



Health

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received:

Permit No.: B19000715

Building Address: 3168 JETHINGS CHAPEL RD.
City: WOODBRIDGE State: MD Zip Code: 21797
Suite/Apt. # SDP/WP/BA #:
Subdivision: MILL GREEN SUBDIVISION
Lot: 5 Tax Map: 13 Parcel: 101

Existing Use: VACANT RESIDENTIAL
Proposed Use: SINGLE FAMILY DWELLING
Estimated Construction Cost: \$ 150,000.00

Description of Work: CONSTRUCTION OF A SINGLE FAMILY DWELLING AND ASSOCIATED IMPROVEMENTS

Occupant/Tenant Name:
Was tenant space previously occupied? Yes No
Contact Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Property Owner's Name: GERALD L. ROBERTSON
Address: P.O. Box 96
City: FINKSBURG State: MD Zip Code: 21048
Phone: 410-446-3434 Fax: 410-552-5541
Email: grobertson6501@comcast.net

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: SAME AS OWNER
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Contractor Company: SAME AS OWNER
Contact Person:
Address:
City: State: Zip Code:
License No.:
Phone: Fax:
Email:

Engineer/Architect Company: HAF & ASSOC. LLC
Responsible Design Prof.: MICHAEL J. WERHER
Address: 526 HOODS HILL RD.
City: WOODBRIDGE State: MD Zip Code: 21797
Phone: 410-552-5541 Fax: 410-552-5546
Email: mfaragen@901.com

Table with 2 columns: Commercial Building Characteristics and Residential Building Characteristics. Includes fields for Height, No. of stories, Gross area, Area of construction, Use group, Construction type, and Roadside Tree Project Permit.

Table with 2 columns: Utilities and Water Supply. Includes checkboxes for Electric, Gas, Water Supply, Sewage Disposal, Heating System, and Sprinkler System.

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THE APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature
grobertson@comcast.net
Email Address

GERALD LEE ROBERTSON
Print Name
3-11-19
Date

Title/Company

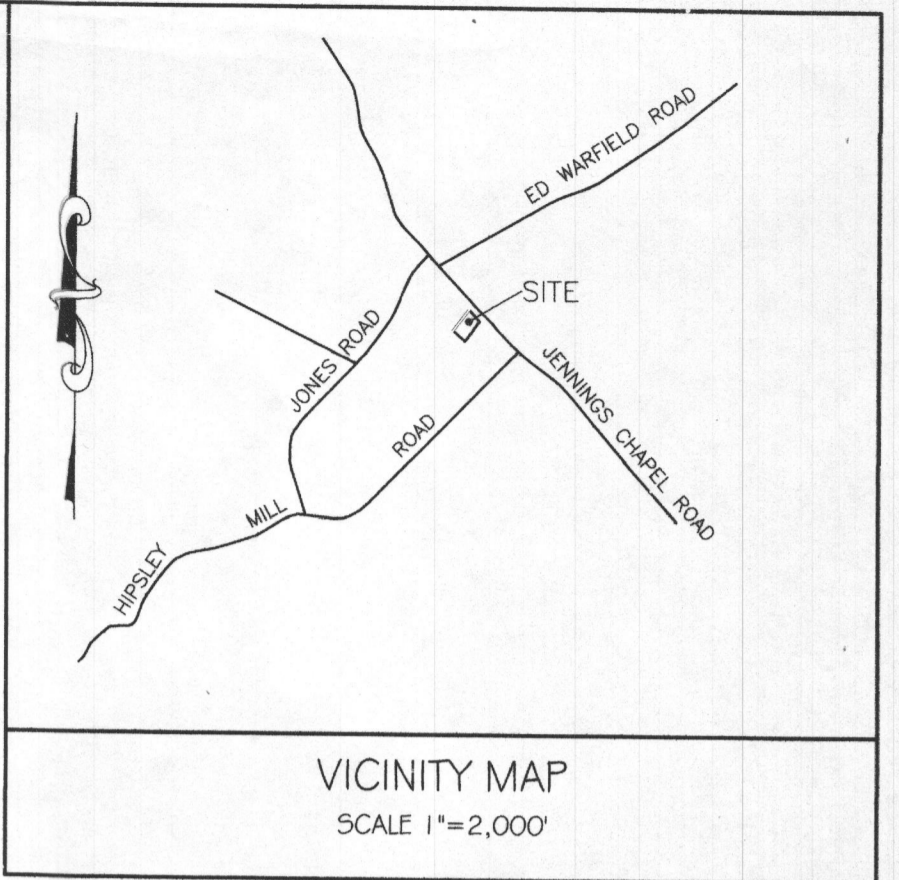
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

Table with 3 columns: AGENCY, DATE, SIGNATURE OF APPROVAL. Includes rows for State Highways, Building Officials, PSZA (Zoning), PSZA (Engineering), and Health.

Table with 1 column: DPZ SETBACK INFORMATION. Includes fields for Front, Rear, Side, Side St., All minimum setbacks met?, Is Entrance Permit Required?, Historic District?, Lot Coverage for New Town Zone, and SDP/Red-line approval date.

