



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DI&LP 2018 JAN 29 AM 11:15

Date Received: _____

Permit No.: B18000283

Building Address: 8029 Kayladine Lane
 City: Fulton State: MD Zip Code: 20759
 Suite/Apt. #: _____ SDP/WP/BA #: GP-18-38
 Census Tract: _____ Subdivision: Dustinsbelden
 Section: _____ Area: _____ Lot: 6
 Tax Map: 0046 Parcel: 103 Grid: 2
 Zoning: _____ Map Coordinates: 5052 Lot Size: 1.63
B-6
 Existing Use: empty lot
 Proposed Use: Residential SFD
 Estimated Construction Cost: \$ 400,000
 Description of Work: To build single family home with 6 integral garage parking and finished basement
 Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: Donald & Kathryn Bhide
 Address: 8529 Pamela Way
 City: Laurel State: MD Zip Code: 20725
 Phone: _____ Fax: _____
 Email: _____
 Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____
 Contractor Company: Currygan Homes Inc.
 Contact Person: Dwen Kelly
 Address: 7812 Cartline Court
 City: Billicott State: MD Zip Code: 21042
 License No.: 558
 Phone: 410-977-8927 Fax: 6
 Email: curryganhomes@comcast.net
 Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: <u>727</u> <u>57</u>
Area of construction (sq. ft.): _____	2 nd floor: <u>11</u> <u>11</u>
Use group: _____	Basement: _____
Construction type: _____	<input type="checkbox"/> Finished Basement <u>Partial</u>
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: _____
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>6P-18-38</u>	<u>G18000024</u>
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: curryganhomes@comcast.net
 Email Address: President Currygan Homes
 Title/Company: _____

Print Name: Dwen Kelly
 Date: 1-29-18

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>2-14-18</u>	<u>D. Bernard</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>4180</u>

KAYLADINE LANE
(PRIVATE DRIVEWAY UNDER F-09-028)

LOT 6
53,802 SQ.FT.

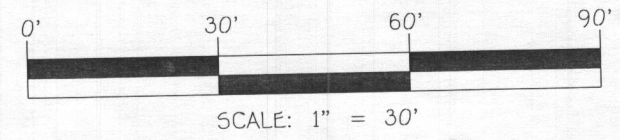
BHIDE RESIDENCE
FF: 438.73
B: 428.50

Approved Septic System Plan
Howard County Health Department
Anna Bernard 2-14-18
Signature Date

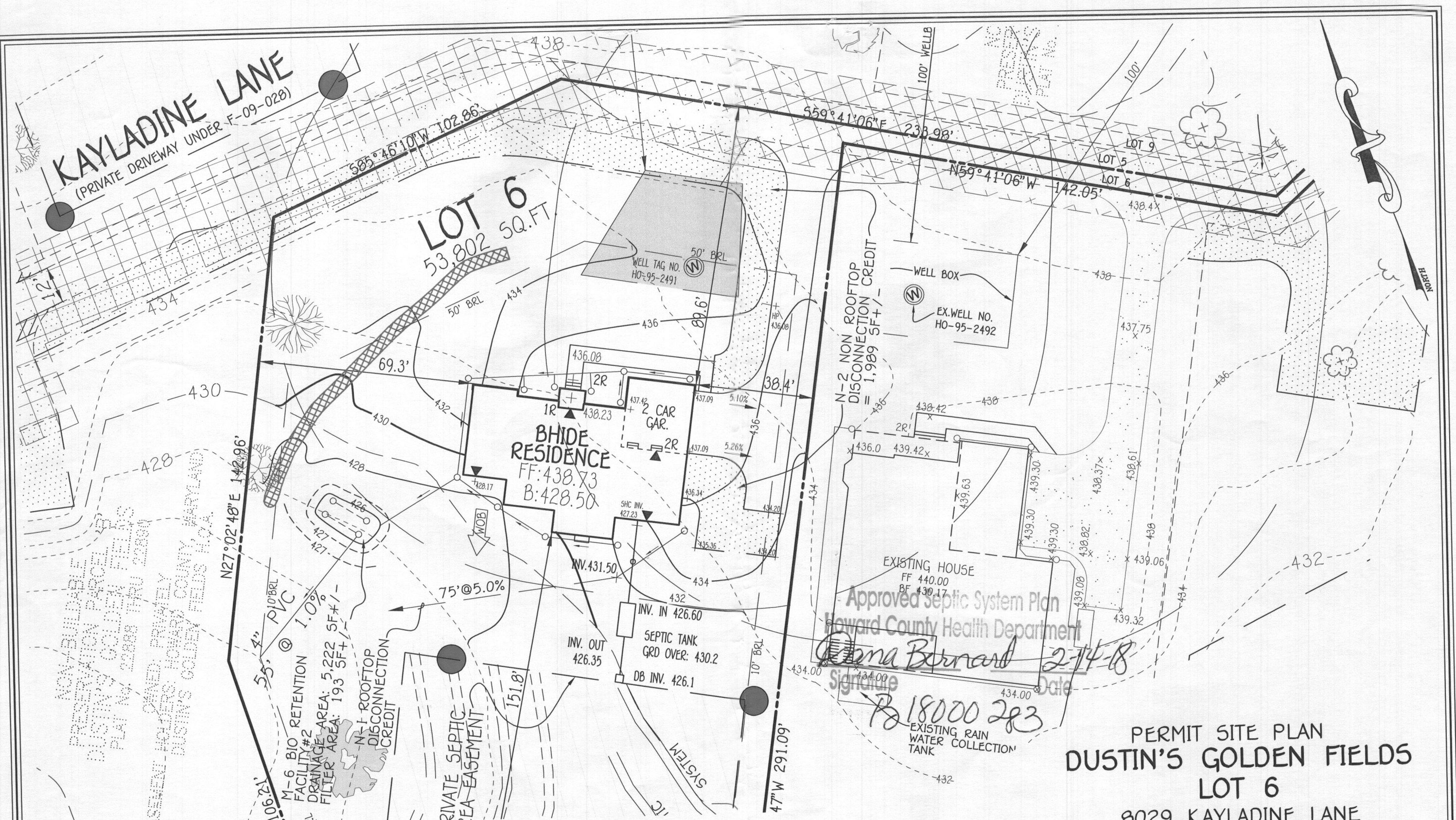
PERMIT SITE PLAN
DUSTIN'S GOLDEN FIELDS
LOT 6

8029 KAYLADINE LANE
ZONED: RR-DEO TAX MAP No.: 46 GRID No.: 2
PARCEL No.: 103 & 104
FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JANUARY 22, 2018

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE.
ELLCOTT CITY, MARYLAND 21042
(410) 461-2855



PLAN
SCALE: 1" = 30'



KAYLADINE LANE
 (PRIVATE DRIVEWAY UNDER F-09-028)

LOT 6
 P55MC#1 53,802 SQ.FT.
 CED#1 A-2

BHIDE RESIDENCE
 FF: 438.73
 B: 428.50

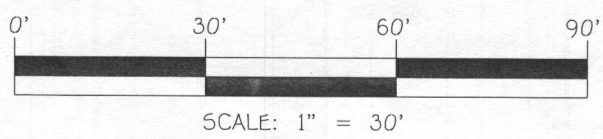
TEMP. STOCK PILE AREA
 INV. IN 426.60
 INV. OUT 426.35

