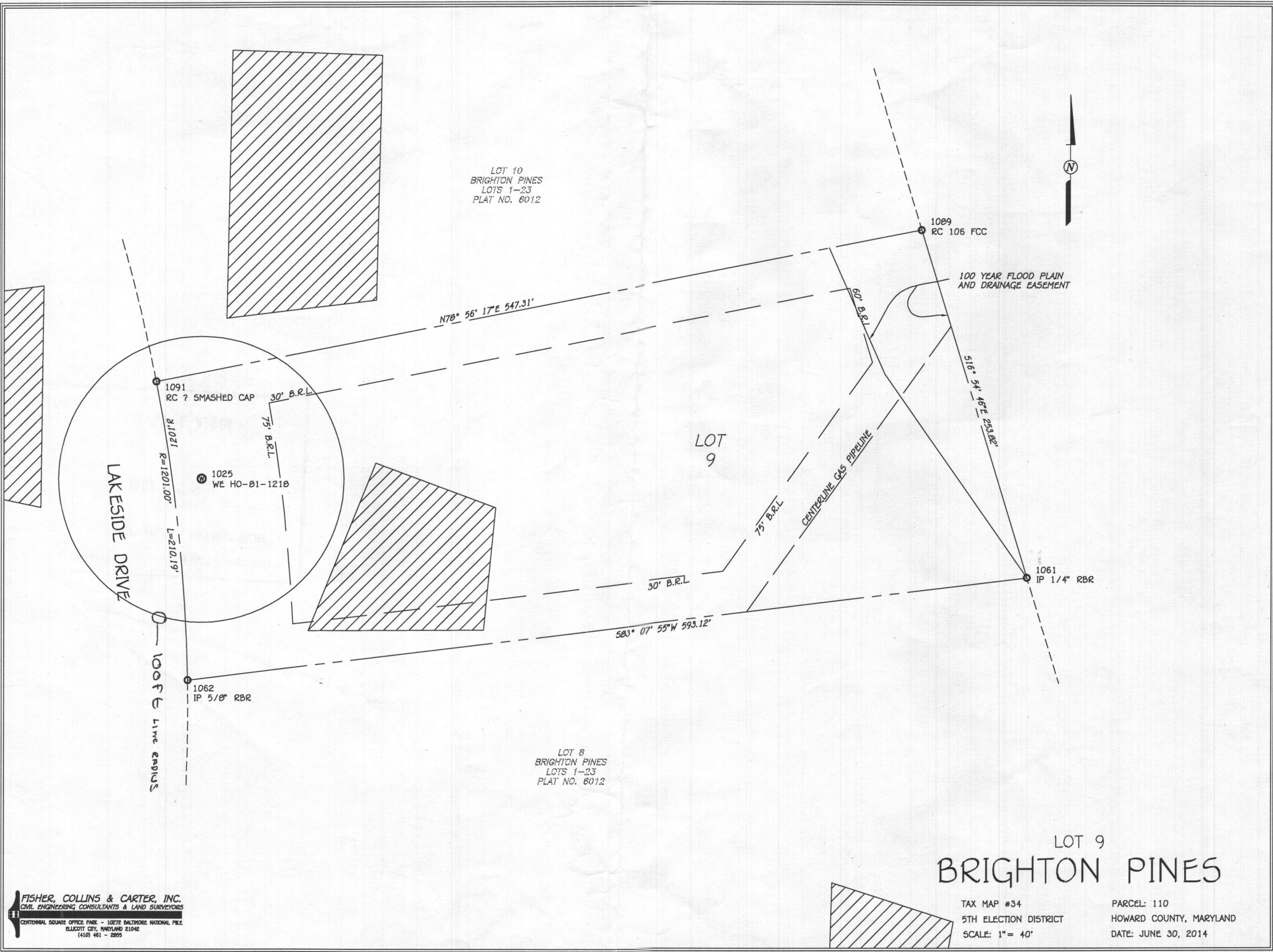


K:\Drawings 6\61554 Brighton Pines\61554 2012 Tdisk Worksheet.dwg, Model, 6/30/2014 11:15:12 AM, 1:40