Table with 2 columns: Fee Name, Amount. Includes Filing Fee, Permit Fee, Tech Fee, Excise Tax, PSFS, Guaranty Fund, Add'l per Fee, Total Fees, Sub-Total Paid, Balance Due, and Check.

tribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



- GENERAL NOTES:
- OWNER: ELIZABETH CARLSON VAN NORMAN, TRUSTEE
DEED REFERENCE: LIBER 12017 AT FOLIO 332
DATE: AUGUST 6, 2009
GRANTOR: ELIZABETH CARLSON VAN NORMAN, TRUSTEE
 - TAX MAP: 13 GRID: 22 PARCEL: 101
 - NEAREST POTABLE WATER SUPPLY: MT. AIRY DISTANCE: 6 MILES ±
 - THERE IS NO FLOOD HAZARD AREA (100 YEAR FLOODPLAIN) LOCATED ON THIS PROPERTY ACCORDING TO FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 24027C00400, DATED NOVEMBER 6, 2013.
 - TOPOGRAPHY AND PLANIMETRICS: ONSITE TOPOGRAPHY WITHIN THE SEPTIC AREA FIELD RUN BY VANMAR ASSOCIATES, SUPPLEMENTED WITH HOWARD COUNTY GIS DATA. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD83.
 - THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARY UNLESS OTHERWISE SHOWN HEREON.
 - THE EXISTING WELLS SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANMAR ASSOCIATES AND ACCURATELY SHOWN.
 - SOIL TYPES: GLENELG (GgB), HOWARD COUNTY SOILS MAP GRID NO. 303.
 - ZONING DISTRICT: RCDEO
 - The well must be drilled prior to Health Department approval of the building permit.*
 - THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
 - ANY CHANGES TO A PRIVATE SEPTIC AREA WILL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
 - THERE ARE NO WETLANDS ON THE SUBJECT PROPERTY PER THE NATIONAL WETLANDS INVENTORY.
 - THE SOURCE OF SOILS INFORMATION SHOWN HEREON IS THE NATURAL RESOURCES CONSERVATION SERVICE.

THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY MARYLAND STATE DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS. RECORDATION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.

(PASSED) PERCOLATION TEST SITE:

EXISTING WELL:

PROPOSED HOUSE SITE:

25% OR GREATER SLOPES (THERE ARE NO 25% SLOPES ON THE SUBJECT PROPERTY):

OWNERS:
ELIZABETH VAN NORMAN
d/o BERT NEWCOMER
13403 AUTUMN CREST DRIVE
MOUNT AIRY, MARYLAND 21771
(301) 370-1270

DATE	REVISIONS
3/29/17	PER HD COMMENT



PERCOLATION CERTIFICATION PLAN
LOT 5, SECTION TWO
MILL GREEN
3168 JENNINGS CHAPEL ROAD
ELECTION DISTRICT No. 4
HOWARD COUNTY, MD
SCALE 1"=50' MARCH 2017

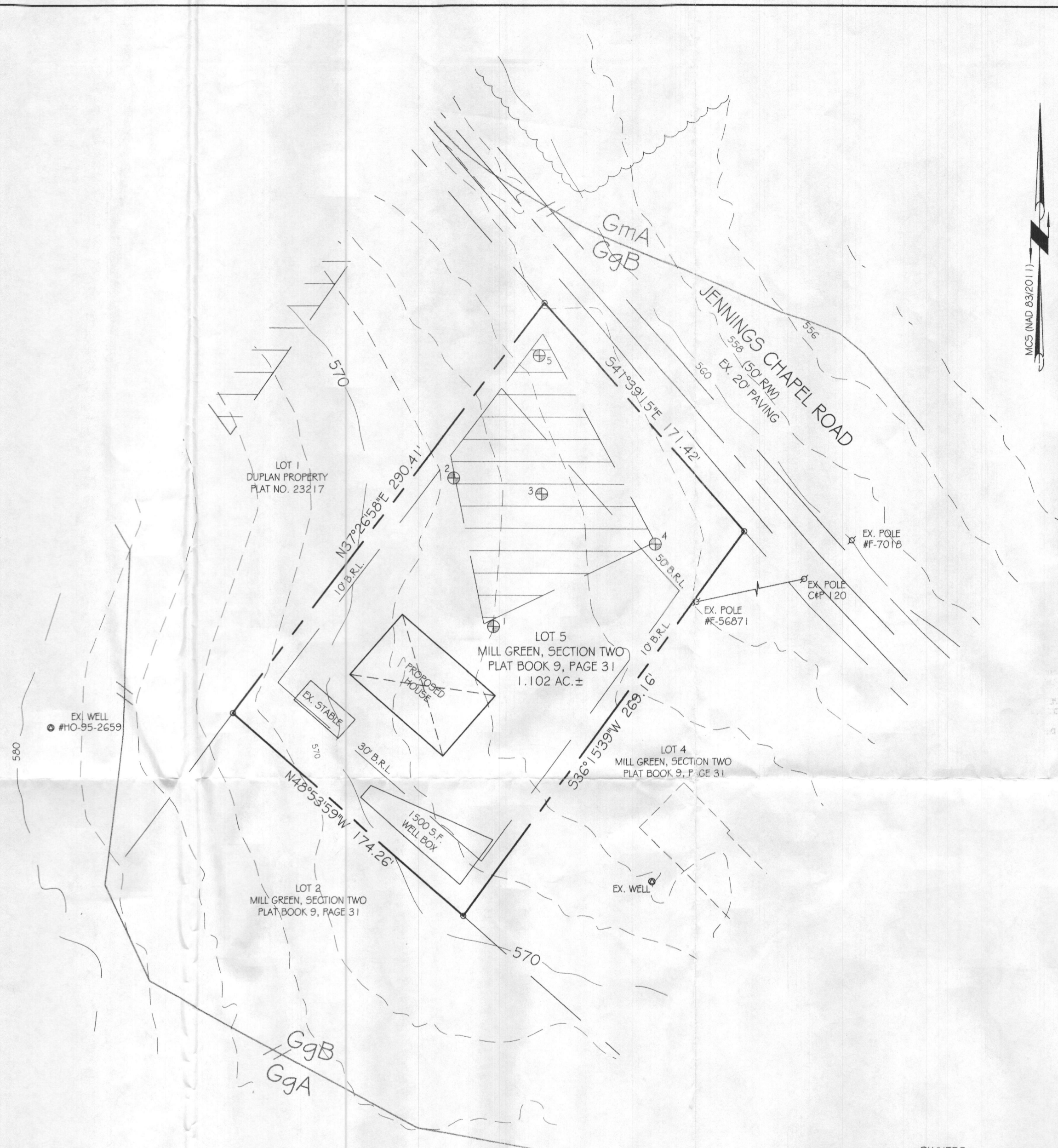
VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (410) 549-2751
Fax (301) 831-5603 ©Copyright, Latest Date Shown