EXISTING HOUSE
 FF 440.00
 BF 430.17

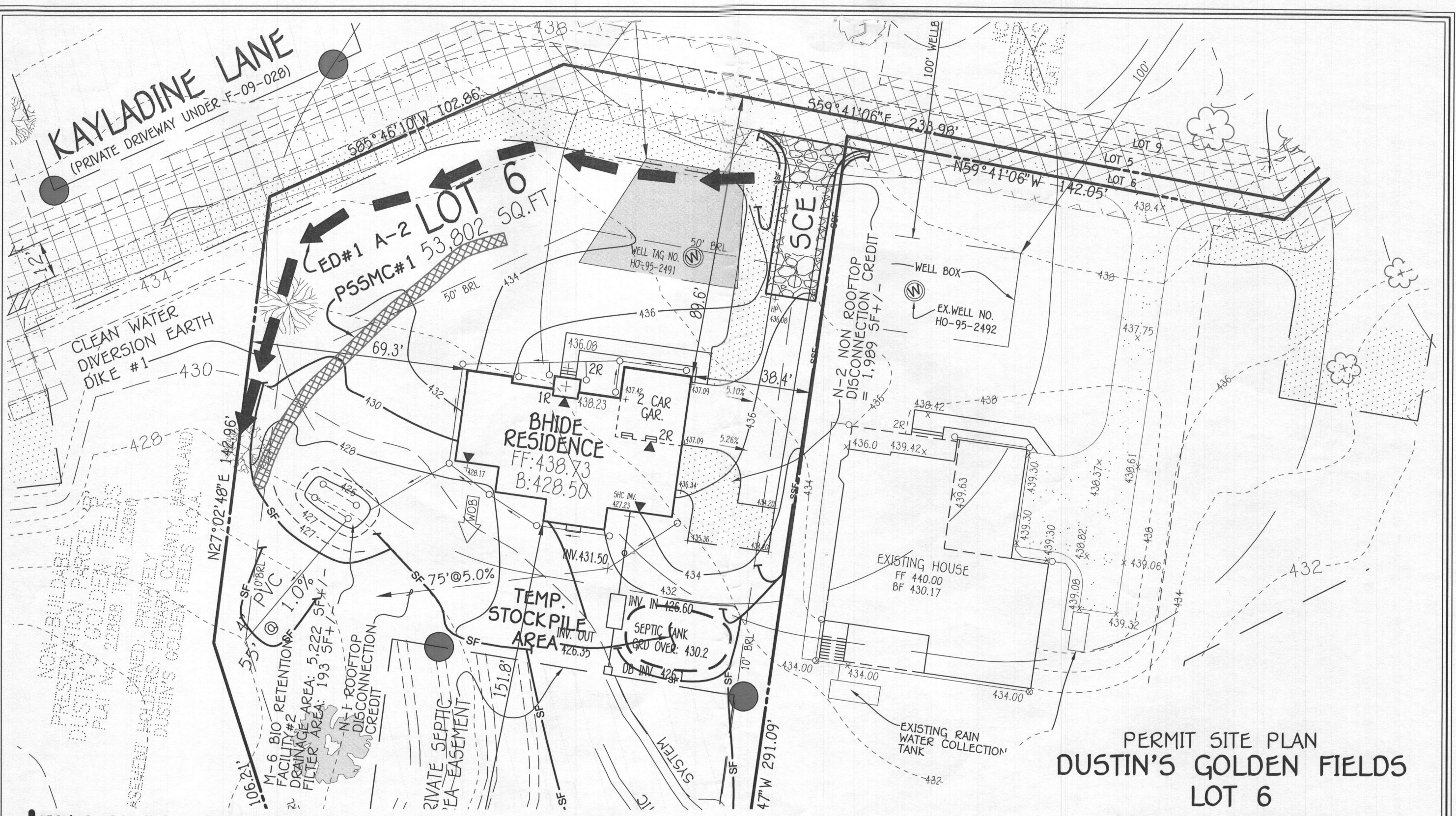
**PERMIT SITE PLAN
 DUSTIN'S GOLDEN FIELDS
 LOT 6**

8029 KAYLADINE LANE
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 ELLICOTT CITY, MARYLAND 21042
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PLAN
 SCALE: 1" = 30'



NON-BUILDABLE
 PRESERVATION PROTECTIVE
 DUSTIN'S GOLDEN FIELDS
 PLAT NO. 2288 THRU 2290
 SEWAGE-BOARD OWNED PRIVATE
 DUSTIN'S GOLDEN FIELDS H.O.A.