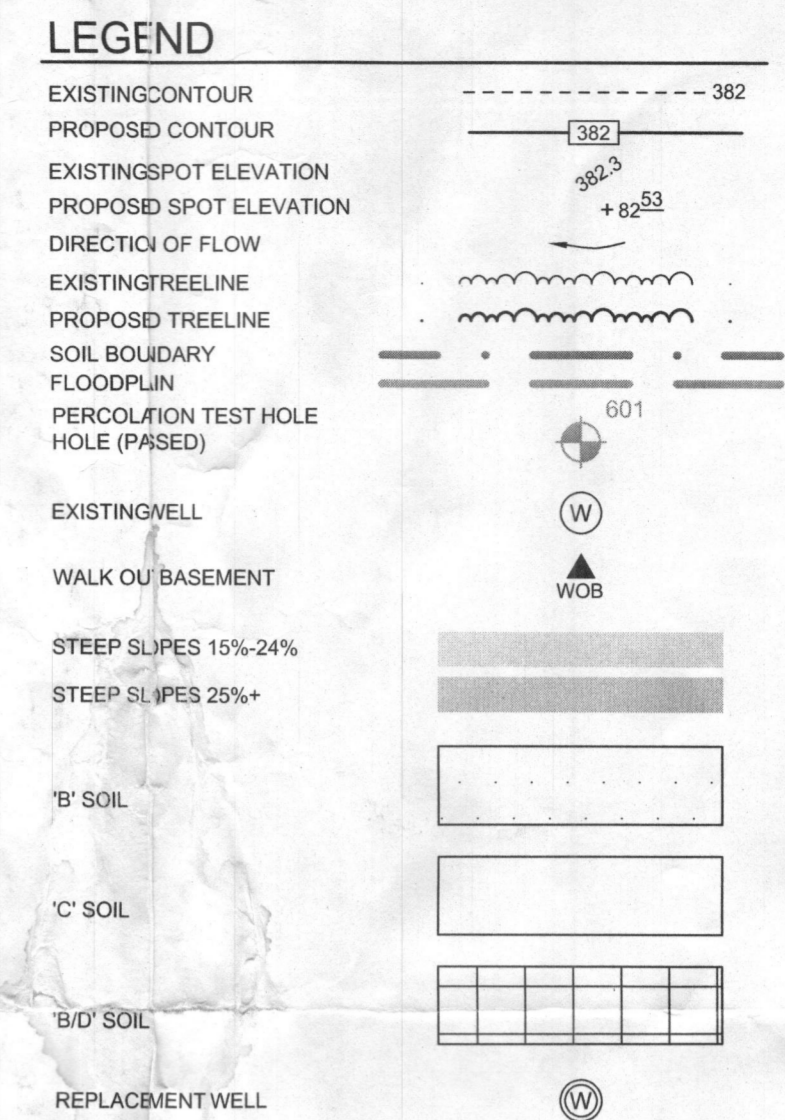
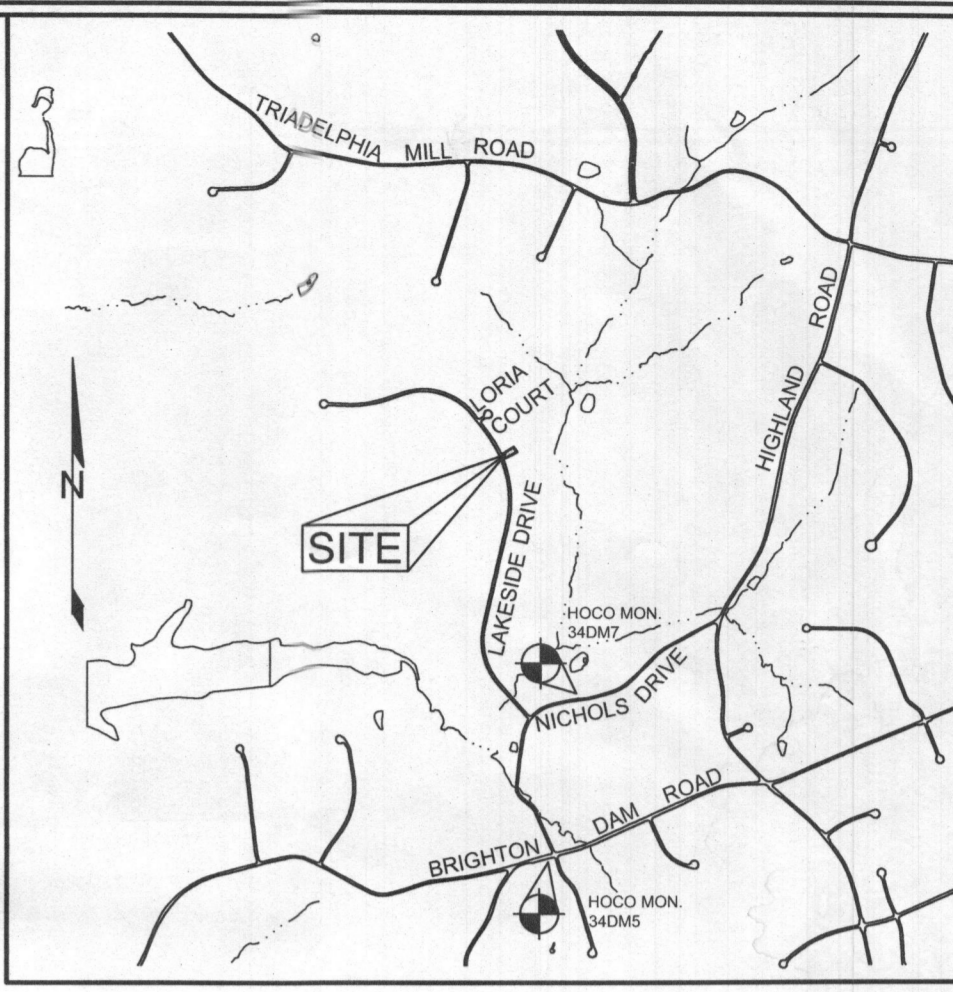
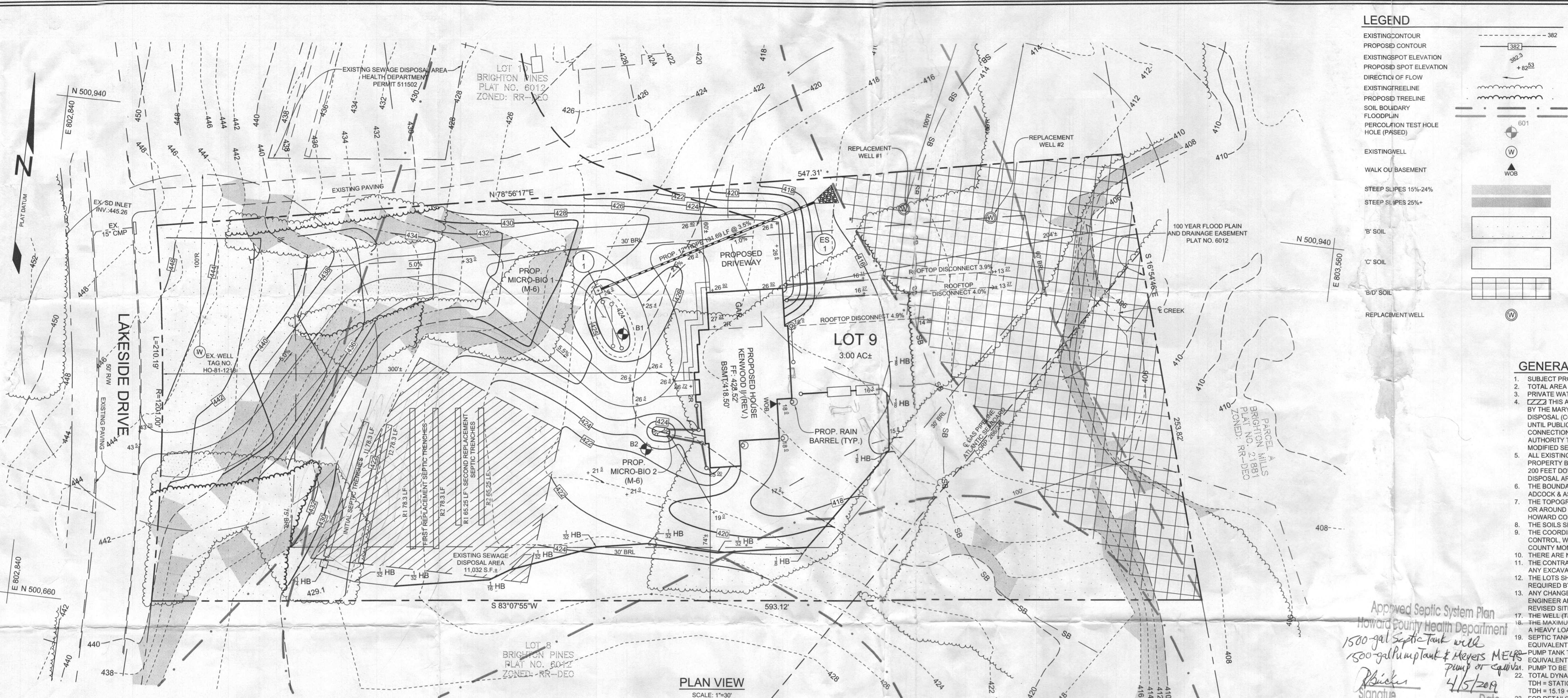


FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLETTT CITY, MARYLAND 21046
 (410) 461 - 2295