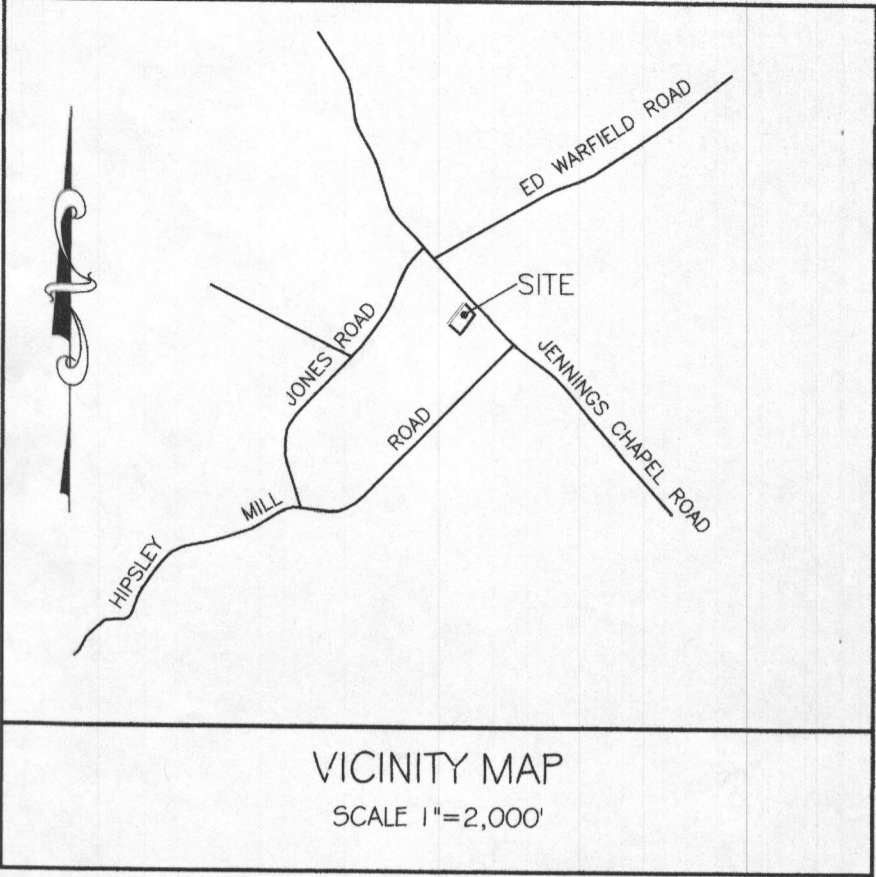
APPROVED:
FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT

4/11/17
HOWARD COUNTY HEALTH OFFICER DATE

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21097, EXPIRATION DATE JULY 26, 2017.