NOTE:
THE EXISTING WELLS SHOWN ON THIS PLAN, HO-95-2491 HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

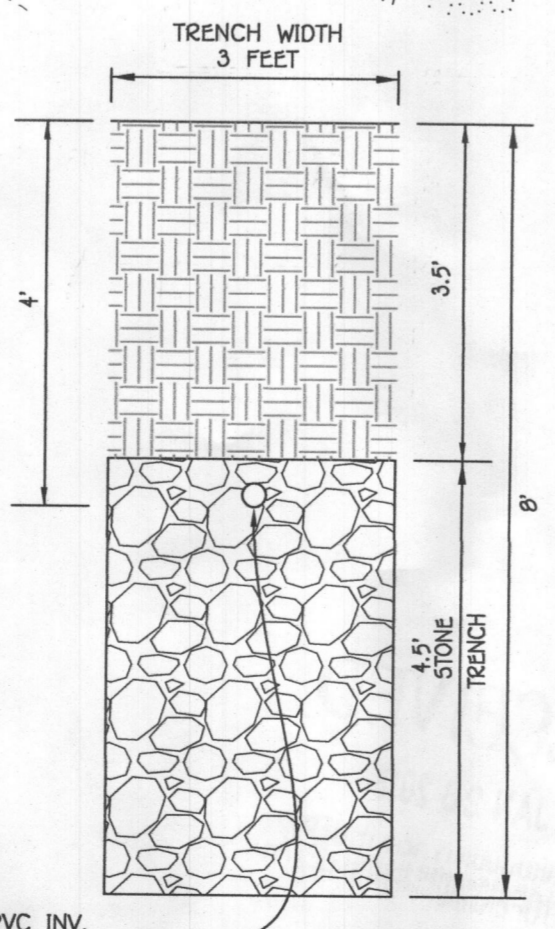


ADDITIONAL
RESERVATION
CELL 'B'
20.267 AC.±

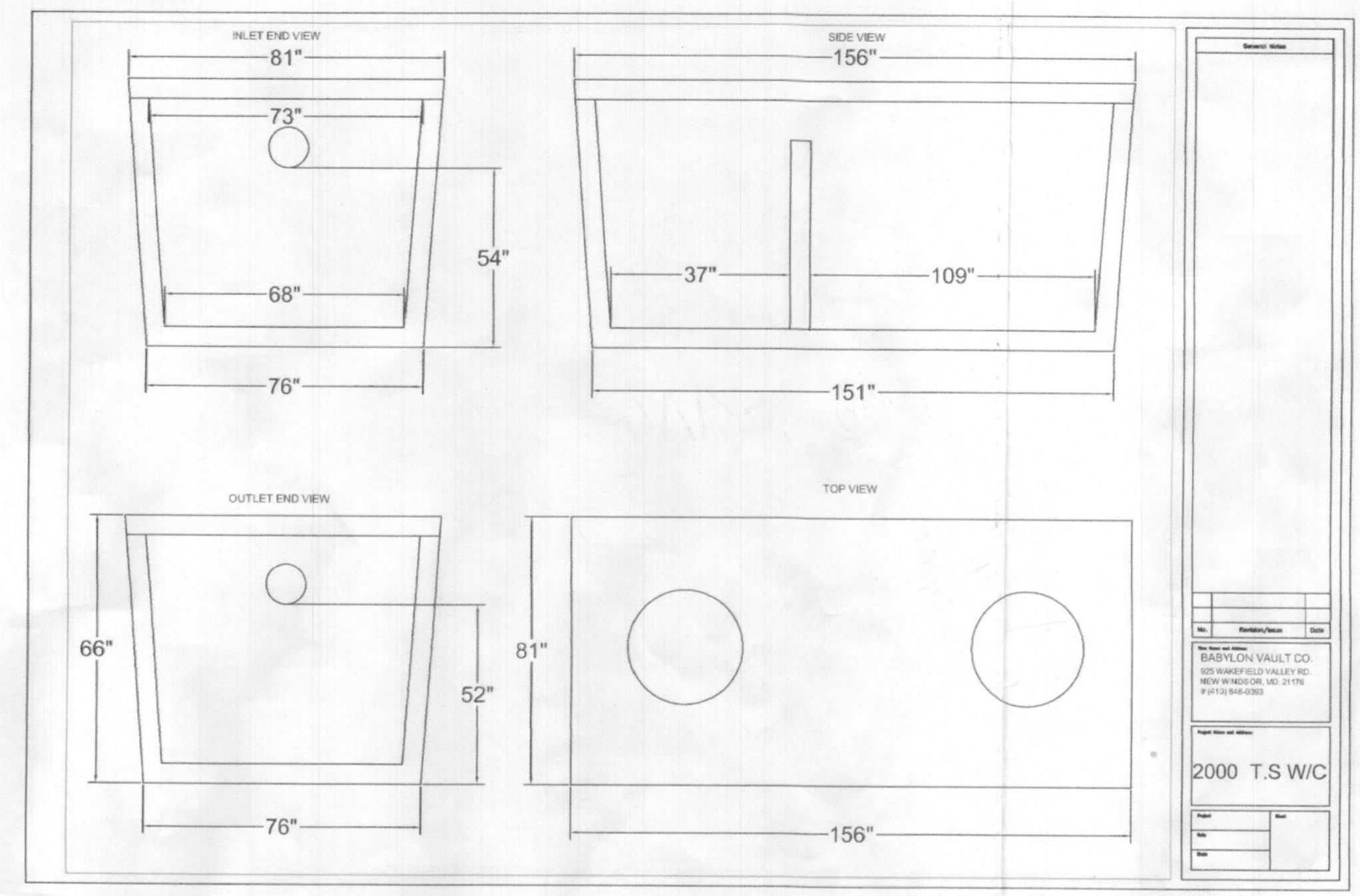
SOIL	NAME	CLASS	K FACTOR
GgB	Glenelg loam, 3 to 8 percent slopes	B	0.20
MAC	Manor loam, 8 to 15 percent slopes	B	0.20

PLAN
SCALE: 1" = 30'

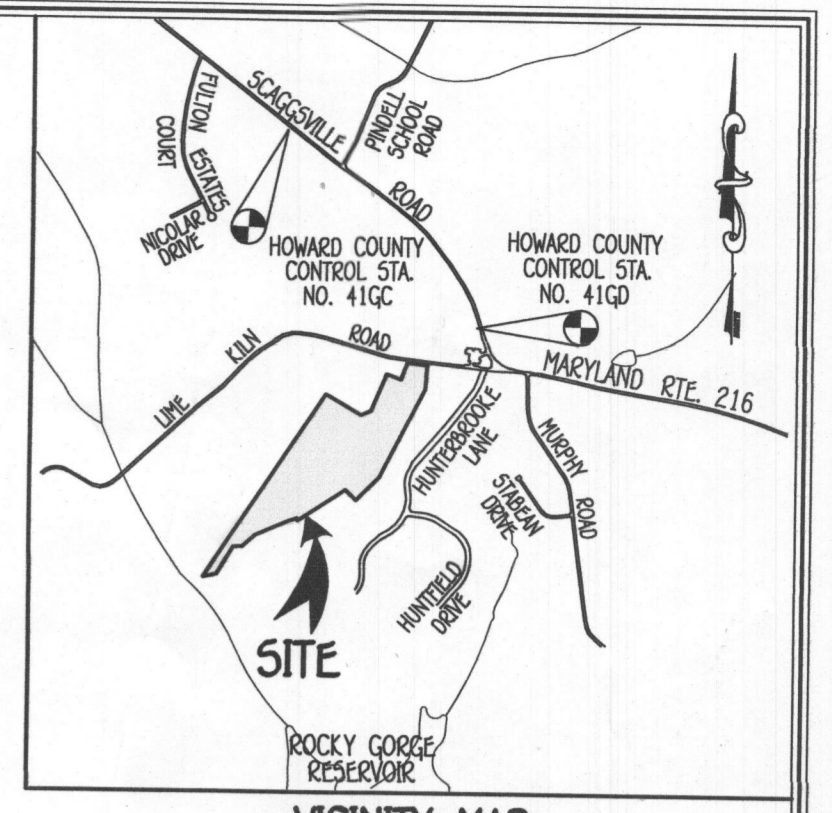
TRENCH DATA:
TRENCH 1:
EX. GROUND ABOVE = 430
INV. IN = 426
BOTTOM TRENCH = 423
TRENCH 2:
EX. GROUND ABOVE = 430
INV. IN = 426
BOTTOM TRENCH = 423
TRENCH 3:
EX. GROUND ABOVE = 430
INV. IN = 426
BOTTOM TRENCH = 423



INITIAL TRENCH DETAIL
SCALE: 1" = 2'



2000 T.S/W.C.



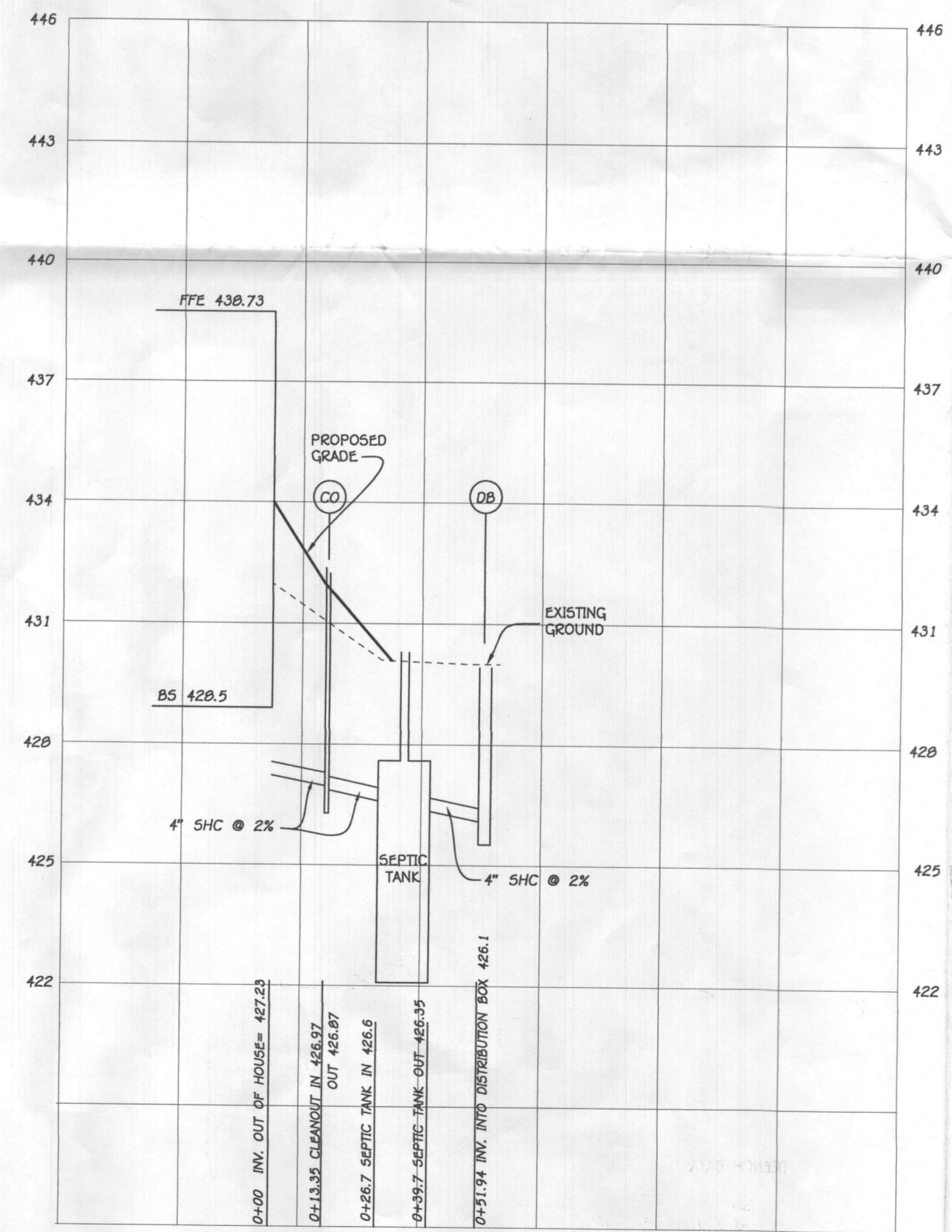
VICINITY MAP
SCALE: 1" = 2,000'
HO. CO. ADC MAP 16, GRID G-5