LOT 9
BRIGHTON PINES

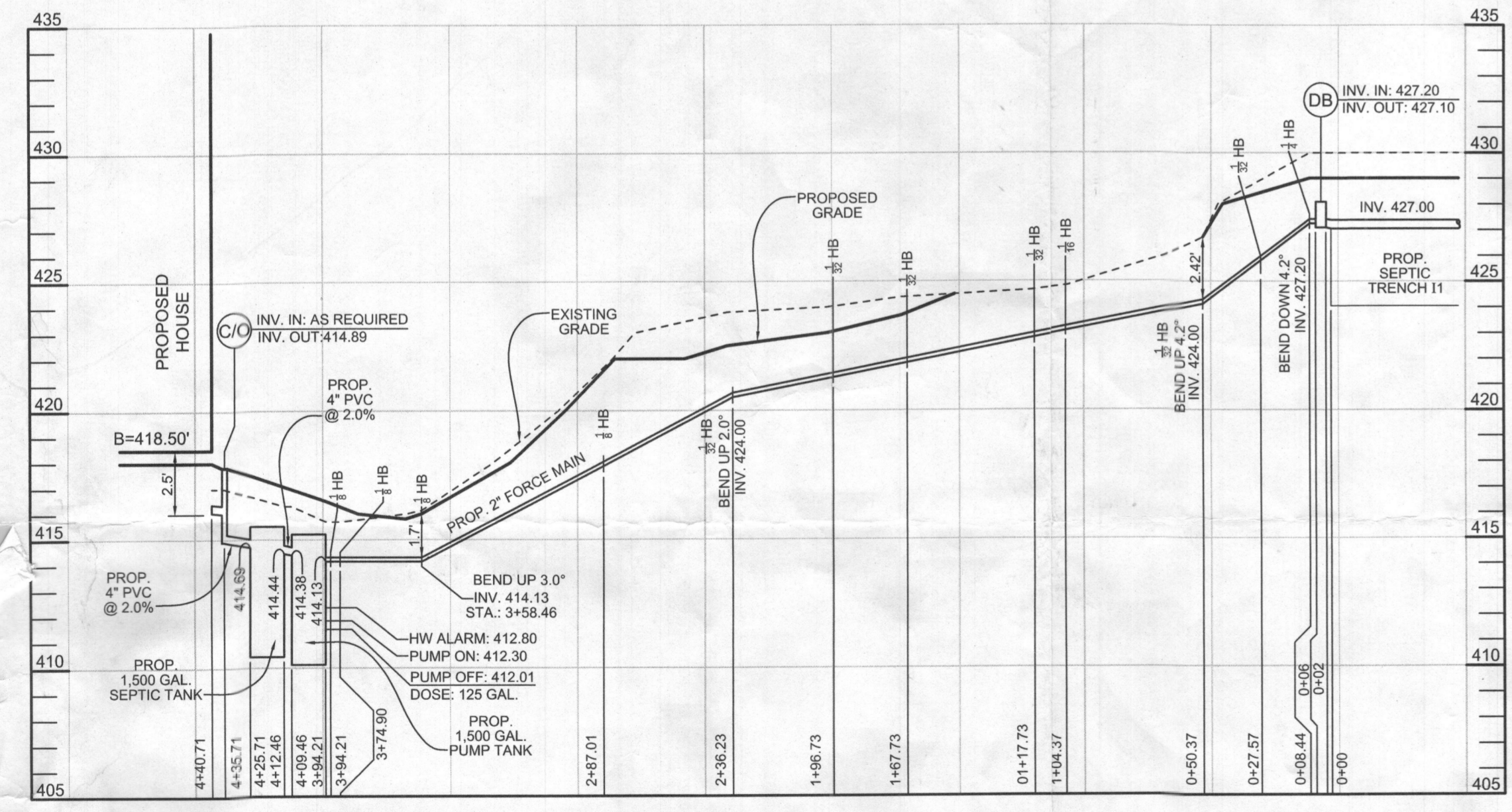
TAX MAP #34
 5TH ELECTION DISTRICT
 SCALE: 1" = 40'

PARCEL: 110
 HOWARD COUNTY, MARYLAND
 DATE: JUNE 30, 2014



- GENERAL NOTES**
- SUBJECT PROPERTY ZONED RR-DEO PER 10/06/13 COMPREHENSIVE ZONING PLAN.
 - TOTAL AREA OF LOT = 3.0 AC±
 - PRIVATE WATER AND PRIVATE SEWER WILL BE USED WITHIN THIS SITE.
 - THIS AREA DESIGNATES A PRIVATE SEWAGE AREA, OF AT LEAST 10,000 SF AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
 - ALL EXISTING WELLS, SEPTIC SYSTEMS AND SEWAGE DISPOSAL AREAS WITHIN 100 FEET OF THE PROPERTY BOUNDARIES AND ALL EXISTING AND PROPOSED WELLS THAT ARE LOCATED WITHIN 200 FEET DOWN-GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS AND SEWAGE DISPOSAL AREAS HAVE BEEN FIELD LOCATED.
 - THE BOUNDARY SHOWN HEREON IS BASED ON A FIELD RUN BOUNDARY SURVEY PREPARED BY ADCOCK & ASSOCIATES, LLC, ON OR AROUND AUGUST, 2018.
 - THE TOPOGRAPHY SHOWN HEREON HAS BEEN FIELD RUN BY ADCOCK & ASSOCIATES, LLC, ON OR AROUND AUGUST, 2018. THE EXISTING TOPOGRAPHY SHOWN OUTSIDE THE SITE IS BASED ON HOWARD COUNTY AERIAL TOPOGRAPHY FROM 2011.
 - THE SOILS SHOWN HAVE BEEN TAKEN FROM THE NRCS WEB SOIL SURVEY WEBSITE.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY MONUMENTS, NUMBERS 34DM5 AND 34DM7. THESE WERE USED FOR THIS PROJECT.
 - THERE ARE NO HISTORIC STRUCTURES OR CEMETERIES WITHIN THE PROJECT BOUNDARY.
 - THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
 - ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 - THE WELL (TAG #HO-81-1218) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
 - THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
 - SEPTIC TANK TO BE THE MYERS ME45 SERIES OR EQUIVALENT.
 - PUMP TANK TO BE THE MYERS ME45 SINGLE COMPARTMENT PUMP TANK OR EQUIVALENT.
 - PUMP TO BE MYERS ME45 SERIES OR EQUIVALENT.
 - TOTAL DYNAMIC HEAD (TDH) CALCULATION
TDH = 15.19 + 8.03 + 23.23 USE 25'
 - FOR DETAILS ON GRADING IN SOUTHWEST CORNER OF THE SEWAGE DISPOSAL AREA PLEASE REFER TO THE APPROVED GRADING PLAN, GP-19-058.

