

ERMIT NUMBER: B 20001365

DATE ACCEPTED:

RECEIVED

APR 27 2020

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 311-2155 OPTION #4  
4260 Problem www.howardcountymd.gov LICENSES & PERMITS DIVISION

BUILDING SITE ADDRESS REQUIRED

Street Address: Linthicum Road address Unit: State: MD Zip Code: 21036  
Subdivision/Village/Complex Name: Titherington Property SDP/WP/BA #: Tax Map: 22 Parcel: 561 Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant Land Proposed Use: SFD Estimated Cost: \$300.00  
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None  
Mueller Family, 2 story, 13 room, 4 bedroom, 2.5 bathrooms, 2 car attached garage, Gas fireplace, Prescriptive Energy.  
Cement - 47' wide 34' deep, 1st - 47' wide 34' deep, 2nd - 47' wide 34' deep. Total sf - 4495. Occup sf - 4453

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Kenneth and Sarah Mueller Primary Residence: Yes No  
Owner's Street Address: 7014 Mink Hollow Road City: Highland State: MD Zip Code: 20777  
Phone: (443) 651-1470 Email: kwmuel5@aol.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Viking Development Corporation Contact Name: Cary Cumberland  
Street Address: 815 Windriver Drive City: Sykesville State: MD Zip Code: 21784  
Phone: (410) 977-2188 Email: cary@vikingcustomhomes.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Viking Development Corporation License #: 1185  
Licensee's Name: Cary Cumberland Street Address: 815 Windriver Drive  
City: Sykesville State: MD Zip Code: 21784  
Phone: (410) 977-2188 Email: cary@vikingcustomhomes.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Caddworks Name: Street Address: City: Frederick State: Zip Code: Phone: Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF\*) Condo: Yes No  
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)  
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #  
Fire Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Mueller Family  
# of Bedrooms (SF): 4 # of efficiency units (MF\*): # of 1 BR (MF\*): # of 2 BR (MF\*): # of 3 BR (MF\*):  
Rooms: 13 # Full Baths: 2 # Half Baths: 1 # Fireplaces: 1  
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None  
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial  
1st Fl Width: 47 1st Fl Depth: 34 2nd Fl Width: 47 2nd Fl Depth: 34 Bsmt Width: 47 Bsmt Depth: 34  
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 4,495 sq ft Occupiable Area: 4,453 sq ft