FFE 438.73
BSE 428.5
INV. OUT OF HOUSE = 427.23
PROP. GROUND AT CLEANOUT =
INV. INTO CLEANOUT = 426.97
INV. OUT OF CLEANOUT = 426.87
EX. GROUND AT SEPTIC TANK = 430.2
TOP OF SEPTIC TANK = 427.6
INV. INTO SEPTIC TANK = 426.6
INV. OUT OF SEPTIC TANK = 426.35
EX. GROUND AT DISTRIBUTION BOX = 430.0
INV. INTO DISTRIBUTION BOX = 426.1
INV. OUT OF DISTRIBUTION BOX = 426.0

SEWAGE DISPOSAL SYSTEM DATA
5 BEDROOMS
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 0.8
EFFECTIVE SIDEWALL BEGINS AT 5.5 FEET
TRENCH DEPTH = 8 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 5.5 FEET
SF OF DRAINFIELD = 750 GPD / 0.8 = 937.5 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH =
(W+2)/(W+1+2D)=(3+2)/(3+1+(2x5.5))=0.56
TRENCH LENGTH = 312.50 SF x 0.56 = 175 FEET
TRENCH SPACING = 2D+W = ((2x3) + 3) = 9 USE 10'
(3 TRENCH'S AT 58.33')

FIRST REPLACEMENT SEWAGE DISPOSAL SYSTEM DATA
5 BEDROOMS
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 0.8
EFFECTIVE SIDEWALL BEGINS AT 5.5 FEET
TRENCH DEPTH = 7 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 5.5 FEET
SF OF DRAINFIELD = 750 GPD / 0.8 = 937.5 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH =
(W+2)/(W+1+2D)=(3+2)/(3+1+(2x5.5))=0.71
TRENCH LENGTH = 312.50 SF x 0.71 = 221.88 FEET
TRENCH SPACING = 2D+W = ((2x3) + 3) = 9 USE 10'
(4 TRENCH'S AT 55.47')

SECOND REPLACEMENT SEWAGE DISPOSAL SYSTEM DATA
5 BEDROOMS
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 1.2
EFFECTIVE SIDEWALL BEGINS AT 5.5 FEET
TRENCH DEPTH = 7 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 5.5 FEET
SF OF DRAINFIELD = 750 GPD / 1.2 = 625 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH =
(W+2)/(W+1+2D)=(3+2)/(3+1+(2x5.5))=0.71
TRENCH LENGTH = 312.50 SF x 0.71 = 147.92 FEET
TRENCH SPACING = 2D+W = ((2x3) + 3) = 9 USE 10'
(4 TRENCH'S AT 39.98')



SEPTIC PROFILE
SCALE: 1" = 30'

Approved Septic System Plan
Howard County Health Department
Roma Bernard 2-14-18
Signature Date

** If Basement is finished to include a bedroom*

Approved for 5 BR and partly finished Basement. NO BEDROOM

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
6	8029 KAYLADINE LANE

**SEPTIC SYSTEM
INSTALLATION SITE PLAN
DUSTIN'S GOLDEN FIELDS
LOT 6
8029 KAYLADINE LANE**

ZONED: RR-DEO
TAX MAP NO.: 46 PARCEL NO.: 103 GRID NO.: 2
FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: JANUARY 22, 2018
SHEET 1 OF 1

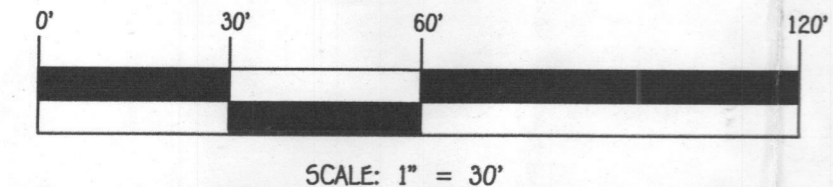
PROFESSIONAL CERTIFICATION

"I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20748, EXPIRATION DATE: 02/22/19"



Aldo M. Vitucci
ALDO M. VITUCCI
DATE: 1/22/18

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLETTT CITY, MARYLAND 21142
(410) 461-2222

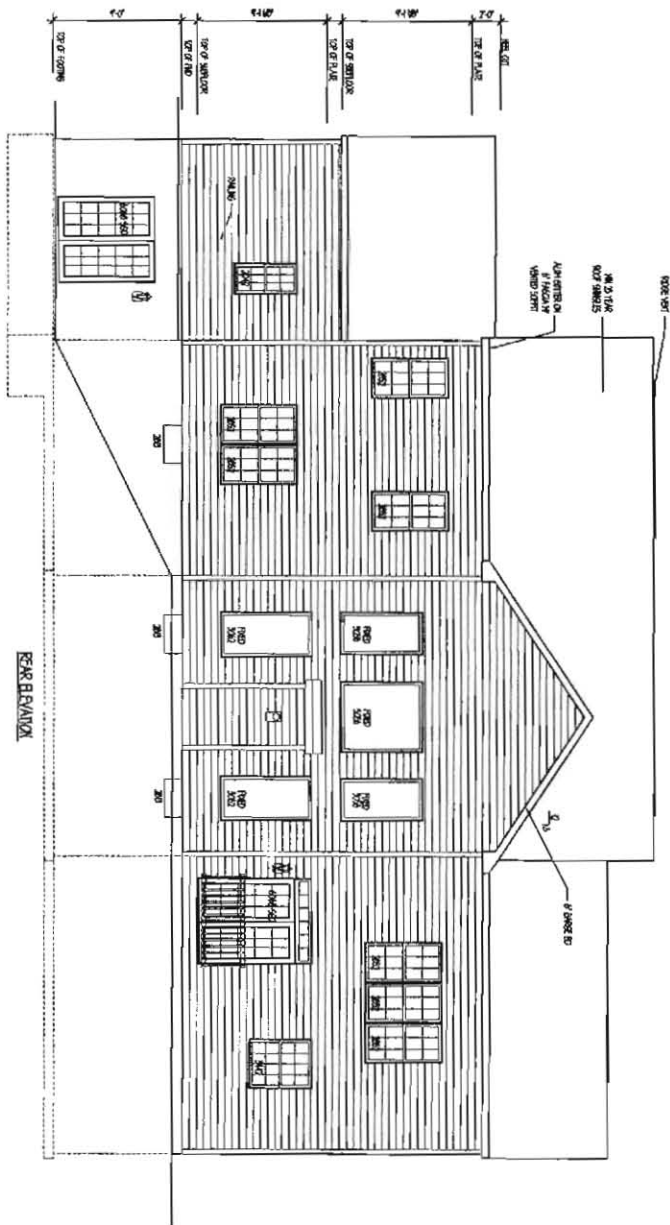


SCALE: 1" = 30'

