME |
| DRAWN BY - A. BIENSTEIN CHECKED BY - TOLL ARCH. SHEET DATE - 08/26/19 | SHEET DESCRIPTION OPT # 263169- WALK-OUT LUXURY COVERED DECK |
| SERIAL NUMBER 263169 | SHEET NUMBER 1015.1 |

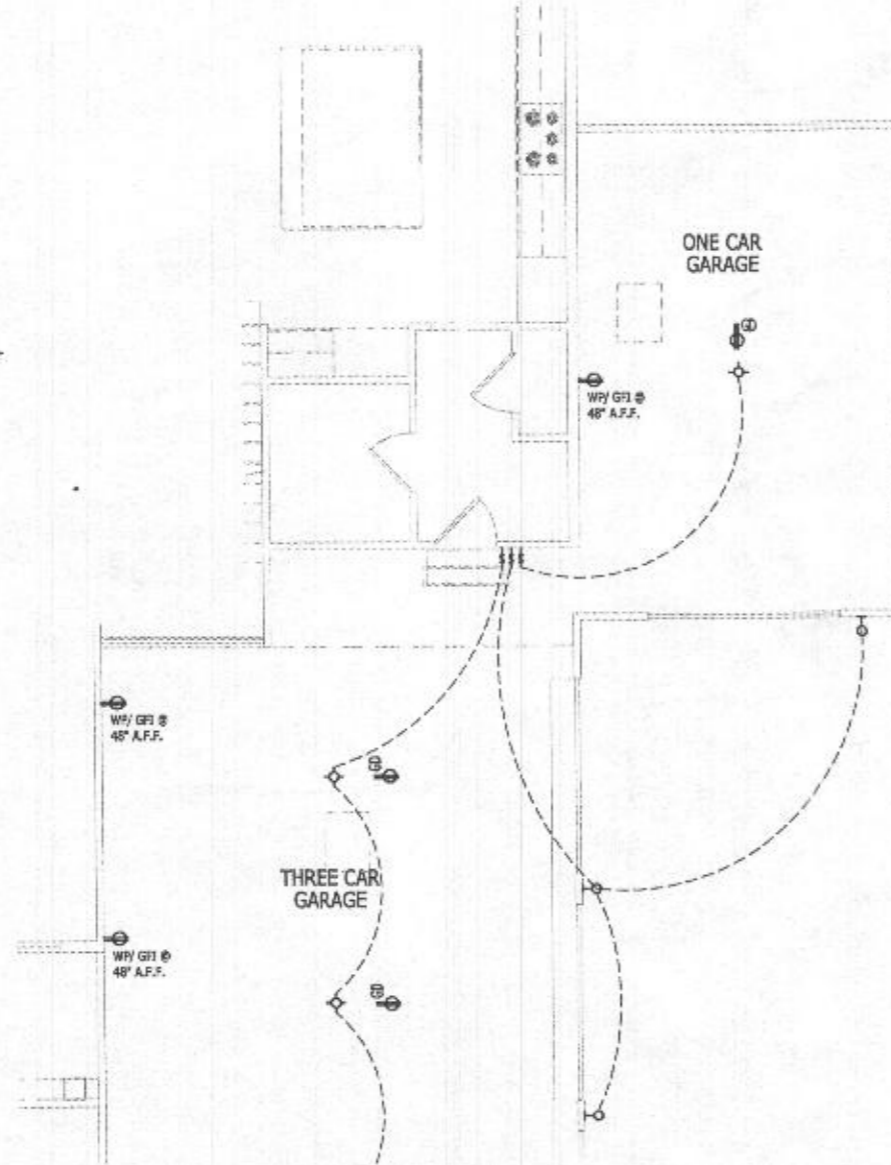
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SIDE ELEVATION

Scale: 1/4" = 1'-0"