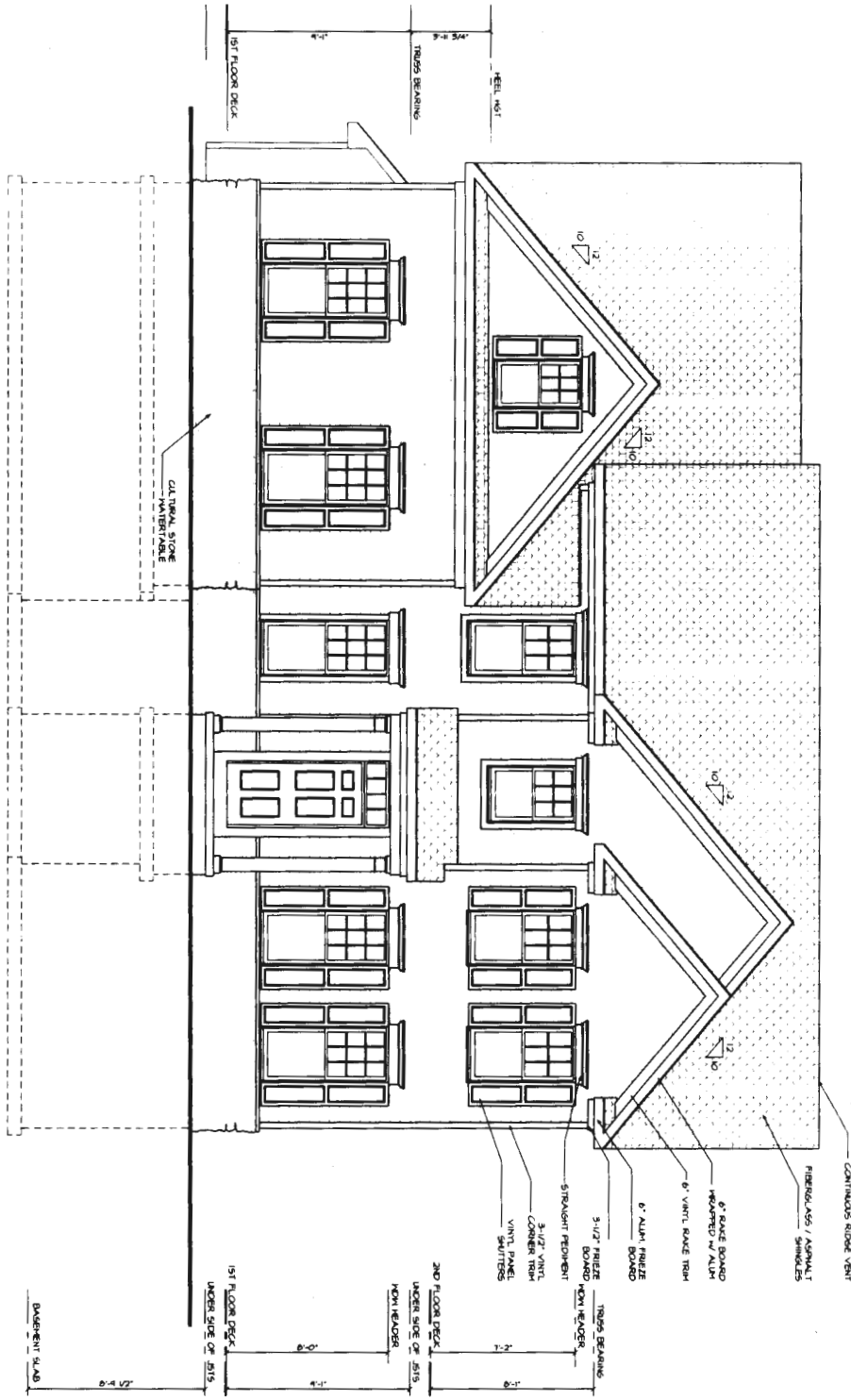
AGREEMENT/DISCLAIMER REQUIRED

I, THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.  
APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED 4-24-20

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID  
SUBMITTAL FEES: PAYMENT: ACCEPTED BY:

B26001365



**FRONT ELEVATION**

SCALE: 1/4"=1'-0"



**caddworks**.inc  
RESIDENTIAL DESIGN  
332 WEST PATRICK STREET / FREDENCK, MD / 21701  
(V) 301.695.9121 (E) DESIGN@CADDWORKS.NET  
(F) 301.695.4868 (W) WWW.CADDWORKS.NET