OWNER
AMOD A AND KATYAVANI A BHIDE
8520 PAMELA WAY
LAUREL MD 20723

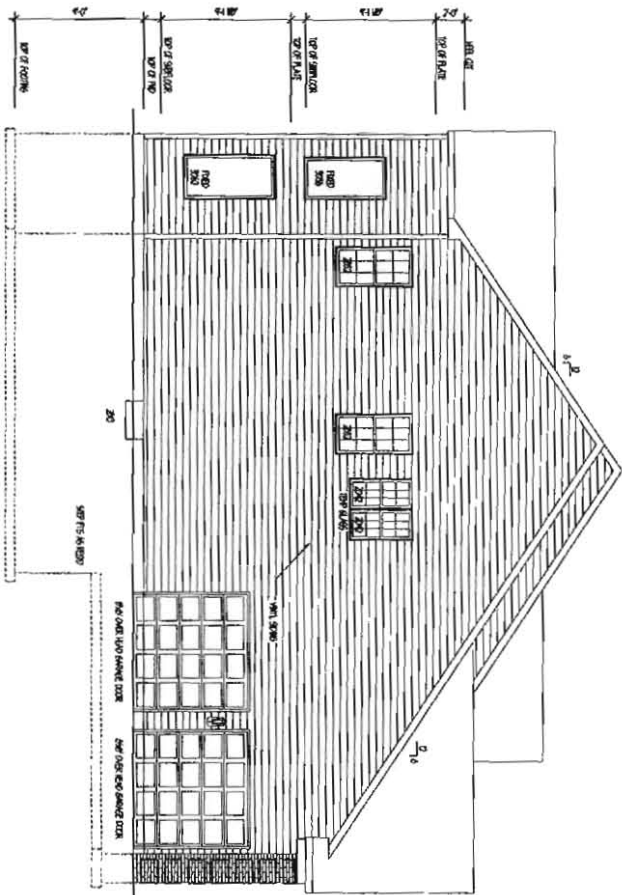
BUILDER
CAROLAN HOMES
C/O OWEN KELLY
9812 CANTLINS COURT ELLICOTT CITY,
MARYLAND 21142
410-465-7755

E:\2005\05072\Ang\Lot 6 Septic Installation Plan.dwg, SHEET 1, 1

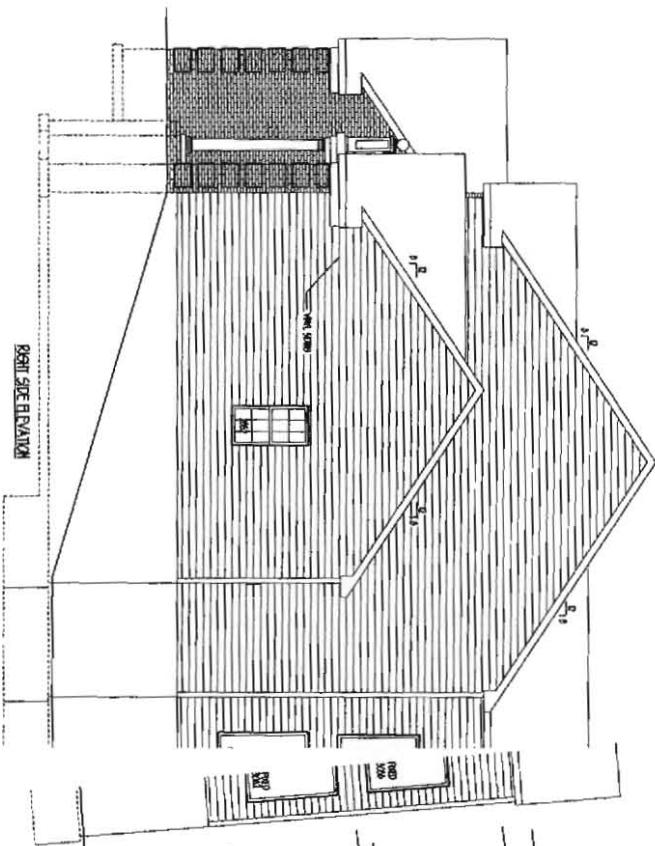


NOTICE:
 THIS IS THE ARCHITECT'S REPRESENTATION OF THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND SUPPLIES.