3/29/17
THOMAS L. FRAZIER, JR. DATE





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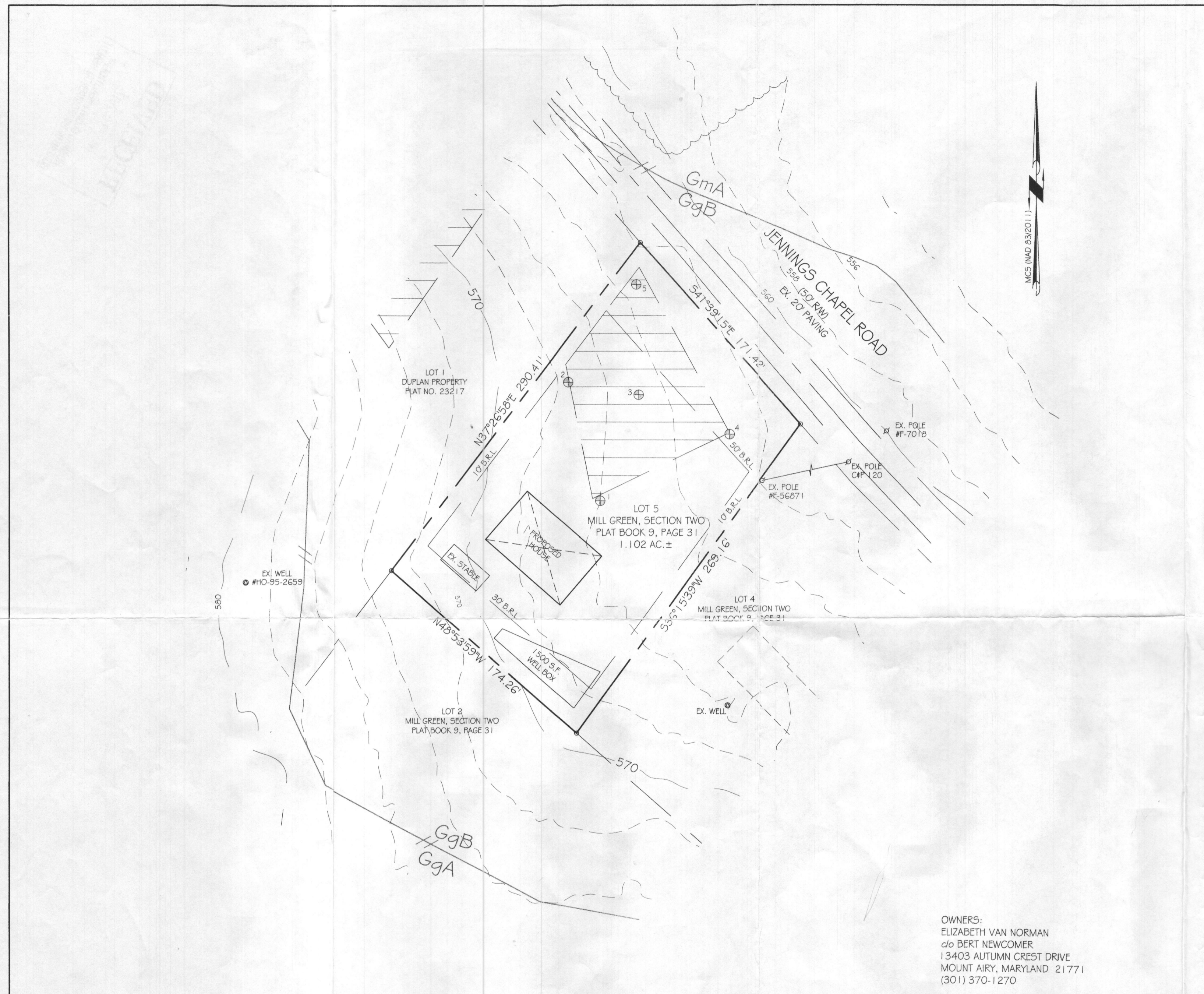
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APPROVED:
FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT

Michael J. Owen 4/11/17
HOWARD COUNTY HEALTH OFFICER H.O. Owen DATE

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Thomas L. Frazier, Jr.
THOMAS L. FRAZIER, JR. DATE 3/29/17

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DATE	REVISIONS
3/29/17	PER HD COMMENT

