

1 01 FLOOR PLAN
 SCALE: 1/4" = 1'-0" A201

CONSTRUCTION KEY	
	EXISTING WALL TO REMAIN
	EXISTING DOORS TO REMAIN
	NEW WALL
	NEW DOORS
	INDICATES SOLID MASONRY PIERS

- PLAN NOTES**
- P.01 NEW KITCHEN CABINETS, SUPPLIED AND INSTALLED BY G.C. TO BE SELECTED BY OWNER.
 - P.02 NEW COUNTERTOP TO BE SELECTED, TYP.
 - P.03 TYPICAL INTERIOR PARTITION: 2X4 STUDS 16' O.C. 1/2" GYP. BD. EACH SIDE (USE GREEN BOARD AT BATHROOM).
 - P.04 NEW CONC. SLAB ON GRADE.
 - P.05 NEW COLD WATER LINE @ NEW REFRIGERATOR.
 - P.06 NEW MARBLE THRESHOLD, TO BE SELECTED BY OWNER AND ARCHITECT.
 - P.07 PLUMBING FIXTURES AS SELECTED BY OWNER.
 - P.08 TYPICAL EXTERIOR WALL: 2 X 6 @ 16" ON CENTER EXTERIOR WOOD FRAMING. PROVIDE R-22 BATT INSULATION WITH 5/8" THERMAX SHEATHING, ONE LAYER TYVEK BUILDING WRAP AND 1/2" G/BS AT INTERIOR.
 - P.09 NEW PORCH - SEE ELEVATIONS, SECTIONS AND DETAILS.
 - P.10 NEW FYPON COLUMN WRAP AS SELECTED BY OWNER.
 - P.11 NEW STEPS TO GRADE - FIELD VERIFY HEIGHT AND MAINTAIN 7.75" MAX. RISER AND 10" PLUS 1" NOSING MIN. TREATED STRINGERS WITH PVC DECKING MATERIAL AS SELECTED BY OWNER.
 - P.12 NEW PVC DECKING MATERIAL AS SELECTED BY OWNER.
 - P.13 TYPICAL INTERIOR FURRED WALL: 2X4 WOOD STUDS 16" O.C. (FLAT STUD WHERE SHOWN 1/2" GYP. BD.)
 - P.14 TYPICAL SHAFT WALL: 2X4 WOOD STUDS 16" O.C. (1/2" GYP. BD. ON EXTERIOR SIDE.)