A-12	SCALE	1/4" = 1'-0"
	DATE	02/28/2024
TITLE		GARRIGAN HOMES BRIDGE RESIDENCE
CONTENT		REAR ELEVATION



LEFT SIDE ELEVATION

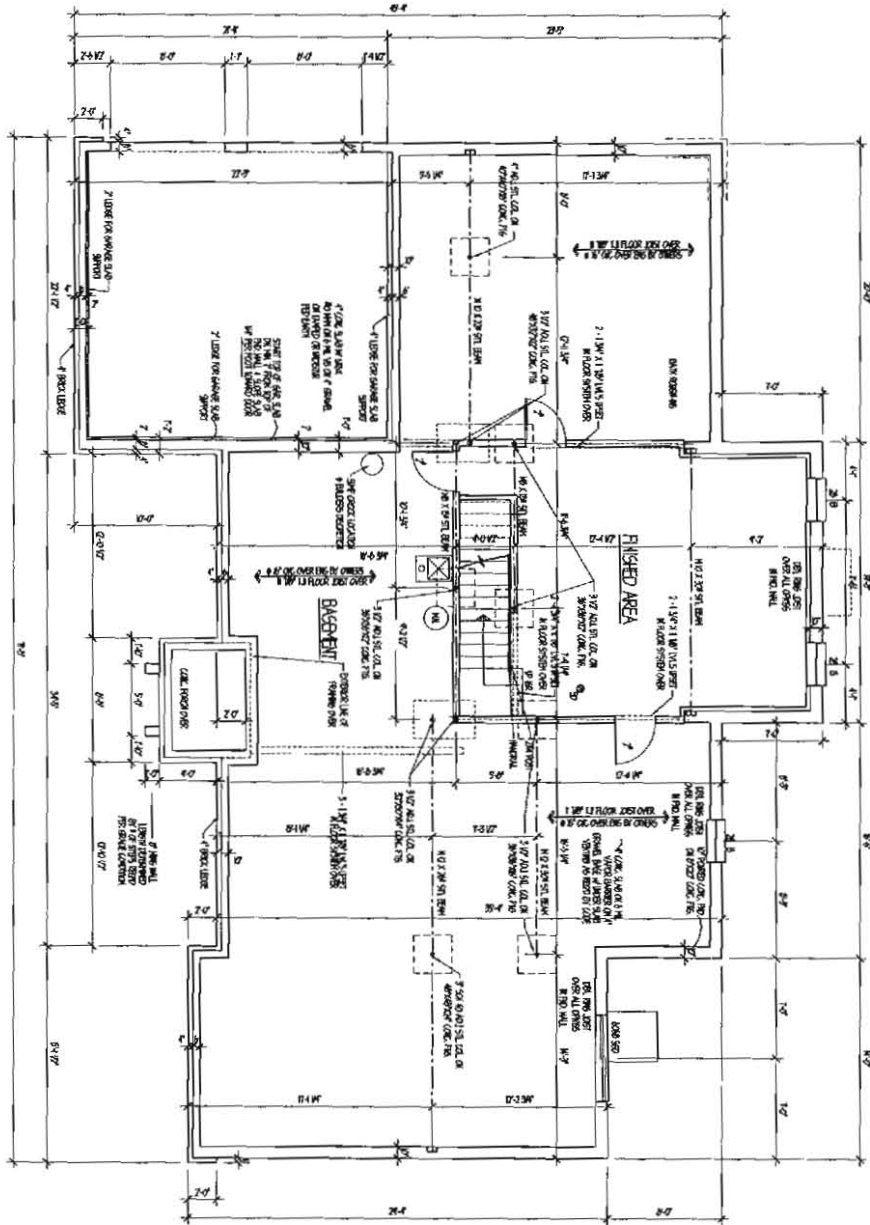


RIGHT SIDE ELEVATION

NOTICE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE COST THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL MATERIALS AND LABOR REQUIRED FOR THE COMPLETION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE COST OF ALL DEMOLITION AND DISPOSAL OF DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TRAVEL AND LODGING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL MEALS AND ENTERTAINMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL PHONE AND TELEPHONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL POSTAGE AND FREIGHT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL SHIPPING AND HANDLING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL STORAGE AND WAREHOUSING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL INSPECTION AND TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL RECORD DRAWINGS AND AS-BUILT DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL ARCHIVAL DRAWINGS.

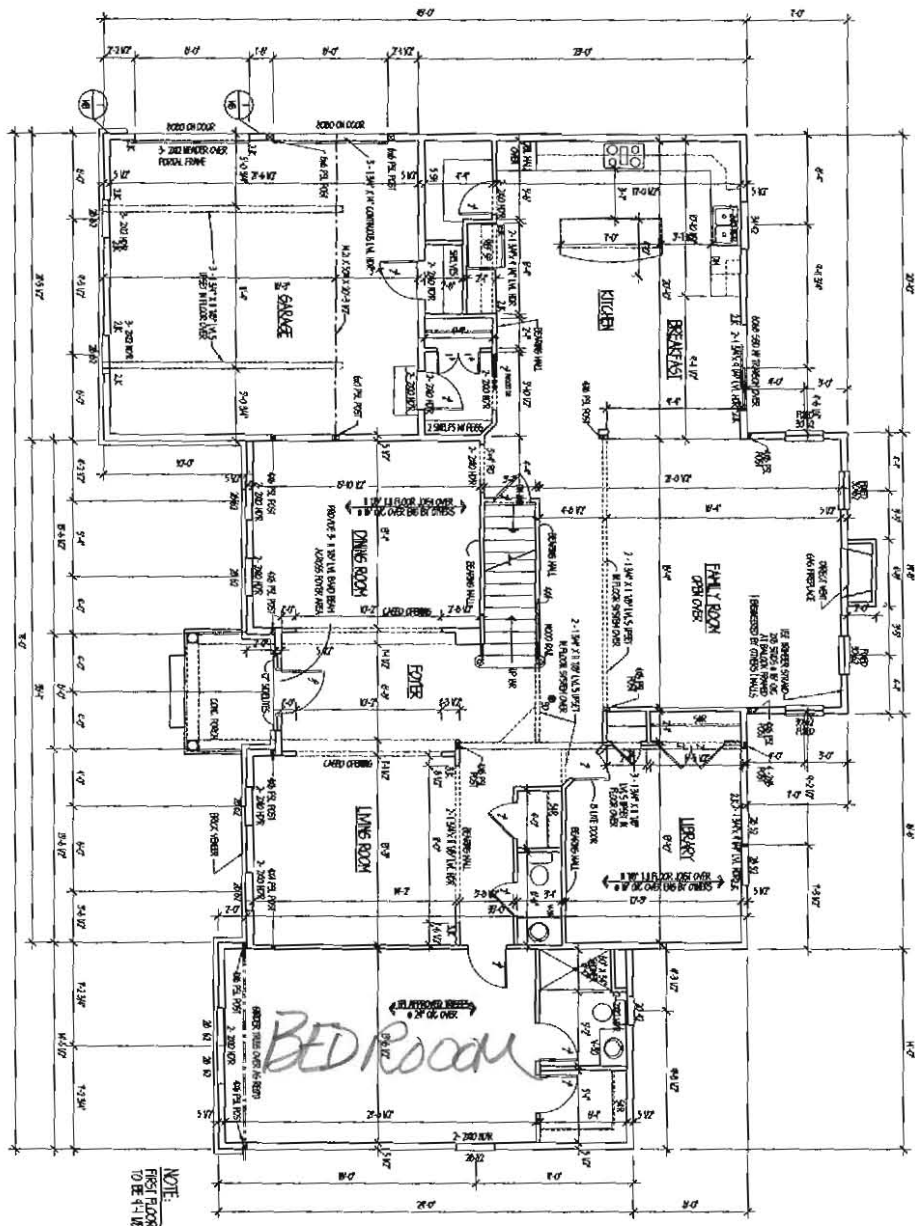
DATE: 10/1/10
 DRAWN BY: J. L. BROWN
 CHECKED BY: J. L. BROWN
 TITLE: ARCHITECT

TITLE		CONTENT
CARRIGAN HOMES BRIDE RESIDENCE		LEFT AND RIGHT SIDE ELEVATIONS
DATE: 10/1/10	PROJECT NUMBER:	
DRAWN BY: J. L. BROWN		
CHECKED BY: J. L. BROWN		
A-13		



NOTICE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

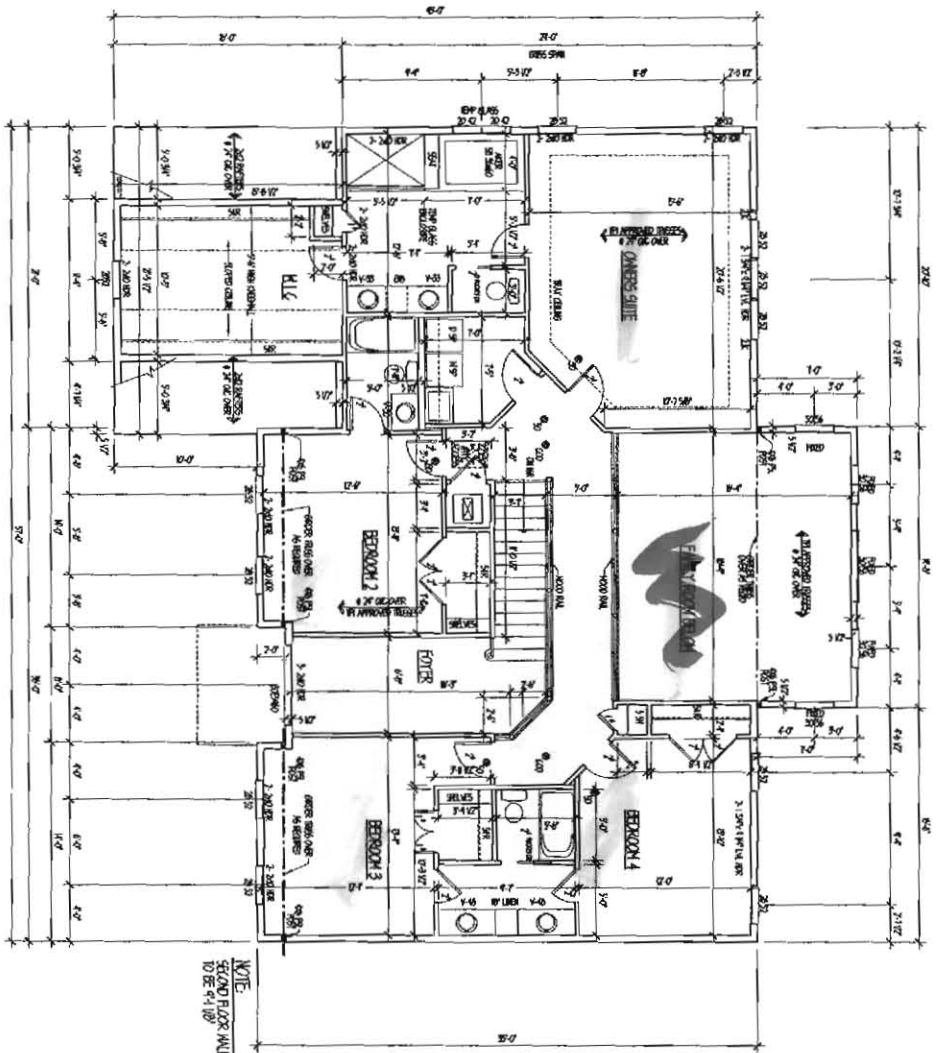
A-2	NO. 100	TITLE	CONTENT
	SECTION 100	CARRIGAN HOMES BNIDE RESIDENCE	FOUNDATION PLAN