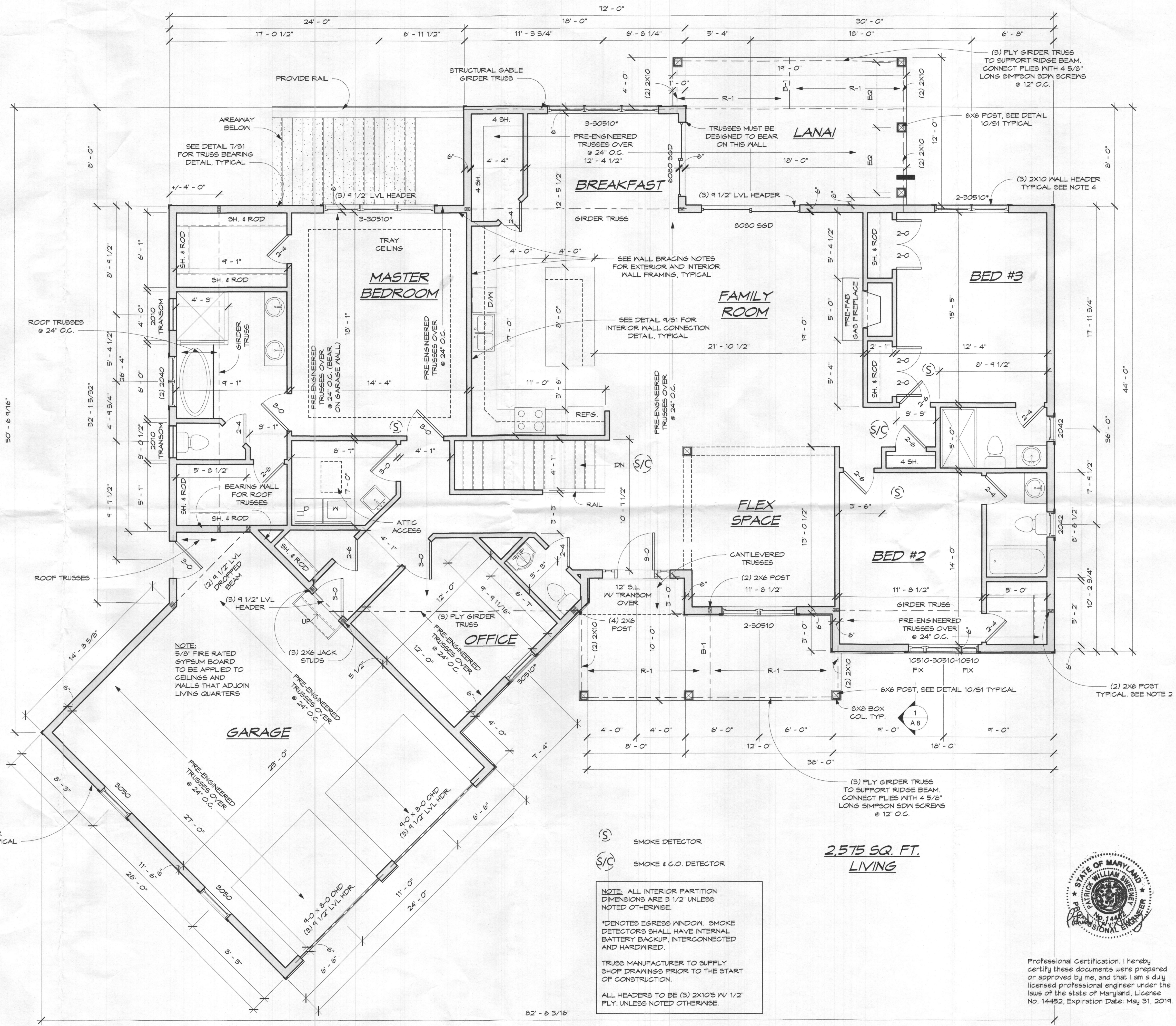


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ELECTION DISTRICT No. 4
HOWARD COUNTY, MD
SCALE 1"=50' MARCH 2017

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Fax (301) 831-5603 ©Copyright, Latest Date Shown

Robertson Residence

3168 Jennings Chapel Rd., Howard Co. MD



- Framing notes**
- All beams are to be dropped below floor or roof framing unless noted. Flush. Beams are to bear the full depth of posts.
 - Provide double wall stud post under all beams, headers, trimmers, multiple joists and girder trusses bearing on stud walls unless noted otherwise. Block solid between floor joists at floor levels. See general structural notes for jamb studs at bearing wall openings.
 - Provide metal hangers at all flush connections. Connect all roof trusses to supporting walls and beams with metal hurricane anchors. Provide (3)2x10 wall header at all exterior stud wall openings unless noted.
 - Roof trusses and floor joists are to be designed by the supplier. Submit design drawings to the engineer to review prior to fabrication.
 - Provide 1/2" gypsum board continuous sheathing on bottom chord of roof trusses. Provide framing members or blocking at all sheathing edges and screw sheathing to trusses, blocking and nailers with #6 x 1-1/4" screws @ 6" oc at all sheathing edges and intermediate supports.
- Wall bracing notes:**
This house was designed in accordance with Section R601.1.3 of the IRC code which allows engineered design in lieu of the prescriptive design method. Engineered shear walls were used instead of the prescriptive wall bracing specified in Section R602.10. All walls to be constructed as follows:
- All exterior stud walls shall have studs spaced at 16" oc with 7/16" OSB continuous sheathing on the outside face of all exterior walls. Provide framing members or blocking at all sheathing edges and nail sheathing to walls studs, blocking and wall plates with 8d nails @ 6" oc at all sheathing edges. Nail to intermediate supports @ 12" oc. Connect wall bottom plates to joist, rim joist or blocking with (3)16d nails @ 16" oc. Connect abutting studs at wall corners with 16d face nails @ 12" oc. Provide 1/2" gypsum board sheathing on the inside face of all exterior walls and connect sheathing to studs with #6 x 1-1/4" screws @ 12" oc.
 - All interior stud walls shall have studs spaced at 16" oc with 1/2" gypsum board continuous sheathing on each face. Provide framing members or blocking at all sheathing edges and screw sheathing to walls studs, blocking and wall plates with #6 x 1-1/4" screws @ 6" oc at all sheathing edges. Screw to intermediate supports @ 12" oc. Connect wall bottom plates to joist, rim joist or blocking with (3)16d nails @ 16" oc. Connect abutting studs at wall corners with 16d face nails @ 12" oc.
- Framing Schedule:**
B-1: (2)2x10 Flush ridge beam. Connect to girder truss with Simpson U210-2 metal hanger.
R-1: 2x8 @ 16" oc. Connect to ridge beam with Simpson A35 framing angle.

(S) SMOKE DETECTOR
(S/C) SMOKE & CO. DETECTOR

NOTE: ALL INTERIOR PARTITION DIMENSIONS ARE 3 1/2" UNLESS NOTED OTHERWISE.
*DENOTES EGRESS WINDOW. SMOKE DETECTORS SHALL HAVE INTERNAL BATTERY BACKUP, INTERCONNECTED AND HARDWIRED.
TRUSS MANUFACTURER TO SUPPLY SHOP DRAWINGS PRIOR TO THE START OF CONSTRUCTION.
ALL HEADERS TO BE (3) 2X10'S W/ 1/2" PLY, UNLESS NOTED OTHERWISE.

**2,575 SQ. FT.
LIVING**



Professional Certification. I hereby certify these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 14452, Expiration Date: May 31, 2019.