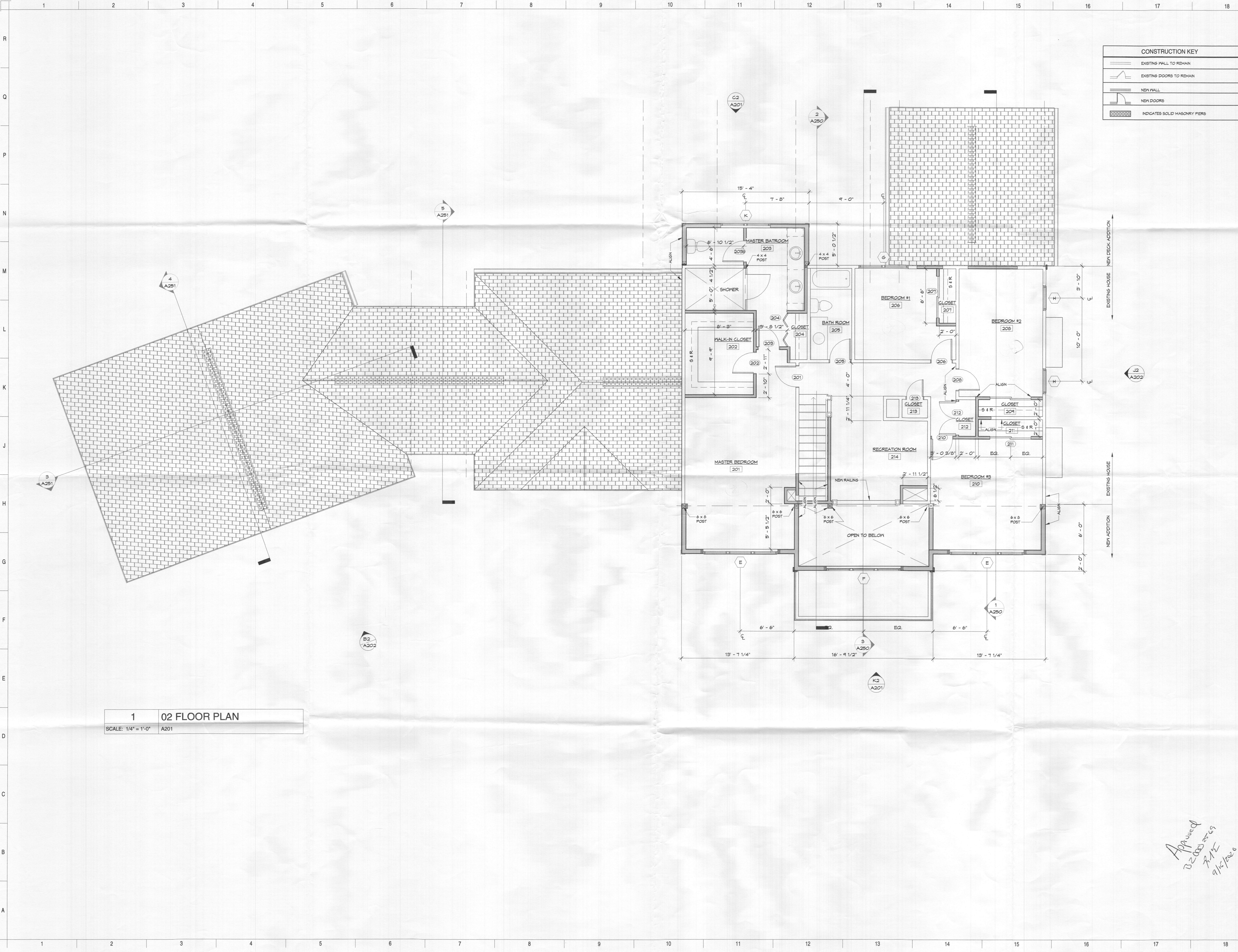
Approved
 R2000 07/29
 JAL
 9/16/2020

REV. NO.	DATE	DESCRIPTION
01	07/31/2020	ISSUED FOR PERMIT

FERGUSON RESIDENCE RENOVATION
 2153 MCKENDREE RD. WEST FRIENDSHIP, MD.
 CONNOR & JULIE FERGUSON

PROJECT NAME
 ARCHITECT
 10 RONALD BRASHER
 STATE OF MARYLAND
 SEAL

SHEET TITLE	FIRST FLOOR PLAN
PROJECT NUMBER	20-130
FIRST RELEASE DATE	07/31/2020
SHEET NUMBER	A101



CONSTRUCTION KEY	
	EXISTING WALL TO REMAIN
	EXISTING DOORS TO REMAIN
	NEW WALL
	NEW DOORS
	INDICATES SOLID MASONRY PIERS

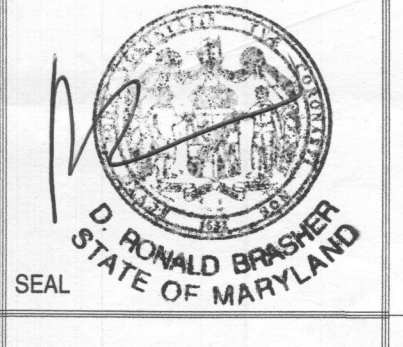
BRASHER DESIGN
 ARCHITECTURE DESIGN PLANNING INTERIORS
 5560 STERRETT PLACE, SUITE 300 COLUMBIA, MARYLAND 21044
 410.966.0015 MD 301.827.0020 DC 410.966.0050 Fax
 email: brasherdesign@gmail.com

REV. NO.	DATE	DESCRIPTION
1	07/31/2020	ISSUED FOR PERMIT

FERGUSON RESIDENCE RENOVATION
 2153 MCKENDREE RD. WEST FRIENDSHIP, MD.
 CONNOR & JULIE FERGUSON

PROJECT NAME

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE TITLE AND NUMBER OF MY LICENSE IN MARYLAND.