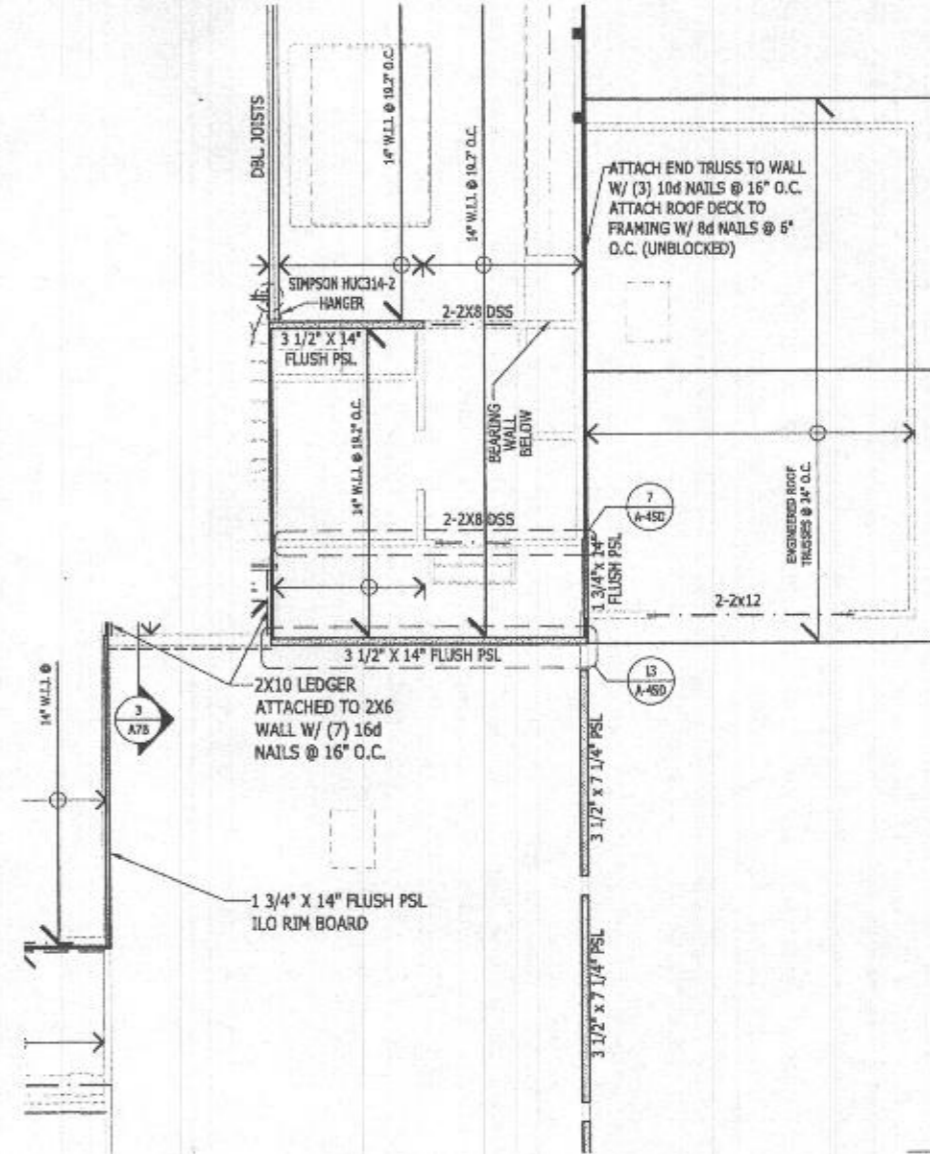
CRAFTSMAN SHOWN (ALL ELEVATION SIM.)



PARTIAL FIRST FLOOR ELECTRICAL PLAN

Scale: 1/4" = 1'-0"

CRAFTSMAN SHOWN (ALL ELEVATION SIM.)



PARTIAL SECOND FLOOR FRAMING PLAN

Scale: 1/4" = 1'-0"

LATERAL BRACING

THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.

FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET

HEADER HEIGHT FOR ALL THE WINDOWS ON 2ND FLOOR: 7'-6"

REFER 263102A FOR ROOF PLAN REAR ELEVATION AND FRONT ELEVATION

RIGHT HAND SET

| | | | |
|--|--|--|--|
| TOLLARCHITECTURE | | PHILADELPHIA - ORLANDO DALLAS - LOS ANGELES - SEATTLE | |
| SHEET REVISION INFO | | SET REVISION INFO | |
| PRODUCT LINE | | MODEL/PROJECT NAME | |
| DRAWN BY - K.SIDHURA | | CHECKED BY - TOLLARCH | |
| SHEET DATE - 09.10.2019 | | ELEVATION NAME | |
| SHEET DESCRIPTION | | ELEVATION NAME | |
| OPT #001-263102- THREE CAR SIDE ENTRY GARAGE | | DUMONT | |
| W/ ADDITIONAL ONE CAR FRONT ENTRY GARAGE-14' | | 202347 | |
| SERIAL NUMBER | | SHEET NUMBER | |
| 001-263102A | | 1015.1 | |