1 First Floor Plan
1/4" = 1'-0"

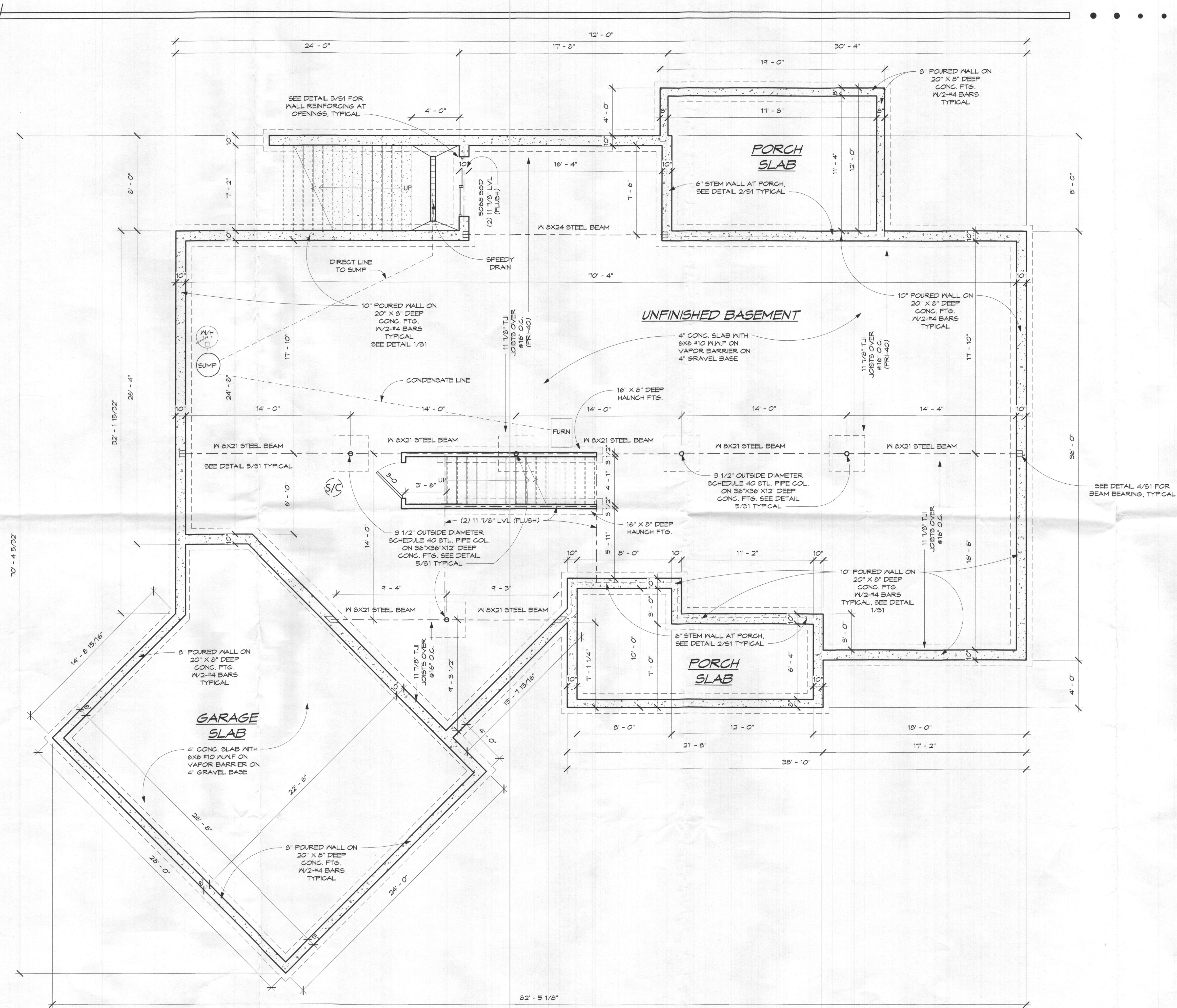
No.	Description	Date

First Floor Plan

Project number	2019-3
Date	2-3-19
Drawn by	s.d
Checked by	s.d

A5

Scale 1/4" = 1'-0"



1 Foundation Plan
1/4" = 1'-0"

DeGonia Designs LLC

312 Mangrove Rd.
Severna Park, MD 21146
410-518-6736

EMAIL:
Scott@DeGoniaDesigns.com

Robertson Residence

3168 Jennings Chapel Rd., Howard Co. MD

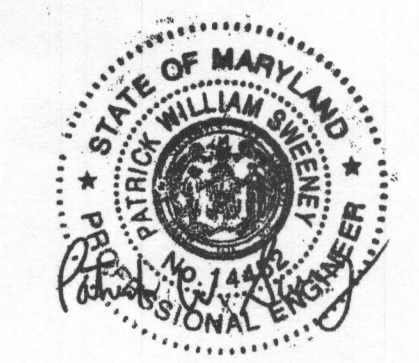
No.	Description	Date

Foundation Plan

Project number	2019-3
Date	2-3-19
Drawn by	s.d.
Checked by	s.d.