SUBMITTALS		REMARKS
ISSUE DATE	DRAWN BY	
12-20-11	DWR	PRELIMINARY PLAN
12-9-11	DWR	REVISED PLAN
1-3-12	DWR	REVISED PLAN

**FRONT ELEVATION**

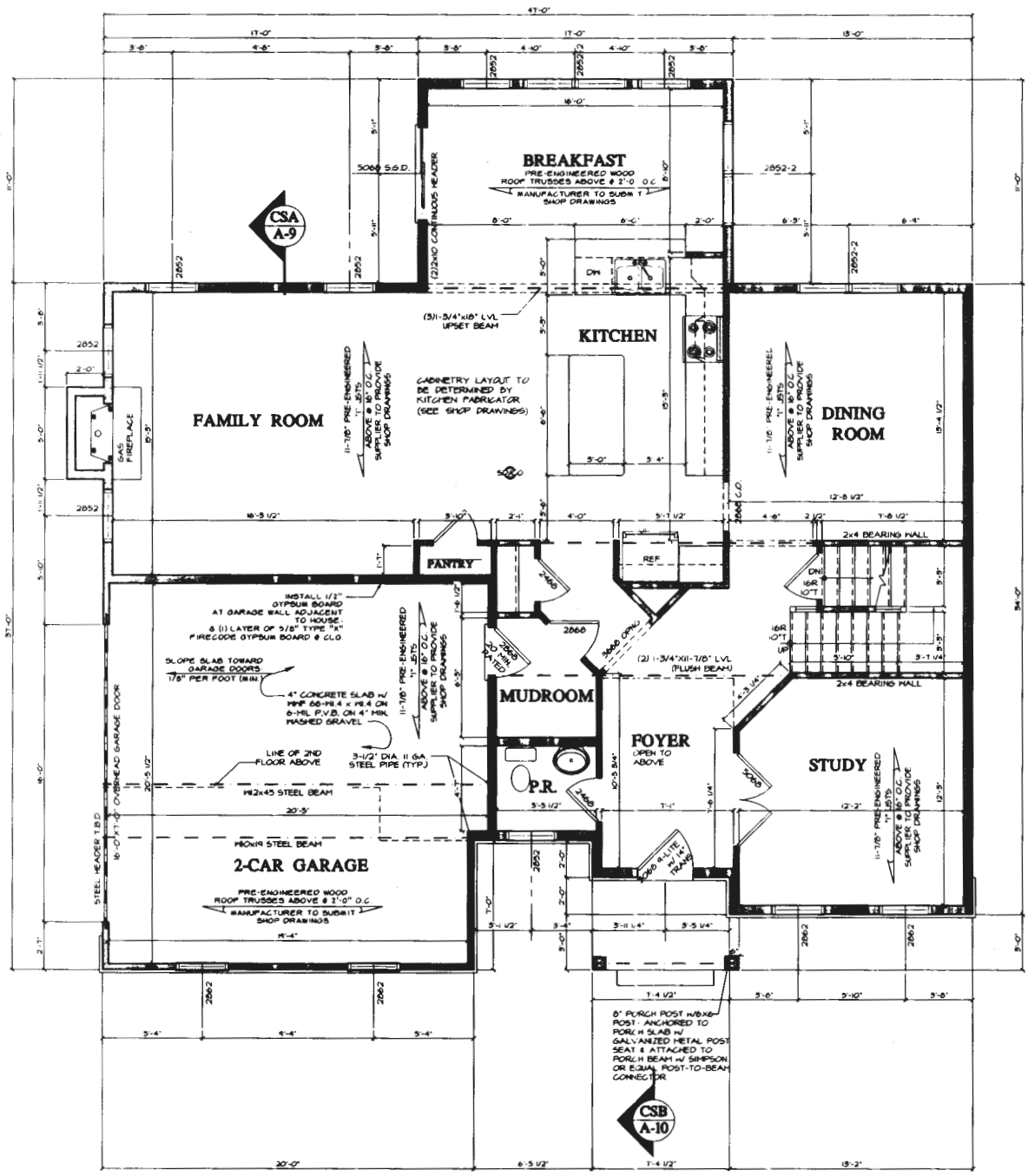
PROPOSED NEW HOME FOR:  
**THE MUELLER FAMILY**

SHEET NO  
**A-4**

FORM NO. 03-1-04

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 RESIDENTIAL DESIGN  
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**SUBMITTALS**