SHEET TITLE
SECOND FLOOR PLAN

PROJECT NUMBER
20-130

FIRST RELEASE DATE
 07/31/2020

SHEET NUMBER
A102

1 02 FLOOR PLAN
 SCALE: 1/4" = 1'-0" A201

Approved
 BZ (00) 2549
 JPL
 9/12/2020

DEMOLITION KEY

- EXISTING WALL CONSTRUCTION TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR AND FRAME TO BE REMOVED

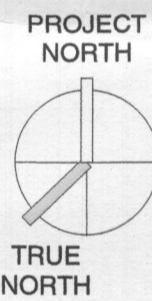
GENERAL DEMOLITION NOTES

- 1 REMOVE EXISTING CONSTRUCTION AS SHOWN ON PLANS. SEE PLANS, SECTIONS, AND DETAILS FOR EXTENT OF EXISTING CONSTRUCTION TO BE REMOVED.
- 2 CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEMOLITION NOT SPECIFICALLY CALLED FOR ON THE DRAWINGS BUT REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT AS INDICATED.
- 3 EXISTING STRUCTURAL FRAMING SHALL REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED.
- 4 IF FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON DRAWINGS, NOTIFY ARCHITECT BEFORE PROCEEDING.
- 5 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE THE EXISTING BUILDING DURING THE COURSE OF CONSTRUCTION AND IMMEDIATELY ADVISE THE ARCHITECT OF ANY AREAS WHERE THE STRUCTURE EXHIBITS DISTRESS OR FAILURE OF ANY DEGREE.
- 6 IT IS THE CONTRACTOR'S RESPONSIBILITY TO SATISFY HIMSELF AS TO THE LOCATION OF ANY EXISTING SYSTEMS IN THE IMMEDIATE VICINITY OF CONSTRUCTION SO AS TO PREVENT DAMAGE TO THEM. SHOULD ANY DAMAGE TO SUCH SYSTEMS OCCUR, THE CONTRACTOR SHALL BE REQUIRED TO REPAIR SUCH DAMAGE AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER.
- 7 CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS PRODUCED BY DEMOLITION. CONTRACTOR SHALL CLEAN UP DAILY AND SHALL NOT ALLOW AN EXCESSIVE AMOUNT OF DEBRIS TO ACCUMULATE AT ANY TIME.
- 8 CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION AT ALL TIMES.
- 9 CONTRACTOR SHALL PATCH AND/OR REPAIR ALL EXISTING ADJACENT CONSTRUCTION AS MAY BE REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE & FINISHED INSTALLATION.
- 10 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EQUIPMENT OR FIXTURES AS REQUIRED TO ALLOW FOR NEW CONSTRUCTION.
- 11 ANY ITEM TO BE REMOVED WHICH IS DEEMED REUSABLE IS TO BE RETURNED TO THE OWNER OR DISPOSED OF AS DIRECTED BY OWNER.