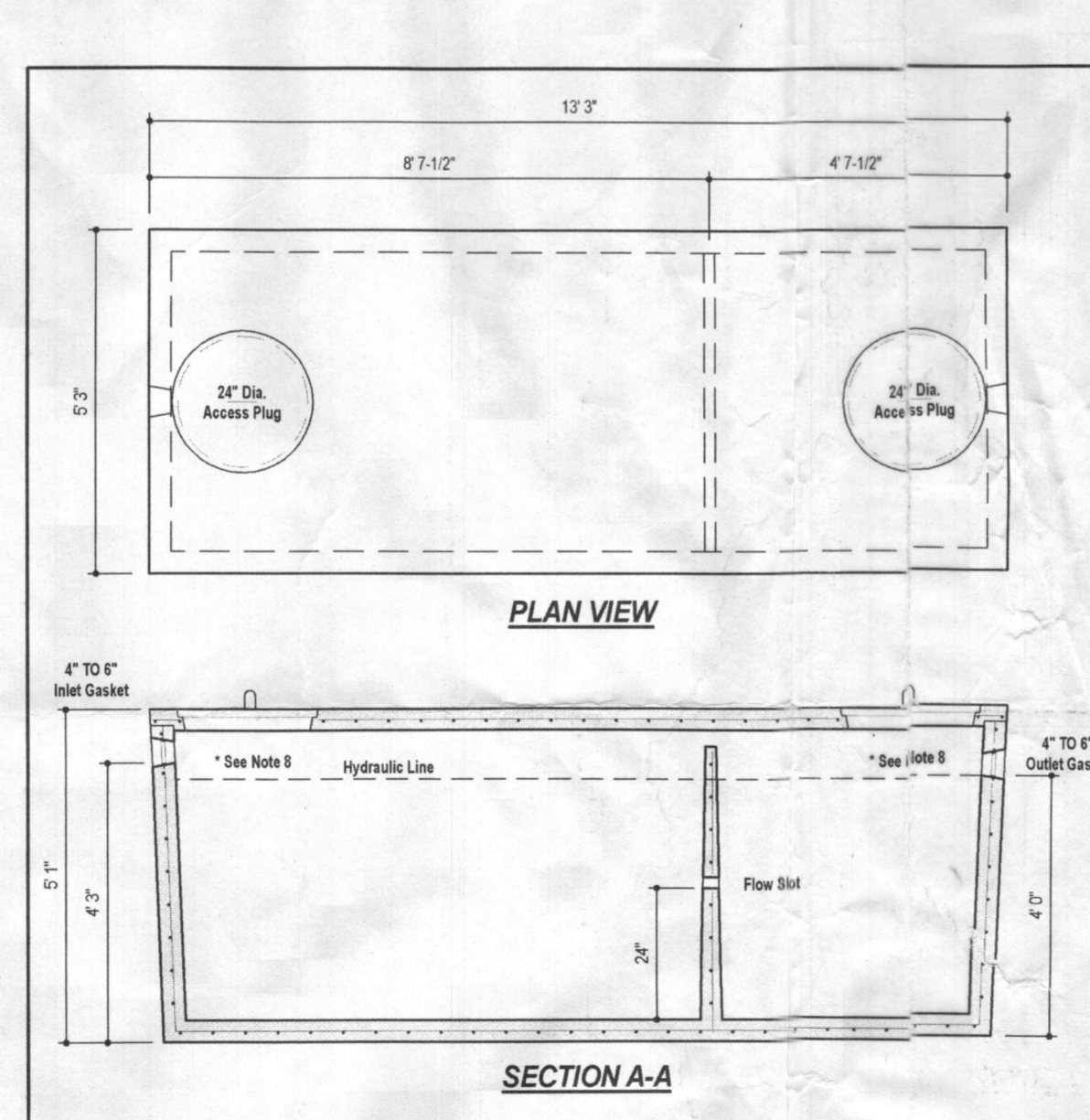
Approved Septic System Plan
Howard County Health Department
1500 gal septic tank with
1500 gal pump tank & Myers ME45
pump or equivalent
R. Miller
Signature
4/5/2019
Date



SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	'K' FACTOR
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	0.24
GnB	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	C	0.43
MaC	MAJOR LOAM, 8 TO 15 PERCENT SLOPES	B	0.28
MdD	MAJOR LOAM, 15 TO 25 PERCENT SLOPES	B	0.28
Hs	HATBORO-ODDORUS SILT LOAM, 0 TO 3 PERCENT SLOPES	B/D	0.37

NOTES:
1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY.
2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

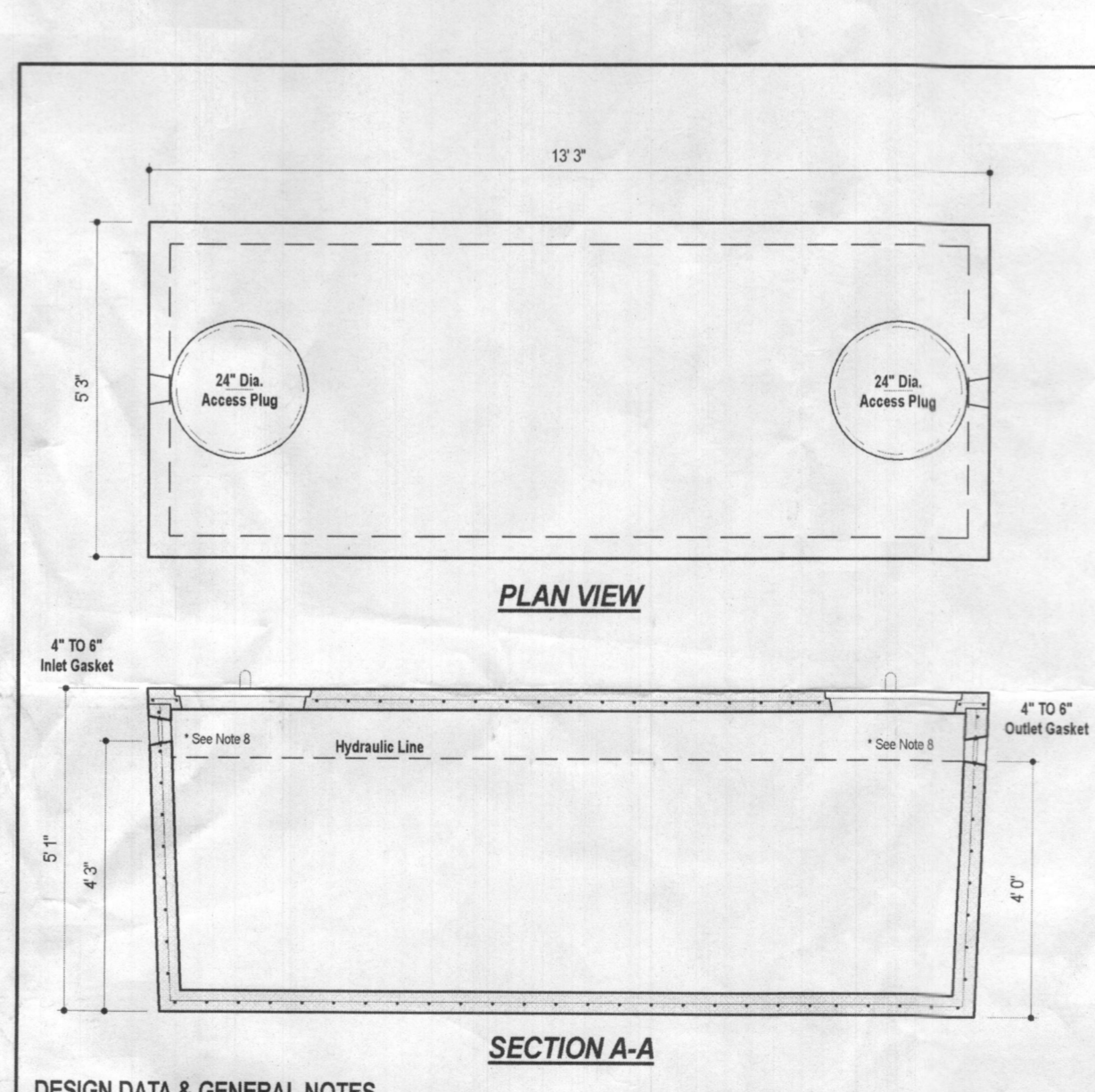


DESIGN DATA & GENERAL NOTES

- Concrete strength F_{cm} = 4,000 p.s.i. @ 28 days. Density = 150 pcf.
- Cement-Portland Type III per ASTM C 150-02.
- Admixtures & plasticizers per ASTM C 200-98 & C 484-02.
- Reinforcing per ASTM A193, Min. 1-1/2" cover.
- Top slab sealed with butyl rope mastic.
- 4" wall, base, & top thickness.
- Max 3-1/2" of cover.
- Depending on use of tank, Inlet & Outlet baffles may be required by code.

WEIGHT = 16,750 lbs.