ISSUE DATE	PREPARED BY	REVISIONS
12-20-14	DRP	PRELIMINARY PLANS
1-28-15	DRP	REVISED PLANS
1-3-20	DRP	REVISED PLANS

**FIRST FLOOR PLAN**

**PROPOSED NEW HOME FOR:  
 THE MUELLER FAMILY**

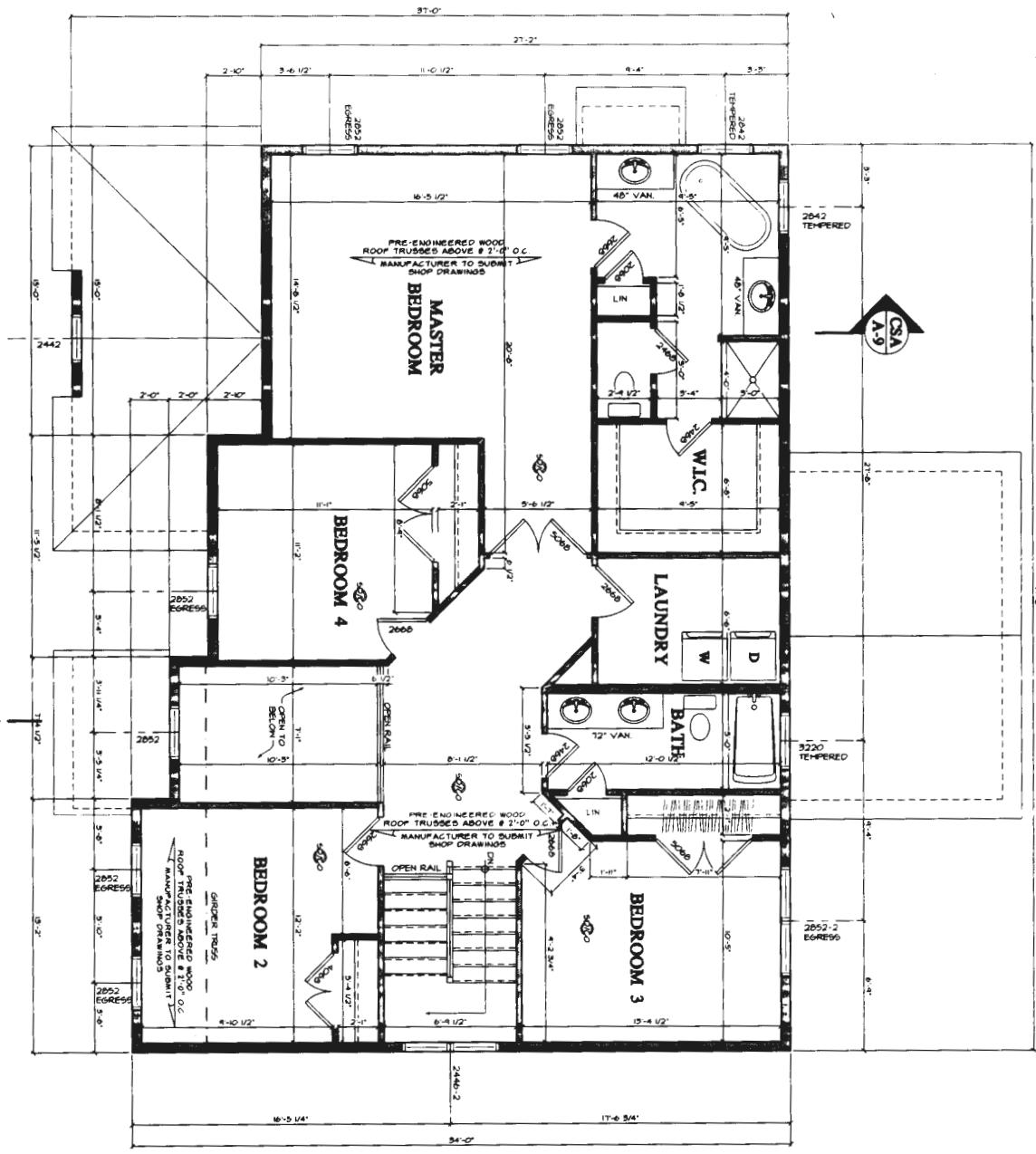
**FIRST FLOOR PLAN**

1370 SQ. FT. FIRST FLOOR AREA

SCALE: 1/4" = 1'-0"