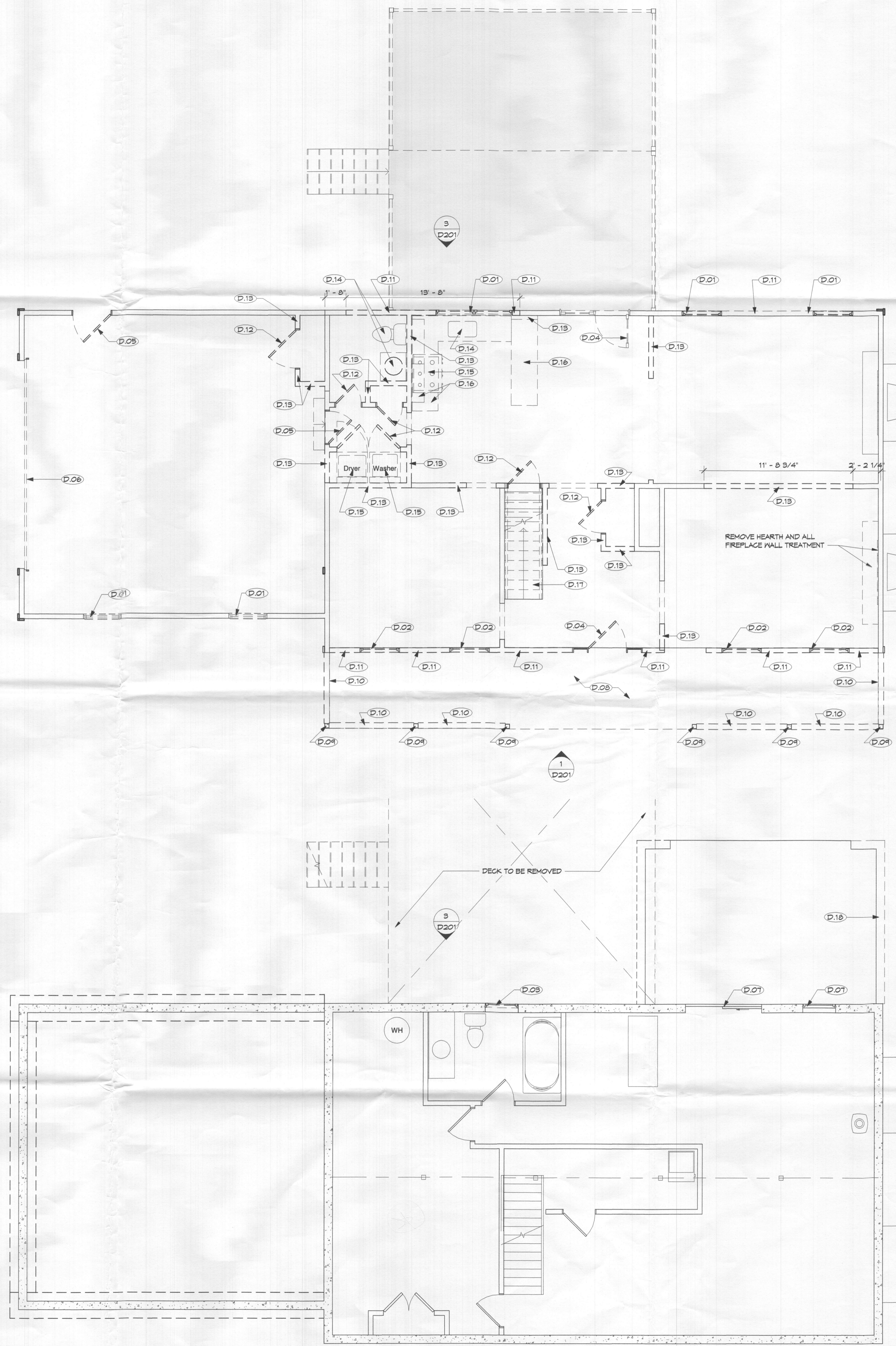
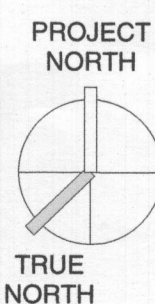
DEMOLITION NOTES

