



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 2/7/18

Permit No.: B18000425

Building Address: 5052 Lindero Court
 City: Ellicott City State: MD Zip Code: 21045
 Suite/Apt. #: _____ SDP/WP/BA #: 21042
 Census Tract: _____ Subdivision: Walnut Creek
 Section: _____ Area: _____ Lot: 127
 Tax Map: 28 Parcel: 49 Grid: 11
 Zoning: _____ Map Coordinates: _____ Lot Size: 33,733 SF

Existing Use: Vacant lot
 Proposed Use: SFD
 Estimated Construction Cost: \$ 250,000

Description of Work: Model on site - Kenwood II, 2 1/2 car side load garage, Att. lower level, 2 1/2 car Sun Room Opt. garden room on main, Fin. 1st Bed + Bath, Finished Bsmt. Occupant of Tenant: owner not bar bar media

Was tenant space previously occupied? Yes No

Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: BV Business Trust
 Address: PO Box 482
 City: Lisbon State: MD Zip Code: 21045
 Phone: 303-898-0373 Fax: _____
 Email: _____

Applicant's Name & Mailing Address (if other than stated herein)
 Applicant's Name: Rachel Carr, CPS
 Address: 6557 Baltimore Lane
 City: Charlesville State: MD Zip Code: 21229
 Phone: 240-988-7307 Fax: _____
 Email: Carr.rache@gmail.com

Contractor Company: Craftsmen Homes
 Contact Person: Dana Schaefer
 Address: 1355 Beverly Rd, Ste. 330
 City: McLean State: VA Zip Code: 22104
 License No.: 451-H26
 Phone: 703-898-0373
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____
Area of construction (sq. ft.): _____	2 nd floor: _____
Use group: _____	Basement: _____
Construction type: _____	<input checked="" type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawlspace
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No. of 1 BR units: _____
Roadside Tree Project Permit # _____	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: <u>Finished Attic</u>
	Dimensions: _____
	Footings: _____
	Roof: _____
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities

Water Supply
 Public
 Private

Sewage Disposal
 Public
 Private

Electric: Yes No
 Gas: Yes No

Heating System
 Electric Oil
 Natural Gas Propane Gas

Other: _____

Sprinkler System:
 Yes No

Grading Permit Number: G18000031

Building Shell Permit Number: _____

RECEIVED
FEB 07 2018
LICENSES & PERMITS DIVISION

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION, (2) THAT THE INFORMATION IS CORRECT, (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO, (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION, (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES

Applicant Signature: Rachel Carr
 Email Address: Carr.rache@gmail.com
 Title/Company: owner / CPS

Print Name: Rachel Carr
 Date: 2/8/18 2/7/18

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>3/5/18</u>	<u>[Signature]</u>