1,500 GALLON TANK (No-Traffic) 2-Compartment
Stick Item
Dwg. No. 1600-2C No Scale Aug. 11, 2008



DESIGN DATA & GENERAL NOTES

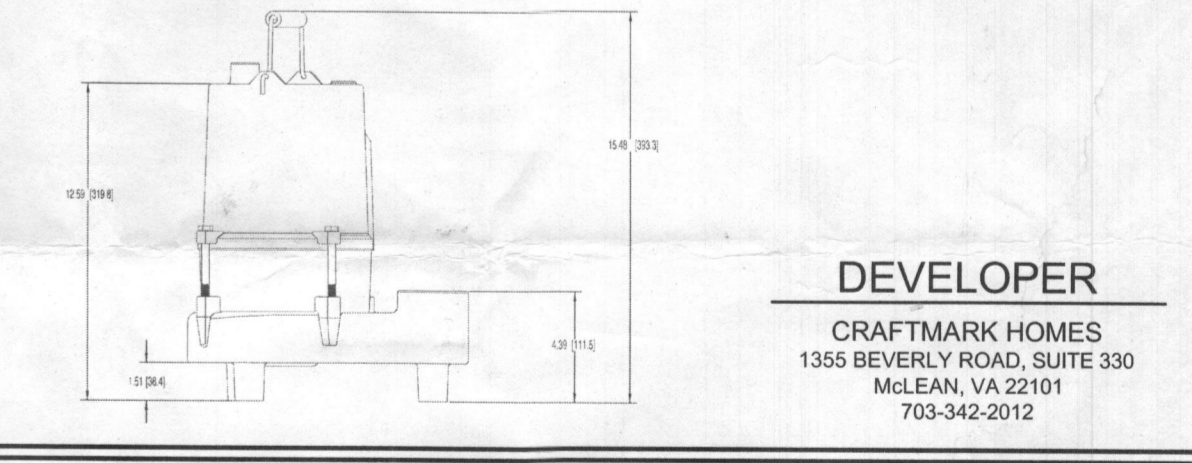
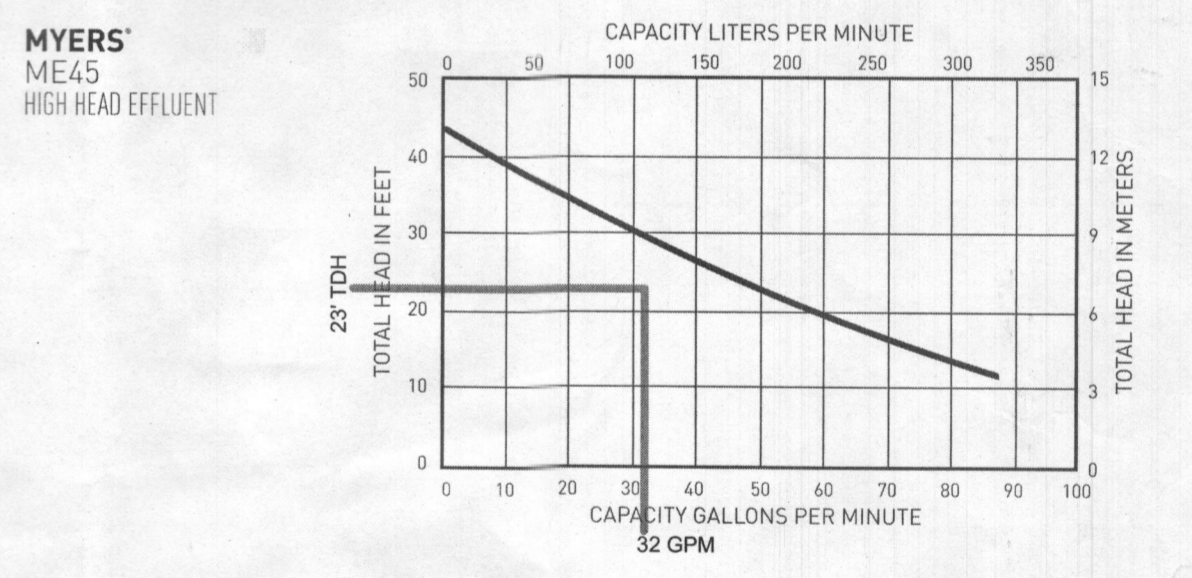
- Concrete strength F_{cm} = 4,000 p.s.i. @ 28 days. Density = 150 pcf.
- Cement-Portland Type III per ASTM C 150-02.
- Admixtures & plasticizers per ASTM C 200-98 & C 484-02.
- Reinforcing per ASTM A193, Min. 1-1/2" cover.
- Top slab sealed with butyl rope mastic.
- 4" wall, base, & top thickness.
- Max 3-1/2" of cover.
- Depending on use of tank, Inlet & Outlet baffles may be required by code.

WEIGHT = 16,000 lbs.

1,500 GALLON SEPTIC/PUMP TANK 1-Compartment
NON-TRAFFIC MAX 3 ft. OF COVER
Dwg. No. 1600-1C No Scale Aug. 11, 2008

SEPTIC SYSTEM TRENCH DESIGN SPECIFICATIONS

- INITIAL SYSTEM & 1ST REPLACEMENT SYSTEM:
 - APPLICATION RATE: 0.8
 - EFFECTIVE AREA BEGINNING DEPTH: 3'
 - BOTTOM MAXIMUM DEPTH: 6'
- DESIGN FLOW:
 - 5 BEDROOMS AT 10 GPD
 - 5X150 GPD = 75 GPD
 - SQUARE FOOTAGE OF DRAIN FIELD REQUIRED:
 - DESIGN FLOW (75 GPD) / APPLICATION RATE (0.8) = 93.75 SF
 - SIDEWALL REDUCTION CREDIT:
 - TRENCH WIDTH (W) = 3'
 - TRENCH EFFECTIVE DEPTH (D) = 3'
 - (W+2) / (W+1+2D) X 100 = 50%
 - LINEAR LENGTH OF TRENCH REQUIRED:
 - DRAIN FIELD SQUARE FOOTAGE (93.75) X SIDEWALL REDUCTION CREDIT (50%) / TRENCH WIDTH (3') = 156.25
 - TWO TRENCHES @ 25' EACH
 - EXISTING GRADE: TRENCH R1: 429.00'
INVERT: TRENCH I1: 427.00'
 - EXISTING GRADE: TRENCH R2: 428.00'
INVERT: TRENCH I2: 426.00'
 - EXISTING GRADE: TRENCH R1: 426.50'
INVERT: TRENCH I1: 424.50'
 - EXISTING GRADE: TRENCH R2: 425.50'
INVERT: TRENCH I2: 423.50'



DEVELOPER
CRAFTMARK HOMES
1335 BEVERLY ROAD, SUITE 330
MCLEAN, VA 22101
703-342-2012

ONSITE SEWAGE DISPOSAL SYSTEM PLAN
BRIGHTON PINES
SECTION 1, AREA 1
13750 LAKESIDE DRIVE

TAX MAP 34 GRID 7
5TH ELECTION DISTRICT

PARCEL 396
HOWARD COUNTY, MARYLAND

SILL ENGINEERING GROUP, LLC
11130 Dovedale Court, Suite 200
Marriottsville, Maryland 21104
Phone: 443.335.9076
Fax: 410.696.2022
Email: info@sillengineering.com
Civil Engineering for Land Development

DESIGN BY: AEA
DRAWN BY: AEA
CHECKED BY: PS
SCALE: AS SHOWN
DATE: APRIL 3, 2019
PROJECT #: 18-047
SHEET #: 1 of 1

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 20, 2019.