D.01	REMOVE EXISTING WINDOW. PREPARE EXISTING OPENING TO ACCEPT NEW REPLACEMENT WINDOW.
D.02	REMOVE EXISTING WINDOW.
D.03	REMOVE WINDOW. INFILL OPENING.
D.04	REMOVE EXTERIOR DOOR AND SIDELIGHT(S).
D.05	REMOVE EXTERIOR DOOR.
D.06	REMOVE EXISTING SECTIONAL GARAGE DOOR, TRACK AND ACCESSORIES.
D.07	EXISTING BASEMENT DOOR/WINDOW TO REMAIN.
D.08	REMOVE EXISTING CONCRETE SLAB ON GRADE PORCH FLOOR.
D.09	REMOVE EXISTING WOOD PORCH POST.
D.10	REMOVE EXISTING WOOD PORCH RAILING.
D.11	REMOVE EXISTING WOOD FRAMED EXTERIOR WALL, INCLUDING ALL SIDING/EXTERIOR FINISHES AND TRIM, INSULATION, GYP. BD, WIRING, PIPING AND DUCTWORK.
D.12	REMOVE EXISTING INTERIOR DOOR, TRIM AND HARDWARE.
D.13	REMOVE EXISTING WOOD FRAMED INTERIOR PARTITION, INCLUDING ALL GYP. BD, FINISHES AND TRIM, WIRING, PIPING AND DUCTWORK.
D.14	REMOVE EXISTING PLUMBING FIXTURE AND ALL ACCESSORIES.
D.15	REMOVE EXISTING APPLIANCE AND ALL ACCESSORIES.
D.16	REMOVE EXISTING CABINETRY, COUNTERTOP, AND ALL ACCESSORIES.
D.17	REMOVE EXISTING STAIR AND CARRIAGE.
D.18	REMOVE EXISTING BRICK RETAINING WALL.
D.19	REMOVE EXISTING WOOD FRAMED FLOOR SYSTEM.
D.20	REMOVE EXISTING WOOD FRAMED PORCH ROOF.
D.21	REMOVE EXISTING WOOD FRAMED ROOF STRUCTURE BACK TO FACE OF PLYWOOD SHEATHING.
D.22	REMOVE EXISTING SHINGLES, UNDERLAYMENT, ACCESSORIES, GUTTERS AND DOWNSPOUTS.
D.23	REMOVE EXISTING SIDING, ALL ACCESSORIES AND FLASHINGS.
D.24	REMOVE EXISTING DECK AND STAIRS.
D.25	SAWCUT EXISTING SHEATHING AND FRAMING FOR NEW WINDOW OPENING. MATCH EXISTING HEAD HEIGHT.

C1 1ST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



2 BASEMENT DEMO PLAN
SCALE: 1/4" = 1'-0"



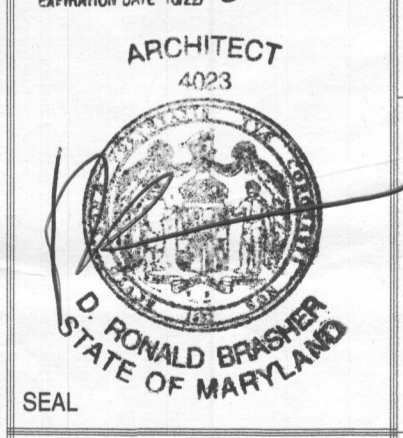
BRASHER DESIGN
ARCHITECTURE DESIGN PLANNING INTERIORS
5508 STERRETT PLACE, SUITE 300, COLUMBIA, MARYLAND 21044
410.985.0315 MD 301.827.6202 DC 410.985.0350
email: brasherdesign@brasherdesign.com

REV. NO.	DATE	DESCRIPTION
01	07/31/2020	ISSUED FOR PERMIT

FERGUSON RESIDENCE RENOVATION
2153 MCKENDREE RD. WEST FRIENDSHIP, MD.
CONNOR & JULIE FERGUSON

PROJECT NAME

DESIGN CERTIFY THAT THESE DOCUMENTS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF MARYLAND. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES.



SHEET TITLE
BASEMENT DEMO PLAN AND FIRST FLOOR DEMO PLAN


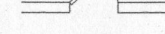
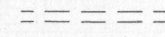
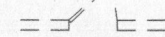
PROJECT NUMBER
20-130

FIRST RELEASE DATE
07/31/2020

SHEET NUMBER

D101

DEMOLITION KEY

-  EXISTING WALL CONSTRUCTION TO REMAIN
-  EXISTING DOOR TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED
-  EXISTING DOOR AND FRAME TO BE REMOVED