A 4

Scale 1/4" = 1'-0"



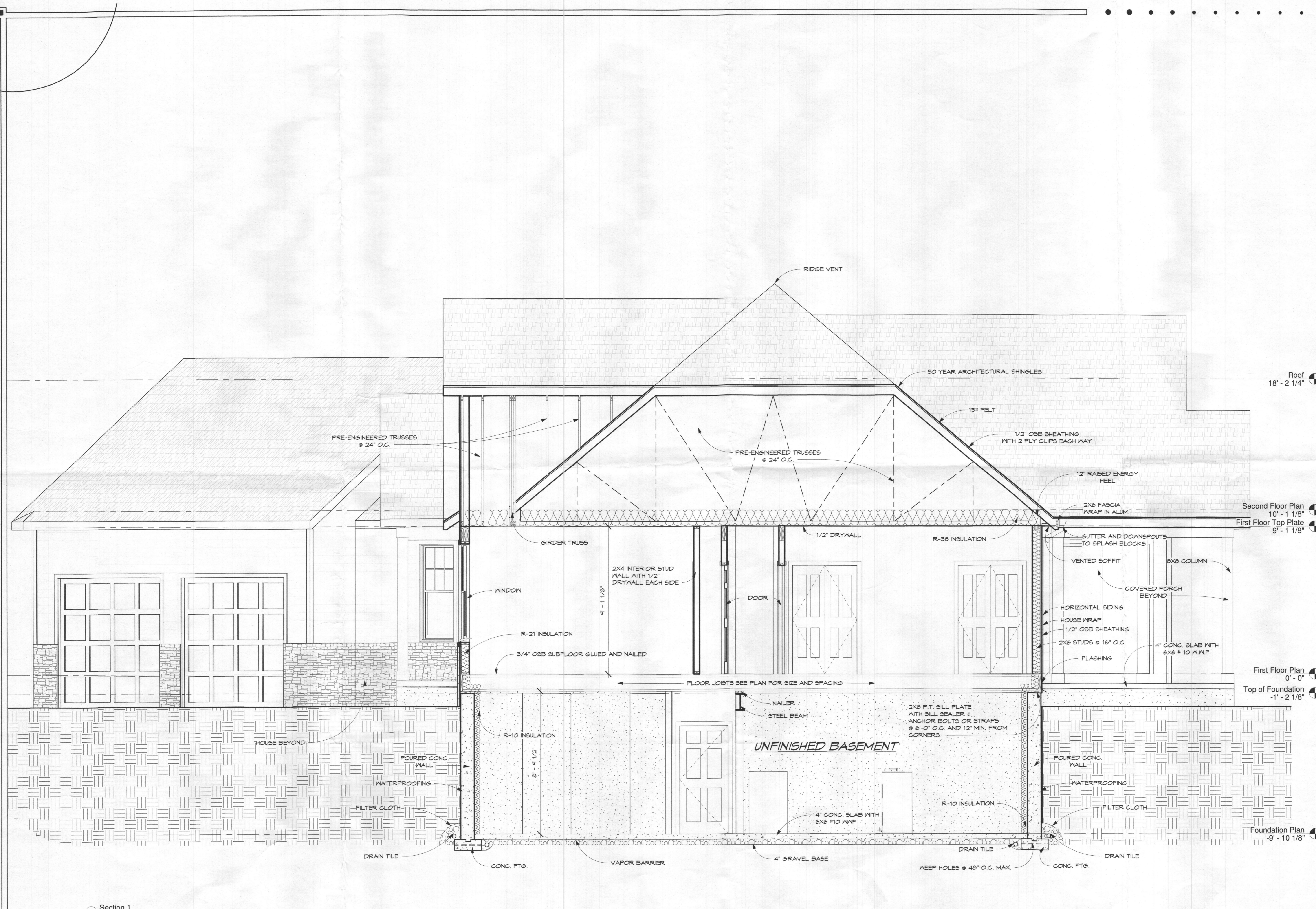
Professional Certification. I hereby certify these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 14452, Expiration Date: May 31, 2019.

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Roof
18' - 2 1/4"

Second Floor Plan
10' - 1 1/8"
First Floor Top Plate
9' - 1 1/8"

First Floor Plan
0' - 0"
Top of Foundation
-1' - 2 1/8"

Foundation Plan
-9' - 10 1/8"

No.	Description	Date

Section 1

Project number	2019-3
Date	2-3-19
Drawn by	s.d.
Checked by	s.d.

A 8
Scale 3/8" = 1'-0"

