



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: \_\_\_\_\_

Building Address: 13930 Kennard Drive  
City: Glenelg State: MD Zip Code: 21737  
Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Census Tract: \_\_\_\_\_ Subdivision: Crystal Clear  
Section: \_\_\_\_\_ Area: 3.79 acre Lot: 14  
Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 165047 sf

Existing Use: SFH with Patio  
Proposed Use: SFH with Deck  
Estimated Construction Cost: \$ \$47,900.00  
Description of Work: Construct 770 sf deck w/2 sets of steps using pressure treated frame, TimberTech decking, and Trex composite rail with Deckorator aluminum balusters.  
Occupant/Tenant Name: Nathan Howell  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: Nathan Howell  
Address: 13930 Kennard Drive  
City: Glenelg State: MD Zip Code: 21737  
Phone: 707-469-3554 Fax: na  
Email: howelna@gmail.com

Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: EVERGREEN Fence & Deck  
Address: PO Box 274  
City: Brookeville State: MD Zip Code: 20833  
Phone: 301-774-2211 Fax: 301-774-3028  
Email: evergreenfence@verizon.net

Contractor Company: EVERGREEN Fence & Deck  
Contact Person: Natalie Dillon  
Address: PO Box 274  
City: Brookeville State: MD Zip Code: 20833  
License No.: 49311  
Phone: 301-774-2211 Fax: 301-774-3028  
Email: evergreenfence@verizon.net

Engineer/Architect Company: na  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	<u>Depth</u> <u>Width</u>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: 2 <sup>nd</sup> floor:
Area of construction (sq. ft.):	Basement: <input type="checkbox"/> Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Crawl Space <input type="checkbox"/> Slab on Grade
Use group:	<input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Structural Steel <input type="checkbox"/> Masonry <input type="checkbox"/> Wood Frame <input type="checkbox"/> State Certified Modular
<b>Construction type:</b>	No. of Bedrooms: <b>Multi-family Dwelling</b> No. of efficiency units: No. of 1 BR units: No. of 2 BR units: No. of 3 BR units: Other Structure: Dimensions:
<input type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: <input type="checkbox"/> State Certified Modular <input type="checkbox"/> Manufactured Home
<b>Roadside Tree Project Permit #</b>	

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Heating System</b>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Grading Permit Number:</b>	
<b>Building Shell Permit Number:</b>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

N. Dillon  
Applicant's Signature  
evergreenfence@verizon.net  
Email Address  
Owner/EVERGREEN Fence & Deck  
Title/Company

Natalie Dillon  
Print Name  
07/26/2019  
Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	<u>9/5/19</u>	<u>R. Buckler</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

ORDERED BY:

# EXCALIBUR TITLE & ESCROW

Excalibur Title & Escrow, LLC  
8 East 2nd Street St. 202  
Frederick, MD 21701

www.excaliburtitle.com | service - excallburtitle.com - 301.620.1194

Point of Interest



PROPERTY ADDRESS: 13930 KENNARD DRIVE, GLENELG, MARYLAND 21737

SURVEY NUMBER: 1904.0058

FIELD WORK DATE: 4/26/2019

REVISION HISTORY: (REV'D 4/30/2019)

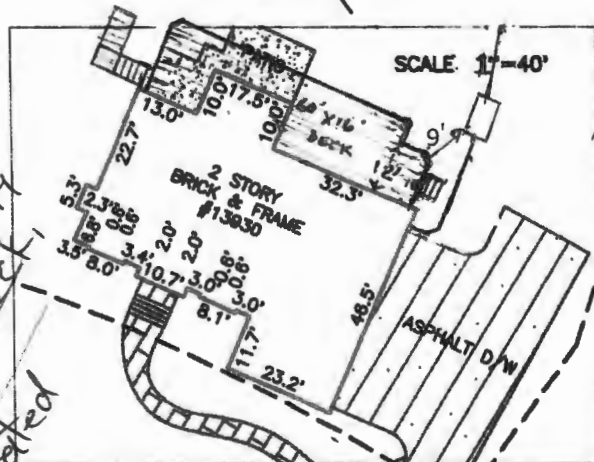
1904.0058  
BOUNDARY SURVEY  
LOT 14  
CRYSTAL CLEAR  
HOWARD COUNTY, MARYLAND  
04-29-2019 SCALE 1"=150'



Pool 20' to Septic area;  
22' to drainage/trench  
Septic Tank 19' to house;  
& 9' to proposed deck

1. THE PROPERTY SHOWN HEREON IS IDENTIFIED AS ACCOUNT NUMBER 314484 AMONG THE ASSESSMENT RECORDS OF HOWARD COUNTY, MARYLAND.

2. THE PROPERTY IS NOW IN THE NAME OF MARGARET HELEN CHERNOFF AND HAROLD KEITH CHERNOFF BY DEED, RECORDED IN LIBER 7252, FOLIO 707 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.



SCALE: 1"=40'  
GRAPHIC SCALE (In Feet)  
1 inch = 150' ft.



APPROVED  
WALK-THRU BUILDING PERMIT  
APP. SAN P. Bullock A#  
DISC. OF WORK: 770 ft<sup>2</sup> deck  
DATE: 9/15/19  
on 1/4 as illustrated

POINTS OF INTEREST:  
NONE VISIBLE

CLIENT NUMBER: 2019-241

DATE: 04/30/19

BUYER: NATHAN HOWELL AND SHAUNA ANTHONY

SELLER: HAROLD KEITH & MARGARET HELEN CHERNOFF

CERTIFIED TO:  
NATHAN HOWELL AND SHAUNA ANTHONY; EXCALIBUR TITLE & ESCROW, LLC

A LICENSEE EITHER PERSONALLY PREPARED THIS DRAWING OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN REGULATION 12 OF CHAPTER 09.13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS.

## Audrey Bullock



c: 410.935.5656  
o: 410.823.0033  
audreybullock@gmail.com  
www.cummingsrealtors.com



# EXACTA

MARYLAND SURVEYORS

c: 443.819.3994 | 1220 E Churchville Road, Suite 100 | Bel Air, MD 21014

LB# 21535  
www.exactamd.com

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