GENERAL DEMOLITION NOTES

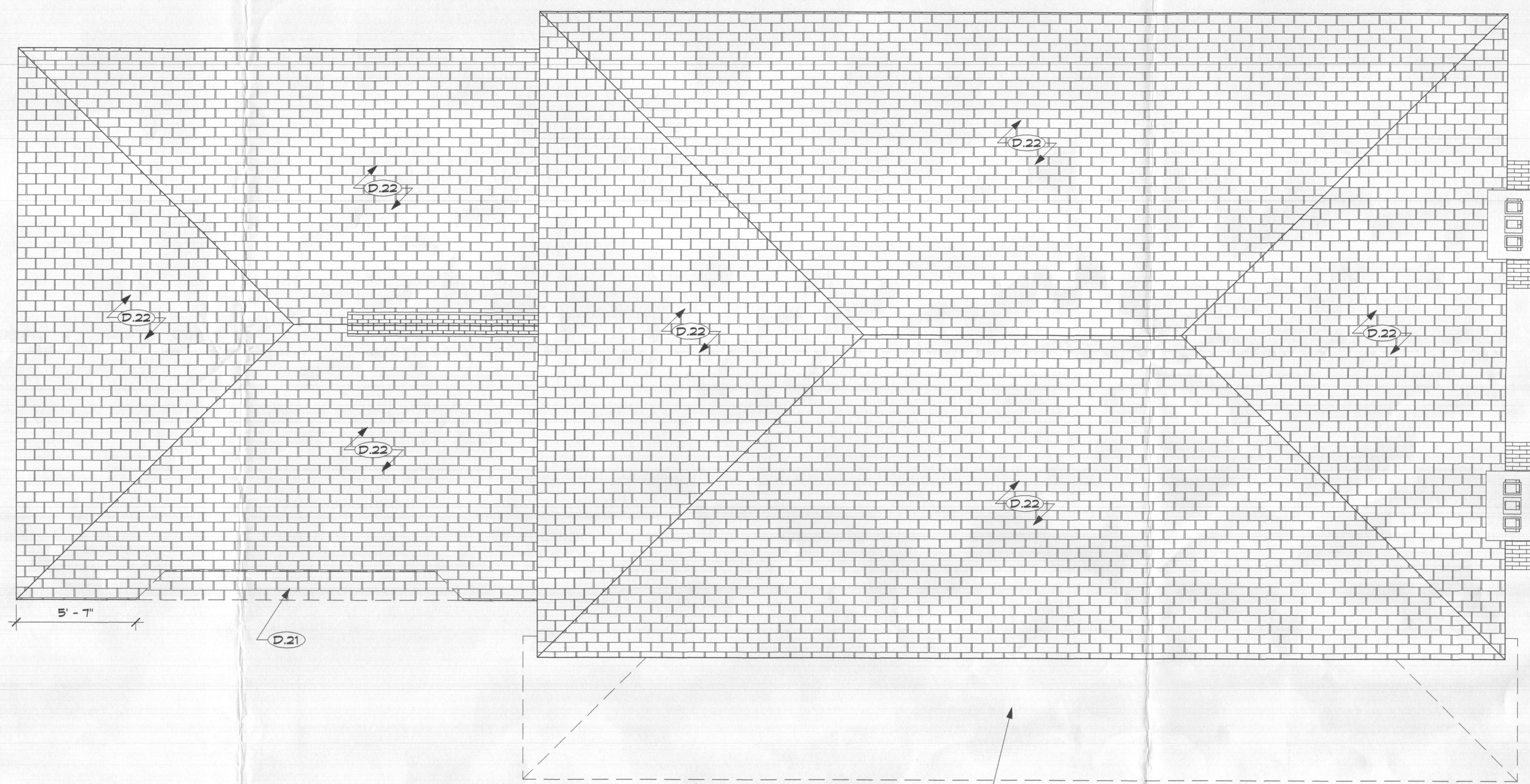
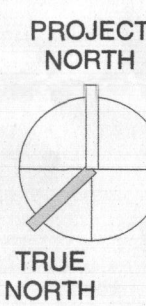
- 1 REMOVE EXISTING CONSTRUCTION AS SHOWN ON PLANS. SEE PLANS, SECTIONS, AND DETAILS FOR EXTENT OF EXISTING CONSTRUCTION TO BE REMOVED.
- 2 CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEMOLITION NOT SPECIFICALLY CALLED FOR ON THE DRAWINGS BUT REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT AS INDICATED.
- 3 EXISTING STRUCTURAL FRAMING SHALL REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED.
- 4 IF FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON DRAWINGS, NOTIFY ARCHITECT BEFORE PROCEEDING.
- 5 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE THE EXISTING BUILDING DURING THE COURSE OF CONSTRUCTION AND IMMEDIATELY ADVISE THE ARCHITECT OF ANY AREAS WHERE THE STRUCTURE EXHIBITS DISTRESS OR FAILURE OF ANY DEGREE.
- 6 IT IS THE CONTRACTOR'S RESPONSIBILITY TO SATISFY HIMSELF AS TO THE LOCATION OF ANY EXISTING SYSTEMS IN THE IMMEDIATE VICINITY OF CONSTRUCTION SO AS TO PREVENT DAMAGE TO THEM. SHOULD ANY DAMAGE TO SUCH SYSTEMS OCCUR THE CONTRACTOR SHALL BE REQUIRED TO REPAIR SUCH DAMAGE AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER.
- 7 CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS PRODUCED BY DEMOLITION. CONTRACTOR SHALL CLEAN UP DAILY AND SHALL NOT ALLOW AN EXCESSIVE AMOUNT OF DEBRIS TO ACCUMULATE AT ANY TIME.
- 8 CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION AT ALL TIMES.
- 9 CONTRACTOR SHALL PATCH AND/OR REPAIR ALL EXISTING ADJACENT CONSTRUCTION AS MAY BE REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE & FINISHED INSTALLATION.
- 10 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EQUIPMENT OR FIXTURES AS REQUIRED TO ALLOW FOR NEW CONSTRUCTION.
- 11 ANY ITEM TO BE REMOVED, WHICH IS DEEMED REUSABLE, IS TO BE RETURNED TO THE OWNER OR DISPOSED OF AS DIRECTED BY OWNER.