- NOTES:
1. THIS PLAT IS A BENEFIT TO THE CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING PURPOSES. THIS PLAT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE STRUCTURES. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR FOR SECURING FINANCING OR REFINANCING.
 2. THE ± SETBACK ACCURACY IS 1 FOOT.
 3. THIS PLAN OR PLAT IS NOT INTENDED TO SHOW ALL MATTERS RELATED TO THE PROPERTY SHOWN HEREON.
 4. B.R.L. = BUILDING RESTRICTION LINE

WALL CHECK: 07-01-2019
TOP OF WALL ELEV. = 427.3'

LAKESIDE DRIVE
50' RW

PLAT NO. 6012

W WELL
TAG NO.
HO-81-1218

N 78°56'17"E

LOT 10

547.31'

100 YEAR FLOOD
PLAIN AND
DRAINAGE EASEMENT
P.N. 6012

30' B.R.L.

203'±

S 16°54'46"E

75' B.R.L.

PRIVATE SEWAGE EASEMENT
P.N. 6012

*Wall
check
OK
DB 10-10-19*

#13750
CONCRETE
FOUNDATION

LOT 9
3,000 AC±

WILLIAM I. CURTIS
LIBER 235, FOLIO 524

CHIMNEY STREAM BUFFER

Q STREAM

R=1201.00'

30' B.R.L.

F GAS PIPELINE ATLANTIC SEABOARD CORP.
LIBER 288, FOLIO 285

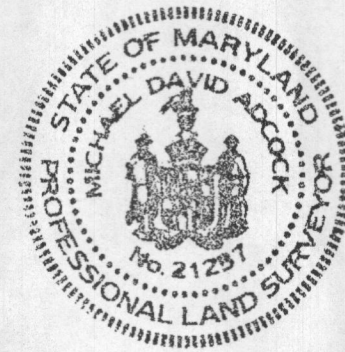
N 83°07'55"E

593.12'

LOT 8

AS-CONSTRUCTED SURVEY
13750 LAKESIDE DRIVE
LOT 9
BRIGHTON PINES
SECTION ONE, AREA ONE
LOTS 1-23
ELECTION DISTRICT NO. 5
HOWARD COUNTY, MARYLAND

THIS LOT DOES NOT APPEAR TO LIE WITHIN THE 100 YEAR FLOOD PLAIN AS SHOWN ON THE F.E.M.A. FLOOD HAZARD MAP 24027C-0130-D AS REVISED NOVEMBER 6, 2013, ALTHOUGH THE FLOODPLAIN SHOWN HEREON IS DESIGNATED ON THE SUBDIVISION PLAT.

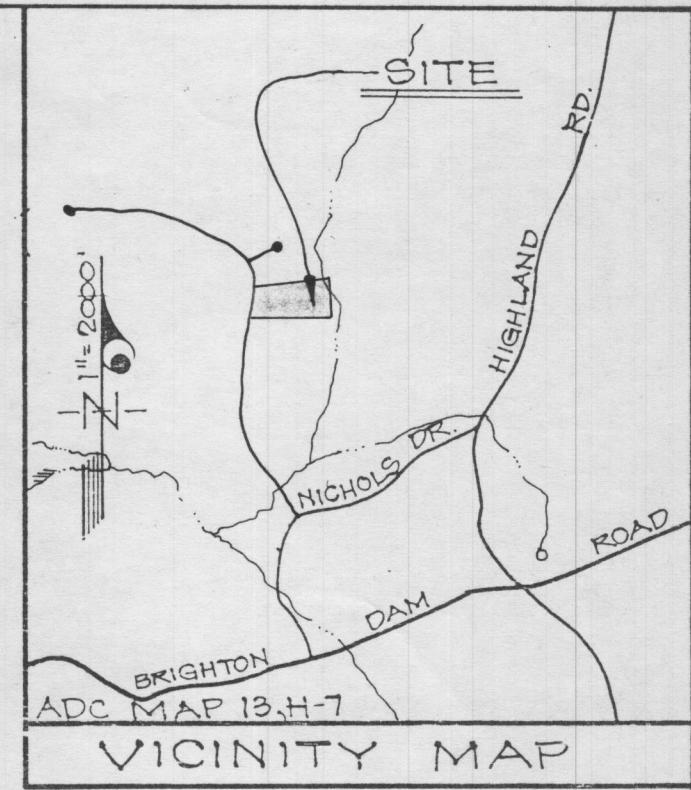


CERTIFICATION
I HEREBY CERTIFY THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS LOCATION DRAWING AND THE SURVEY WORK REFLECTED IN IT, IS IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN THE CODE OF MARYLAND TITLE 9, SUBTITLE 13, CHAPTER 06, REGULATION 12, AND THE POSITION OF EXISTING IMPROVEMENTS AS SHOWN HEREON, ARE CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

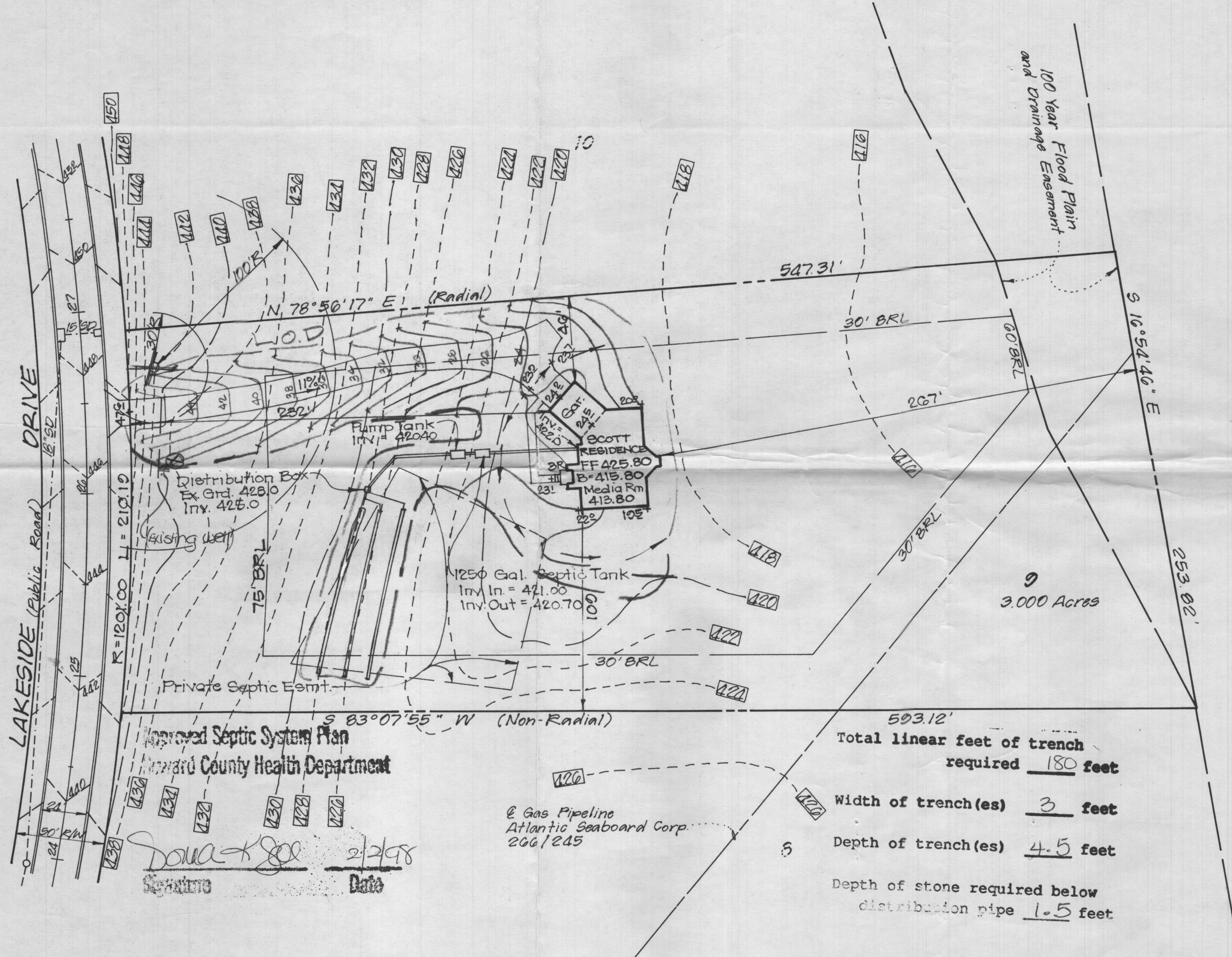
Michael D. Adcock
MICHAEL D. ADCOCK
PROFESSIONAL LAND SURVEYOR
NO. 21257, EXPIRATION DATE: 06-16-2021