NOTE:
FIRST FLOOR WALL HEIGHT
TO CEILING

NOTE:
ALL DIMENSIONS ARE IN FEET AND INCHES
UNLESS OTHERWISE SPECIFIED
ALL DIMENSIONS SHALL BE TO THE CENTERLINE
OF WALLS UNLESS OTHERWISE SPECIFIED
ALL DIMENSIONS SHALL BE TO THE CENTERLINE
OF WALLS UNLESS OTHERWISE SPECIFIED
ALL DIMENSIONS SHALL BE TO THE CENTERLINE
OF WALLS UNLESS OTHERWISE SPECIFIED

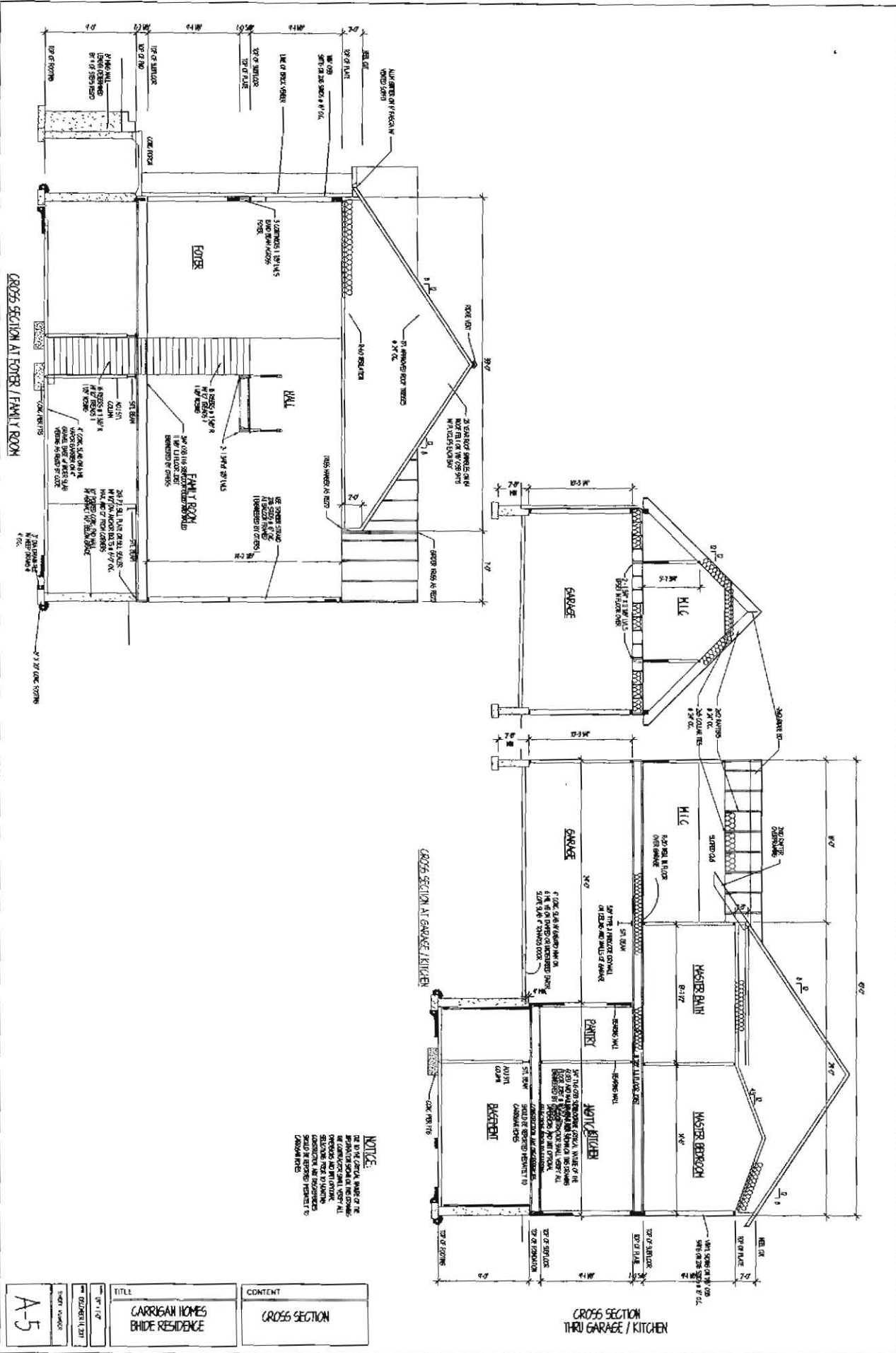
A-3	TITLE	CONTENT
	CARRIGAN HOMES BHIDE RESIDENCE	FIRST FLOOR PLAN



NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. ALL DIMENSIONS AND FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FINISHES BEFORE PROCEEDING WITH CONSTRUCTION.

NOTE:
 SECOND FLOOR WALL HEIGHT TO BE 9'-1 1/2"