DEMOLITION NOTES

D.01	REMOVE EXISTING WINDOW, PREPARE EXISTING OPENING TO ACCEPT NEW REPLACEMENT WINDOW.
D.02	REMOVE EXISTING WINDOW.
D.03	REMOVE WINDOW INFILL OPENING.
D.04	REMOVE EXTERIOR DOOR AND SIDELIGHT(S).
D.05	REMOVE EXTERIOR DOOR.
D.06	REMOVE EXISTING SECTIONAL GARAGE DOOR, TRACK AND ACCESSORIES.
D.07	EXISTING BASEMENT DOOR/ WINDOW TO REMAIN.
D.08	REMOVE EXISTING CONCRETE SLAB ON GRADE PORCH FLOOR.
D.09	REMOVE EXISTING WOOD PORCH POST.
D.10	REMOVE EXISTING WOOD PORCH RAILING.
D.11	REMOVE EXISTING WOOD FRAMED EXTERIOR WALL, INCLUDING ALL SIDING/EXTERIOR FINISHES AND TRIM, INSULATION, GYP. BD., WIRING, PIPING AND DUCTWORK.
D.12	REMOVE EXISTING INTERIOR DOOR, TRIM AND HARDWARE.
D.13	REMOVE EXISTING WOOD FRAMED INTERIOR PARTITION, INCLUDING ALL GYP. BD., FINISHES AND TRIM, WIRING, PIPING AND DUCTWORK.
D.14	REMOVE EXISTING PLUMBING FIXTURE AND ALL ACCESSORIES.
D.15	REMOVE EXISTING APPLIANCE AND ALL ACCESSORIES.
D.16	REMOVE EXISTING CABINETRY, COUNTERTOP, AND ALL ACCESSORIES.
D.17	REMOVE EXISTING STAIR AND CARRIAGE.
D.18	REMOVE EXISTING BRICK RETAINING WALL.
D.19	REMOVE EXISTING WOOD FRAMED FLOOR SYSTEM.
D.20	REMOVE EXISTING WOOD FRAMED PORCH ROOF.
D.21	REMOVE EXISTING WOOD FRAMED ROOF STRUCTURE BACK TO FACE OF PLYWOOD SHEATHING.
D.22	REMOVE EXISTING SHINGLES, UNDERLAYMENT, ACCESSORIES, GUTTERS AND DOWNSPOUTS.
D.23	REMOVE EXISTING SIDING, ALL ACCESSORIES AND FLASHINGS.
D.24	REMOVE EXISTING DECK AND STAIRS.
D.25	BANK CUT EXISTING SHEATHING AND FRAMING FOR NEW WINDOW OPENINGS. MATCH EXISTING HEAD HEIGHT.