Adcock & Associates · LLC
Engineers · Surveyors · Planners
5389 Enterprise Street Suites B-C
Sykesville, Maryland 21784
Phone: 443.325.7682
Email: mike@saaland.com

REFERENCE:	PLAT NO. 6012
DATE:	JULY 10, 2019
SCALE:	1"=30'
FILE NO.:	18-081



LEGEND
 Contour Interval 2 Ft.
 Proposed Contour ————
 Existing Contour ———— 470
 Spot Elevation +58.0
 Direction of Drainage ————
 Limit of Disturbance L.O.D





- GENERAL NOTES**
- Reference Plat No. 0569
 - Existing topography was taken from F-85-20 by Fisher, Collins & Carter, Inc.
 - Ex. Zoning = R
 - Disturbed Area = 29,694 sq ft

593.12'
 Total linear feet of trench required 180 feet
 Width of trench(es) 3 feet
 Depth of trench(es) 4.5 feet
 Depth of stone required below distribution pipe 1.5 feet

Approved Septic System Plan
 Howard County Health Department
 Date 2/2/98
 Signature [Handwritten]

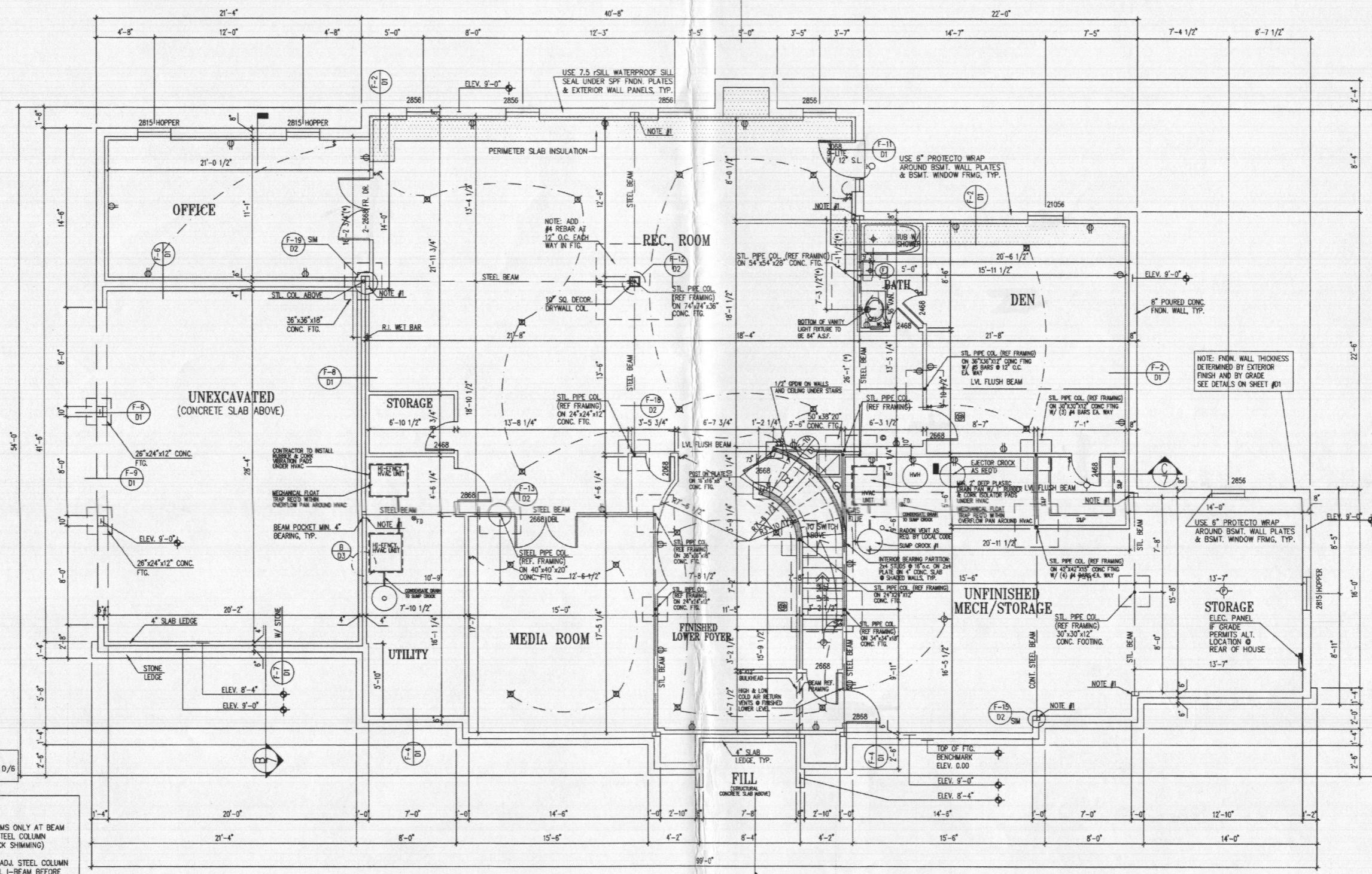
Gas Pipeline
 Atlantic Seaboard Corp.
 266/245

Scale = 1" = 50'

 CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 - BALTO • (301) 621-8100 - WASH		
DESIGNED 	SITE DEVELOPMENT PLAN LOT 9 BRIGHTON PINES FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 50'
DRAWN  / P.S.		DRAWING 1 of 1
CHECKED		JOB NO. 97-188
DATE 1-28-98	FOR: NANTUCKET ISLAND HOMES 8835-P COLUMBIA 100 PARKWAY COLUMBIA, MARYLAND 21045	FILE NO. 97-188X

T.M.
34

ELECTRICAL GENERAL NOTES:
 1) ALL SMOKE DETECTORS TO BE 110V WITH BATTERY BACKUP AND INTERCONNECTED.
 2) PROVIDE BRACING FOR ALL CLG. FAN OUTLETS.
 3) EXHAUST FANS THAT VENT TO THE EXTERIOR WILL BE INSTALLED IN ALL BATHS WITHOUT WINDOWS.
 4) PROVIDE CARBON MONOXIDE ALARM PER SECTION R.315 IRC 2015



NOTE:
 (*) - REFERENCE C/D/6

NOTES:
 #1 - USE STEEL SHIMS ONLY AT BEAM POCKETS AND ALL STEEL COLUMN LOCATIONS. (NO BRICK SHIMMING)
 #2 - BOLT TOP OF ADJ. STEEL COLUMN TO BOTTOM OF STEEL I-BEAM BEFORE FRAMING FINISHED LOWER LEVELS.