SHEET NO  
**A-2**

PROJ. NO. 821-64



1372 SQ. FT. SECOND FLOOR AREA  
 SCALE: 1/4" = 1'-0"



PROPOSED NEW HOME FOR:  
**THE MUELLER FAMILY**

SHEET NO.  
**A-3**

**SECOND FLOOR PLAN**

SUBMITTALS		
ISSUE DATE	DRAWN BY	REMARKS
0-20-R	DWR	PRELIMINARY PLAN
0-28-R	DWR	REVISED PLAN
1-3-20	DWR	REVISED PLAN

**caddworks inc**  
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DRS & ASSOCIATES  
LAND DESIGN CONSULTANTS

# TITHERINGTON PROPERTY HOWARD COUNTY STORMWATER MANAGEMENT REPORT 1

OWNER / DEVELOPER

Kenneth Mueller  
Sarah Mueller  
7014 Mink Hollow Road  
Highland, MD 20777

REPORT CERTIFICATION

DRS & Associates  
Mark Anthony Hurt  
52 Winters Street  
Westminster, MD 21157  
410-876-6040  
drs@ramss.com

REV	DATE	BY	DESCRIPTION

Professional Certification.  
I hereby certify that these documents were prepared  
or approved by me, and that I am a duly licensed  
Registered Land Surveyor under the laws of the State  
of Maryland.  
License No. 21173, Expiration 08-25

**APPROVED**  
4/21/2020  
HZA



2020-04-06  
Mark A. Hurt, L.S.

Date: 2020 April 03

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2020-04-03 m.ah

21000125 SURVEYOR REGISTRATION BOARD  
11000125 SURVEYOR REGISTRATION BOARD







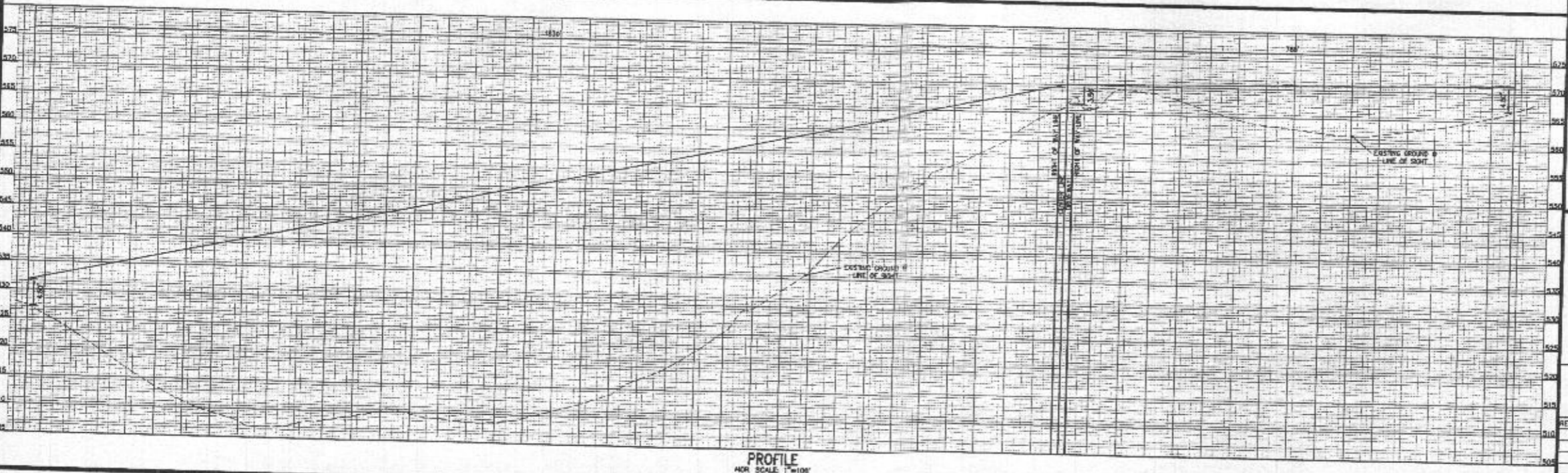
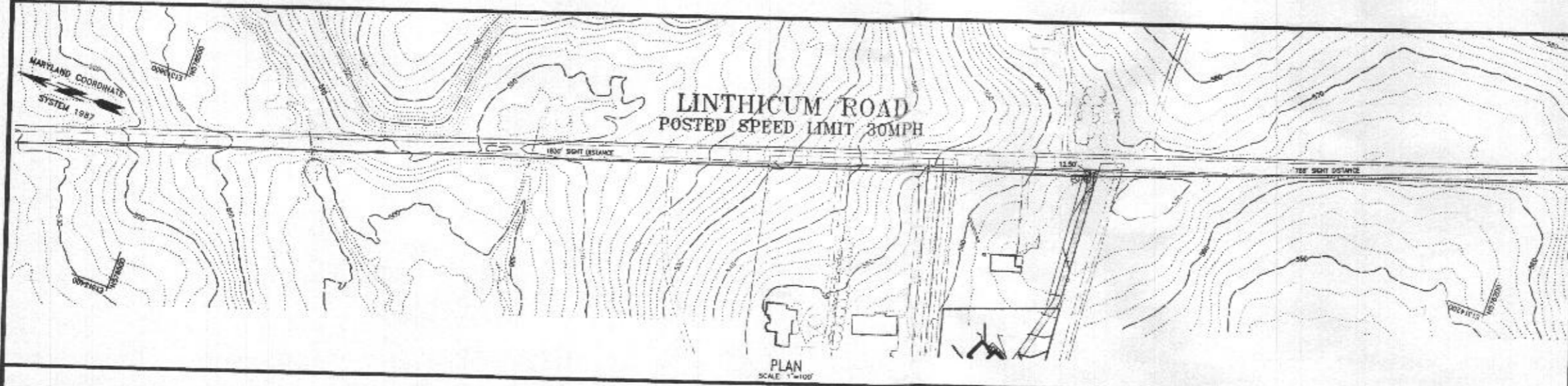