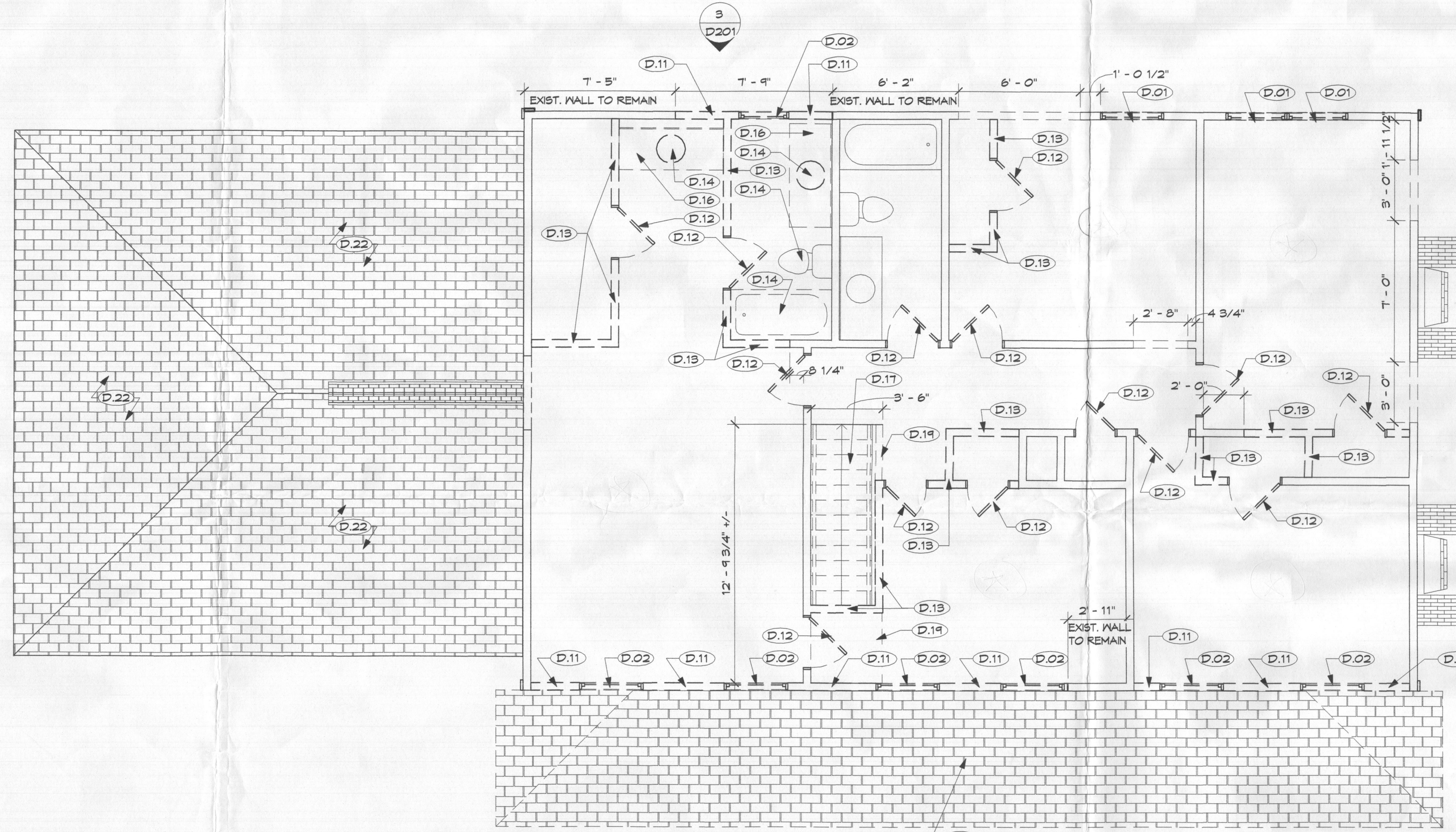
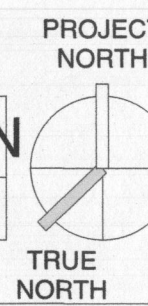
2 DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"



1 2ND FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



REVISIONS

Rev. No.	Date	Description