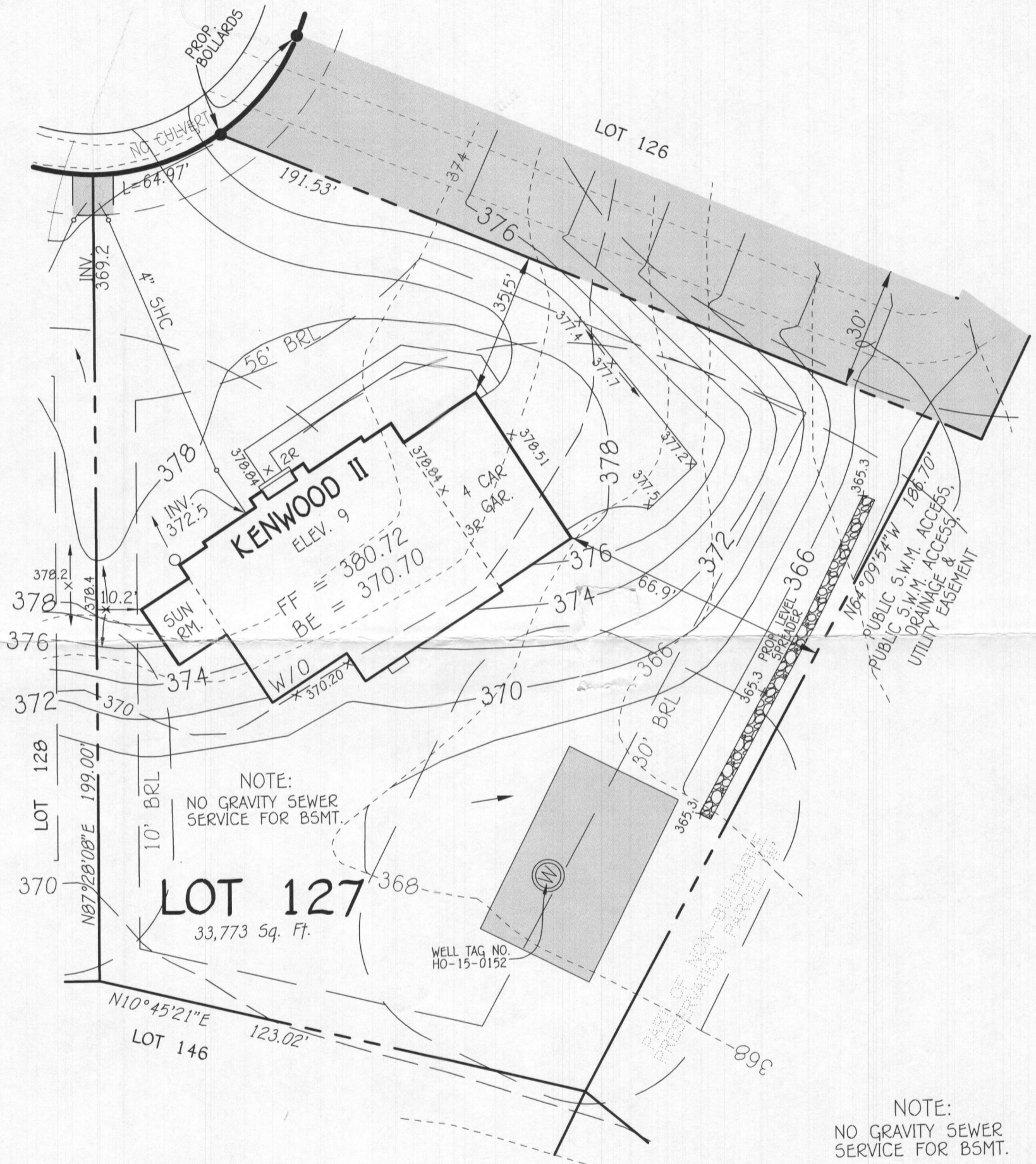
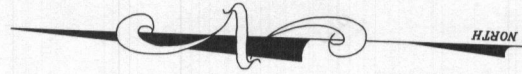
Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

OPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	<u>6098-6092727</u>

Approved B18000425
3/15/18 RAE

LINDERA COURT



NOTE:
NO GRAVITY SEWER
SERVICE FOR BSMT.

NOTE:
NO GRAVITY SEWER
SERVICE FOR BSMT.

WELL CERTIFICATION:
THE EXISTING WELL, TAG NO. HO-15-0152, HAS BEEN
FIELD LOCATED AND IS ACCURATELY SHOWN.

PLAN
SCALE: 1" = 30'

PERMIT SITE PLAN
LOT 127
5052 LINDERA COURT
WALNUT CREEK

OWNER
BV BUSINESS TRUST
P.O. BOX 482
LISBON, MARYLAND 21765-0482

ZONED: RC-DEO
TAX MAP NO.: 28 PARCEL NO. 49 GRID NO.: 17 & 18
FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: JAN. 12, 2018

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461 - 2855

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 3/14/10
 To: Robert "Spencer" Freeman - Health
 (Person's Name and Division)
 From: Rachel Carr 240 988-7309
 (Your Name, Company Name and Telephone Number)
 Subject: Project name Walnut Creek
 Project site address 5052 Linder Court, Ellicott City, MD
 Permit # B18000425 SDP # _____ 21042
 Other information pertinent to this project _____

- Please check the attachments below that you are submitting with this transmittal:
- Letter of response to address plan review comment letter
 - Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
 - Letter Summarizing Changes
 - Energy conservation calculations
 - Copies of Revised Floor plans (be specific). Change door opening to wall door + shelving, remove study door (to 48" opening); powder room to full bath, Applicant's Request
 - Health Department Request _____ DPZ/DED Request _____
 - Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
 - Other _____

Contact Person Information: (Required)

Rachel Carr
 Please Print Name

Telephone No: 240-988-7309
 E-Mail Address: Carr Rachel@gmail.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by AKH

PER HEALTH DEPT
REQ.