FOUNDATION/BASEMENT FLOOR PLAN

UNLESS OTHERWISE NOTED SET WINDOW HEAD HEIGHT @ 7'-4" ABOVE TOP OF SLAB

1/4"=1'-0"

Pinnacle Design & Consulting Inc.
 ARCHITECTURE * PLANNING * CONSULTING * BROCKHURST * MARKET ANALYSIS
 11150 FAIRFAX BLVD. SUITE 402
 FAIRFAX, VA 22030
 (703) 218-3400
 www.pdc-home.com



FOUNDATION / BASEMENT FLOOR PLAN
CRAFTMARK HOMES / KENWOOD II 13750 LAKESIDE DR.

CLIENT INFORMATION
 DRAWN BY: MAQ
 12/03/2018
 REV. # DATE
 REV. #
 P504032A
 SHEET No.

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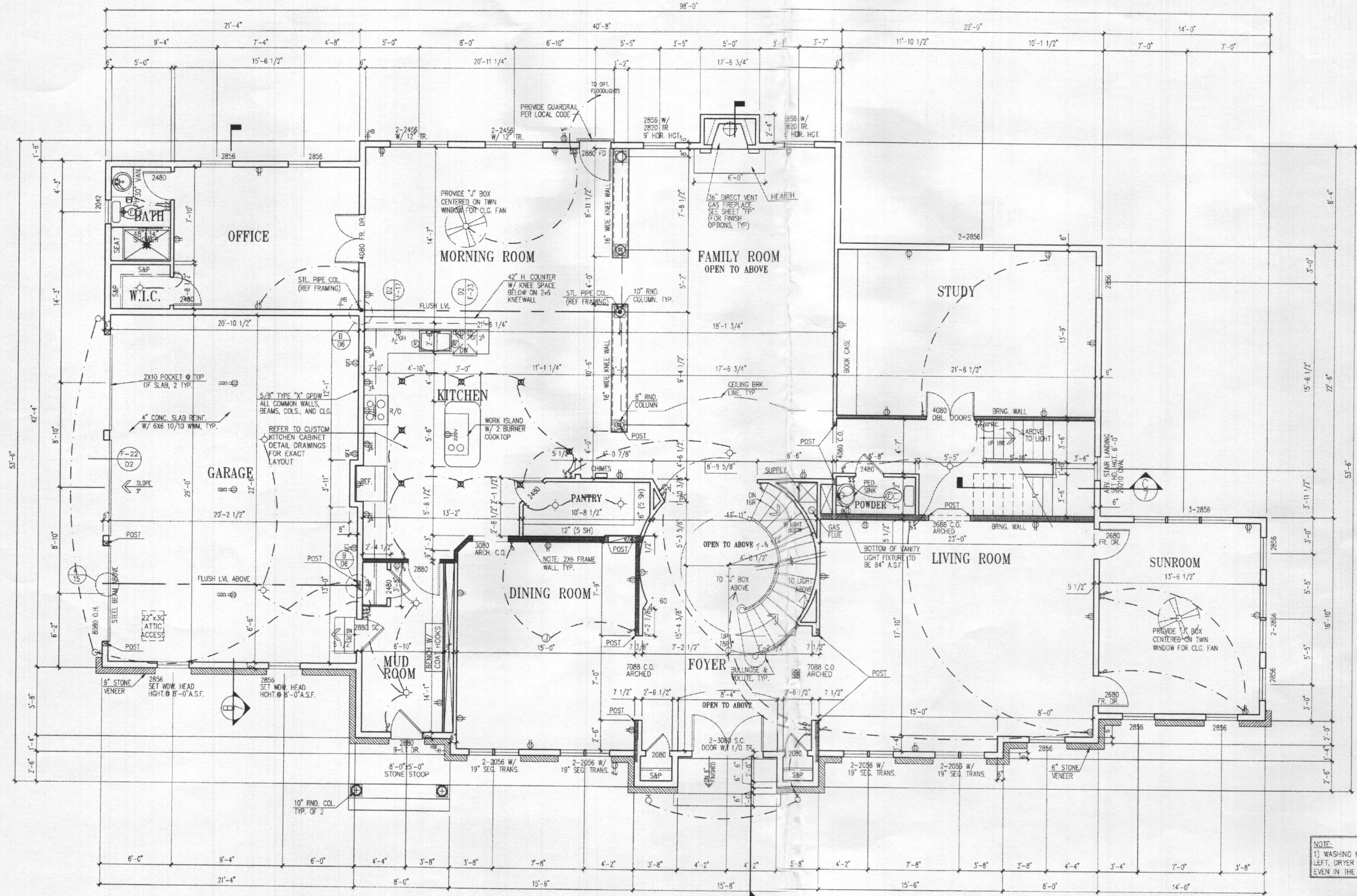
2D



ALTERNATE LOWER FLOOR PLAN
CRAFTMARK HOMES / KENWOOD II 13750 LAKESIDE DR.
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DRAWN BY: MAQ	
12/03/2016	
REV. NO.	DATE
REV. #	
PS640037V	
SHEET No.	

- GENERAL NOTES:**
- 1) LOWER FLOOR HEADER HEIGHTS TO BE 8'-0" UNLESS OTHERWISE NOTED.
 - 2) UPPER FLOOR HEADER HEIGHTS TO BE 7'-4" UNLESS OTHERWISE NOTED.
 - 3) ALL TRIPLE, AND QUAD WINDOWS TO GET DOUBLE 2X... STRUCTURAL MULLIONS UNLESS OTHERWISE NOTED.
 - 4) REFERENCE SPECIFICATION SHEET 1.00 UNDER DIVISION 6 FOR WOOD SPECIFICATION AND GRADE INFORMATION.



ALTERNATE LOWER FLOOR PLAN

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 8'-0" ABOVE SUBFLOOR
 8/0 ALL DOORS AND CASE OPENINGS

1/4"=1'-0"

NOTE:
 1) WASHING MACHINE WILL ALWAYS BE ON THE LEFT, DRYER WILL ALWAYS BE ON THE RIGHT EVEN IN THE REVERSE PLAN.

NOTE:
 WINDOWS WHERE THE OPERABLE OPENING IS LOCATED MORE THAN 72" ABOVE THE GRADE OR SURFACE BELOW SHALL HAVE THE LOWEST PART OF THE CLEAR OPENING A MINIMUM OF 24" (OR PER LOCAL CODE) ABOVE THE FINISHED FLOOR UNLESS EQUIPPED WITH AN APPROVED OPENING LIMITING OR FALL PREVENTION DEVICE.

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 9438, EXPIRATION DATE 03/09/19