VICINITY MAP SCALE: 1"=2000' ADC MAP31 GRID D7

LEGEND	
Existing	Proposed
Int. Contours	Building Restriction Line
Lot Line	Int. Contours
Property Outline	Lot Line
Septic Area	Limits of Disturbance
BL Conc. Pk.	Septic Area
	Sewer
	BL Conc. Pk.
Existing Proposed	Structure
Clean Out, Sewer/Drain	Well
Electric Transformer	TREE

ABBREVIATIONS			
B	Bottom of structure or foot	F	First floor elevation
BRL	Building Restriction Line	G	Grade over elevation
CLP	County Land Record	H.P.	High Point
Co	Clear cut/County	L.P.	Low Point



**SIGHT DISTANCE PLAN AND PROFILE**  
**TITHERINGTON PROPERTY**  
LINTHICUM ROAD DAYTON  
HOWARD COUNTY, MARYLAND 21038

<b>BUILDER</b> Wing Development Corp. 815 Windriver Drive Sykesville, MD 21784 410-977-2188	<b>OWNER</b> Kenneth & Sarah Mueller 7014 Milk Hollow Road Highland, MD 20777 443-651-1470
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MAP 22 BLOCK 19 PARCEL 561  
Account Number 435005  
5TH ELECTION DISTRICT  
ZONED RC-DEO COUNTY LAND RECORD 19202 Page 249

**D.R.S. & ASSOCIATES**  
LAND DESIGN CONSULTANTS  
52 WINTERS STREET WESTMINSTER, MARYLAND 21157  
410-848-4060 410-876-6040 F. 410-848-8818

REV. NO.	DATE	BY	DESCRIPTION	DATE

DATE: 2000-01-27  
SCALE: 1"=100'  
SHT. NO.: 1 OF 1  
DWG.: RD01-01

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