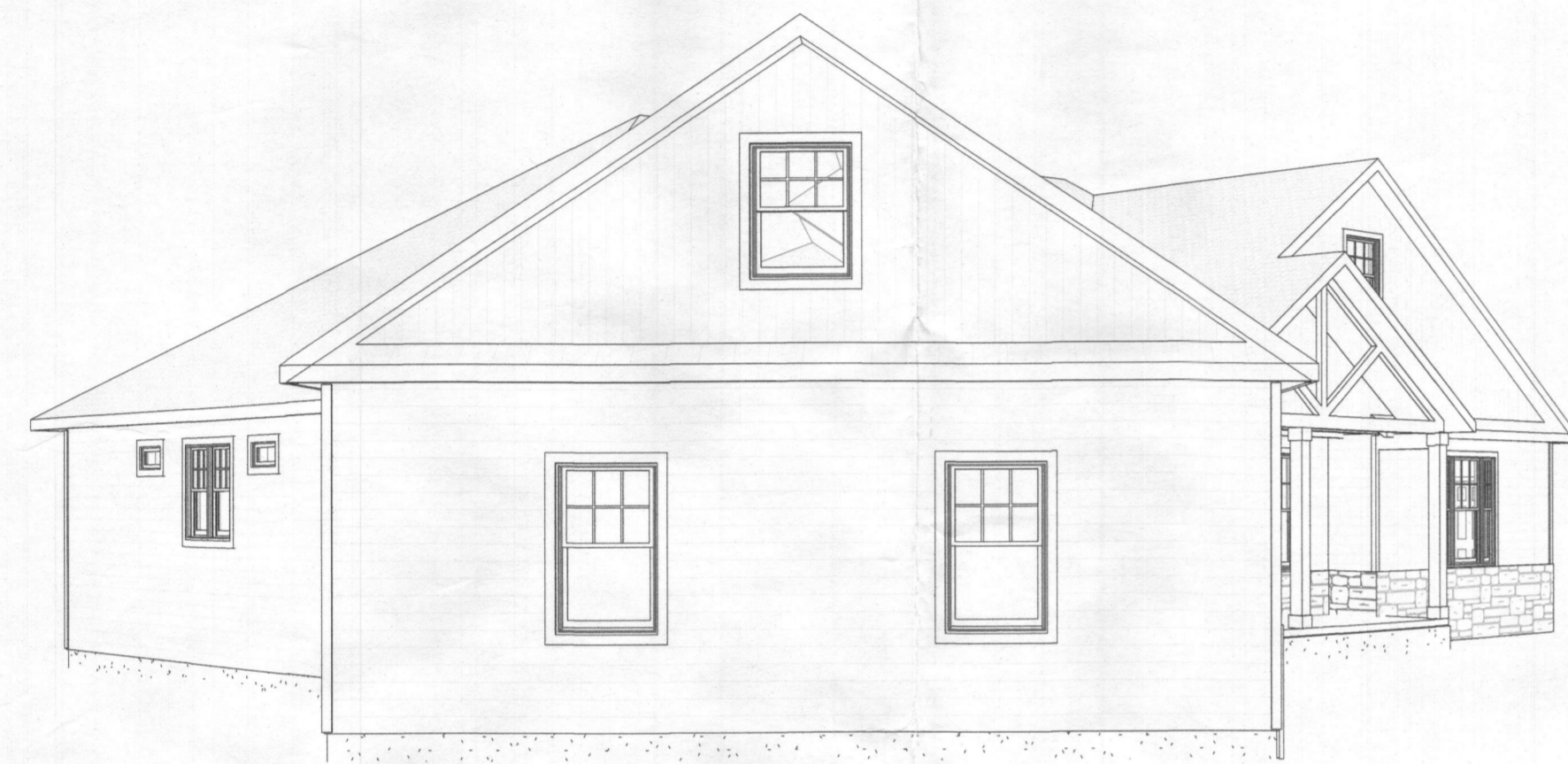
1 Section 1
3/8" = 1'-0"

**DeGonia
Designs
LLC**

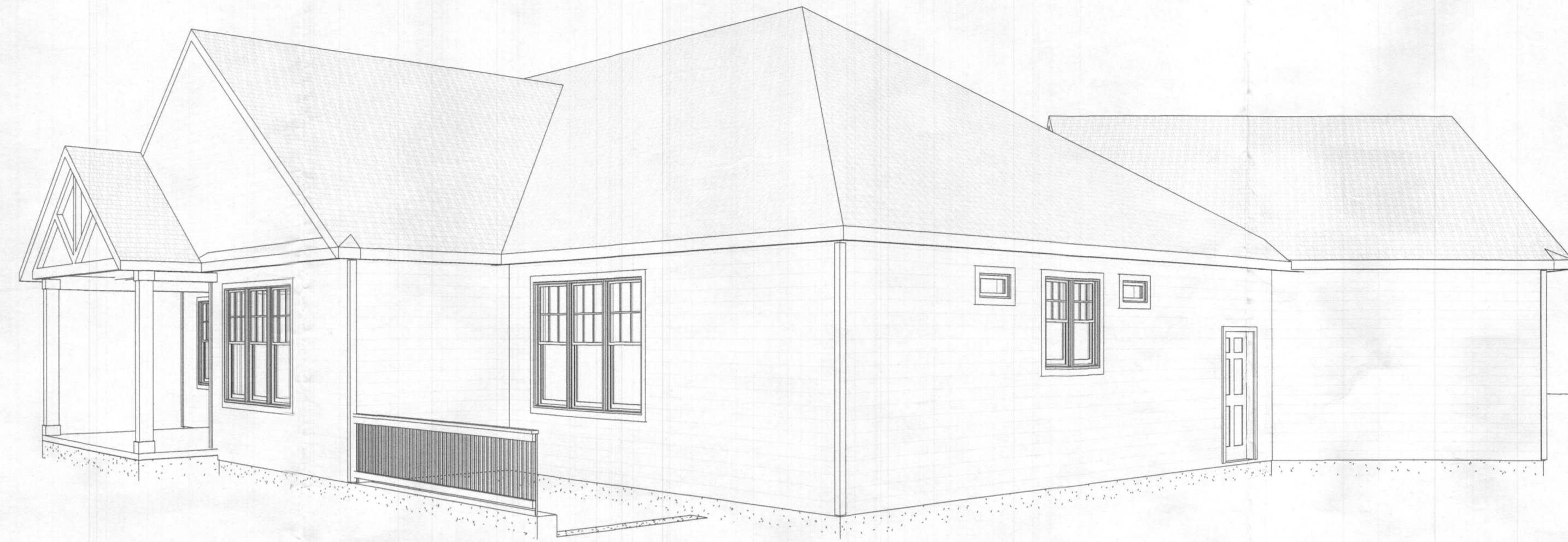
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④ 3D View 4



③ 3D View 3



② 3D View 2



① 3D View 1

No.	Description	Date

3-d Views

Project number 2019-3
Date 2-3-19
Drawn by s.d.
Checked by s.d.

A 7

Scale