A-4	TITLE	CONTENT
	CARRISMAN HOMES BRIDE RESIDENCE	SECOND FLOOR PLAN



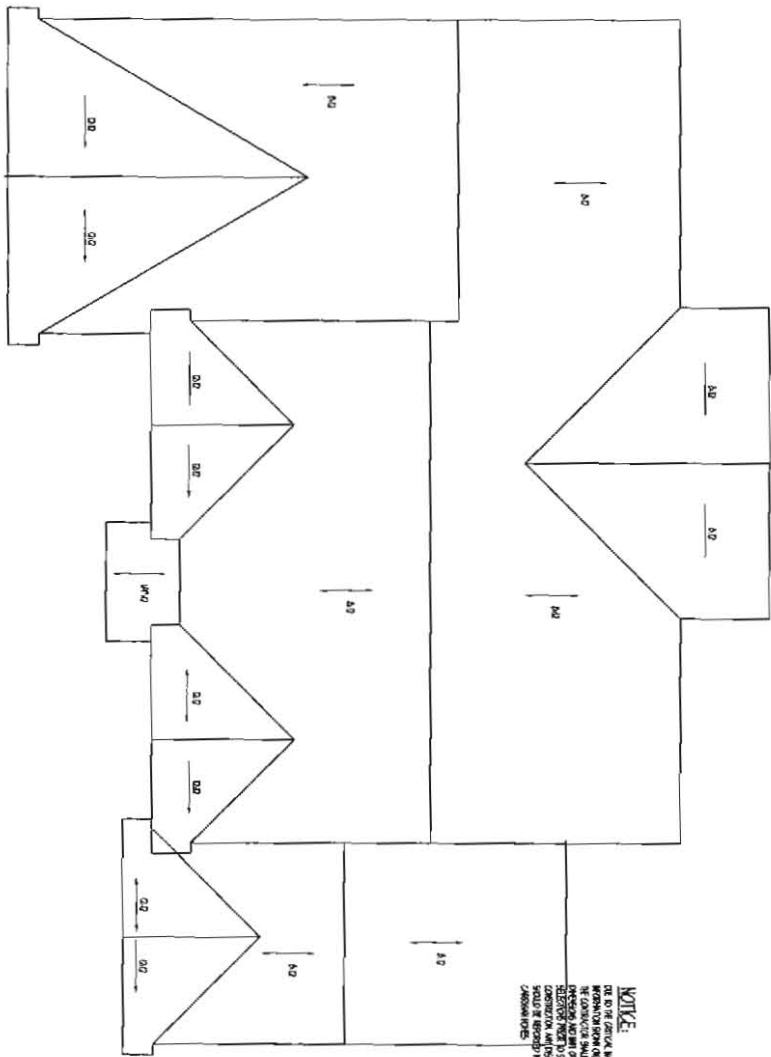
CROSS SECTION AT FORER / FAMILY ROOM

CROSS SECTION AT GARAGE / KITCHEN

CROSS SECTION THRU GARAGE / KITCHEN

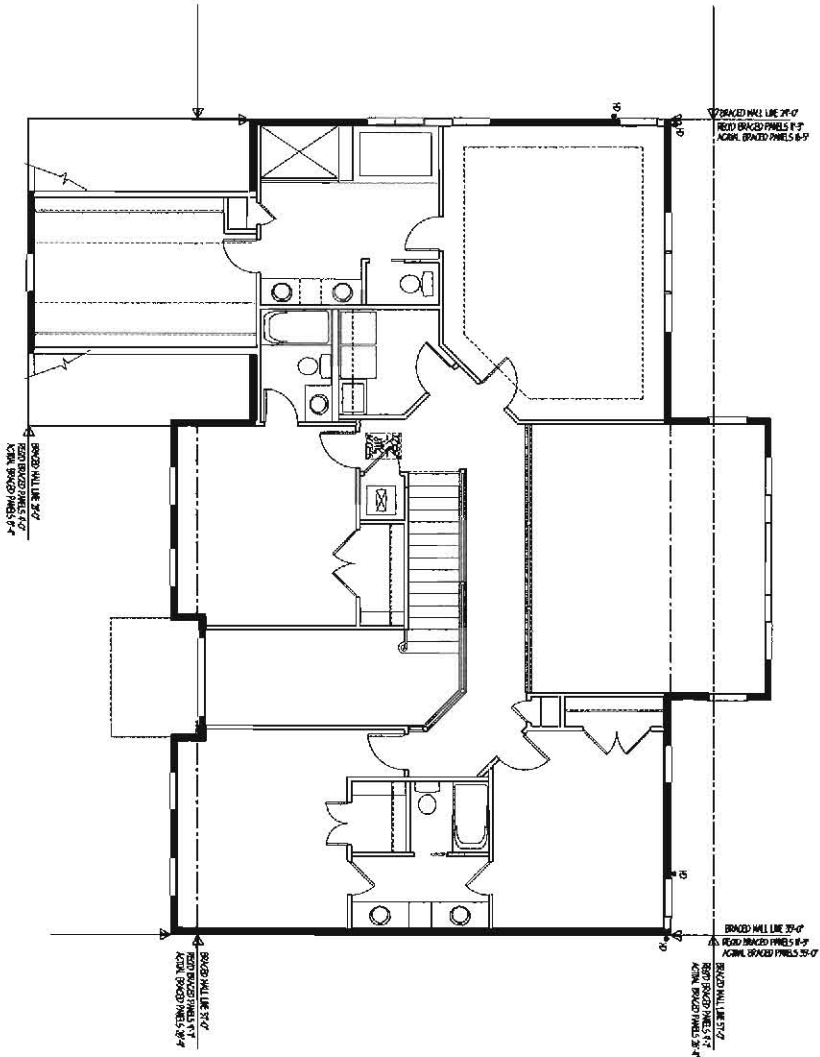
NOTICE:
 BE THE ONLY VENDOR OF THE
 PROJECT. ALL WORK SHALL BE
 PERFORMED IN ACCORDANCE WITH
 ALL APPLICABLE CODES AND ALL
 PERMITS SHALL BE OBTAINED
 BEFORE ANY WORK IS STARTED.
 THE CONTRACTOR SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY
 PERMITS AND INSURANCE.
 THE CONTRACTOR SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY
 PERMITS AND INSURANCE.

A-5	TITLE	CONTENT
	CARRISMAN HOMES BRIDE RESIDENCE	CROSS SECTION



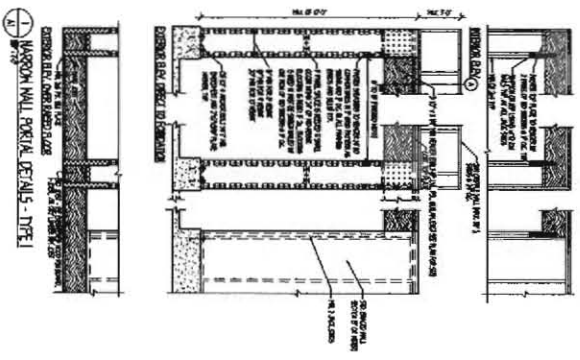
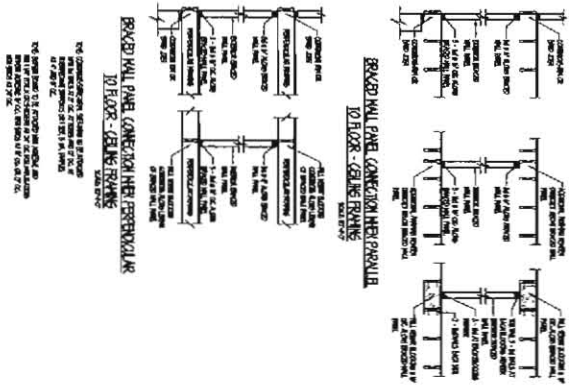
NOTE:
 ONE SET OF ARCHITECTURAL DRAWINGS OF THE
 RESIDENCE SHALL BE KEPT AT THE
 OFFICE OF THE ARCHITECT. ALL
 REVISIONS SHALL BE MADE BY THE
 ARCHITECT AND SHALL BE KEPT AT THE
 OFFICE OF THE ARCHITECT. THE
 ARCHITECT SHALL BE RESPONSIBLE FOR
 THE ACCURACY OF THE DRAWINGS AND
 SHALL BE RESPONSIBLE FOR THE
 CONSTRUCTION OF THE RESIDENCE.

A-6	DATE: 10/1/2014	DRAWN BY: J. J. J.
	SHEET NUMBER	PROJECT NUMBER
TITLE	CONTENT	
CARRIGAN HOMES BHIDE RESIDENCE	ROOF PLAN	



ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 ALL WALLS ARE 1/2\"/>

SHEET NUMBER 5-2	DATE 02/08/2011	TITLE CARRIGAN HOMES BHIDE RESIDENCE	CONTENT SECOND FLOOR PLAN HINDERBRACING
	DRAWN BY J. J. JONES	CHECKED BY J. J. JONES	SCALE AS SHOWN



MB	DATE	1/1/2011
	SHEET NO.	1/1
TITLE	CARRIGAN HOMES BRIDE RESIDENCE	
CONTENT	WARRON HALL BRACING DETAILS	