RECEIVED

MAR 14 2018

LICENSES & PERMITS
DIVISION

CPS

CARR PERMITTING SOLUTIONS

3/14/2018

Howard County Department

re: Lot # 127, Walnut Creek – Building #B18000425

Dear Howard County Permitting Department:

Per Health Department instructions, please find attached revised floor plans. The health department has requested that DILP scan them in so that Robert (Spencer) Freemont of Health is able to see them online, that is in addition to sending them the physical copy directly.

Please see attached:
4 pages of revised floor plans

Thank you,

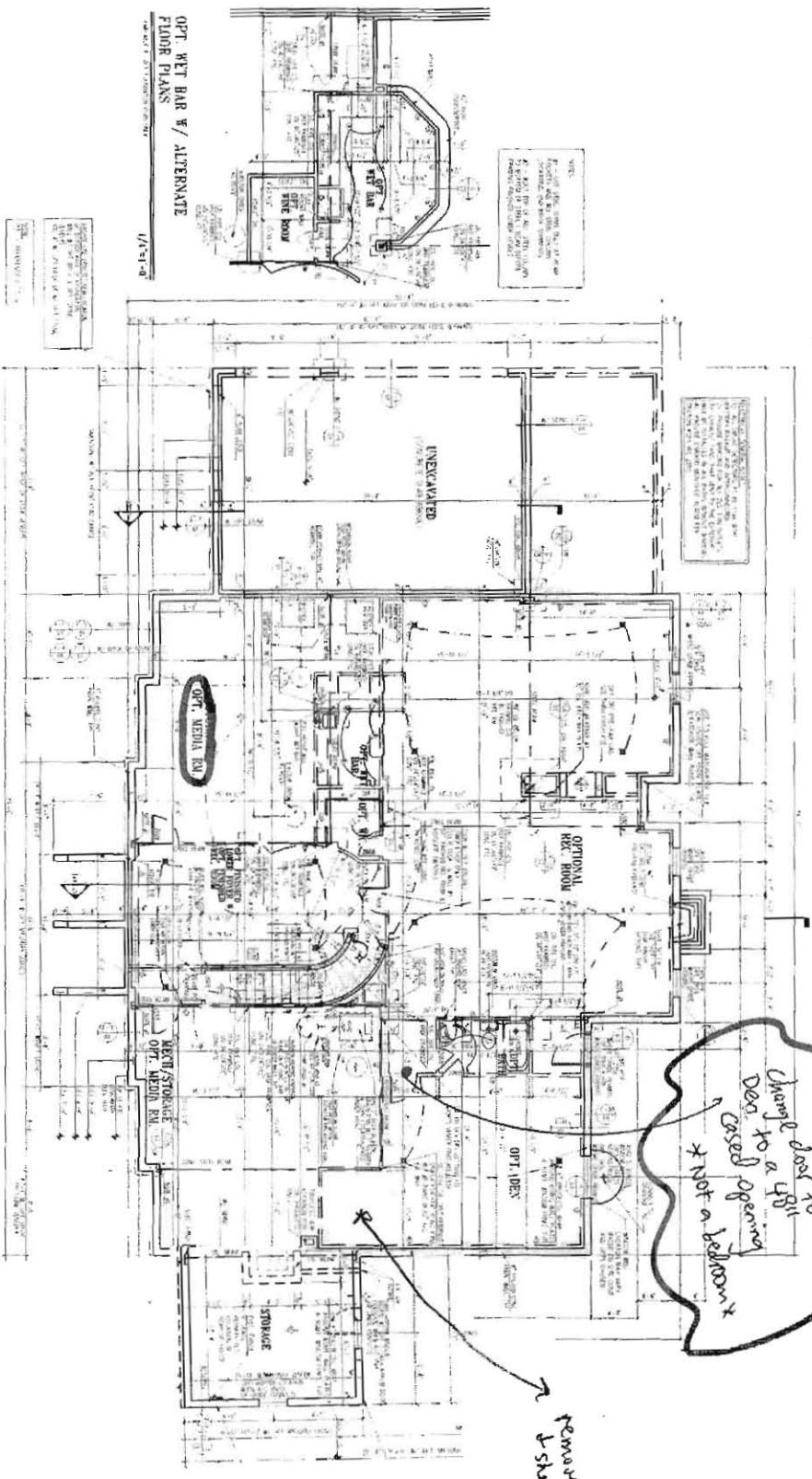


Rachel E. Carr
Carr Permitting Solutions for Craftmark Homes

Walnut Creek - lot 127
 5052 Lindera Ct
 Ellicott City, MD 21042

5 Bedrooms
 6 1/2 Baths

□ = Finished Areas of Home



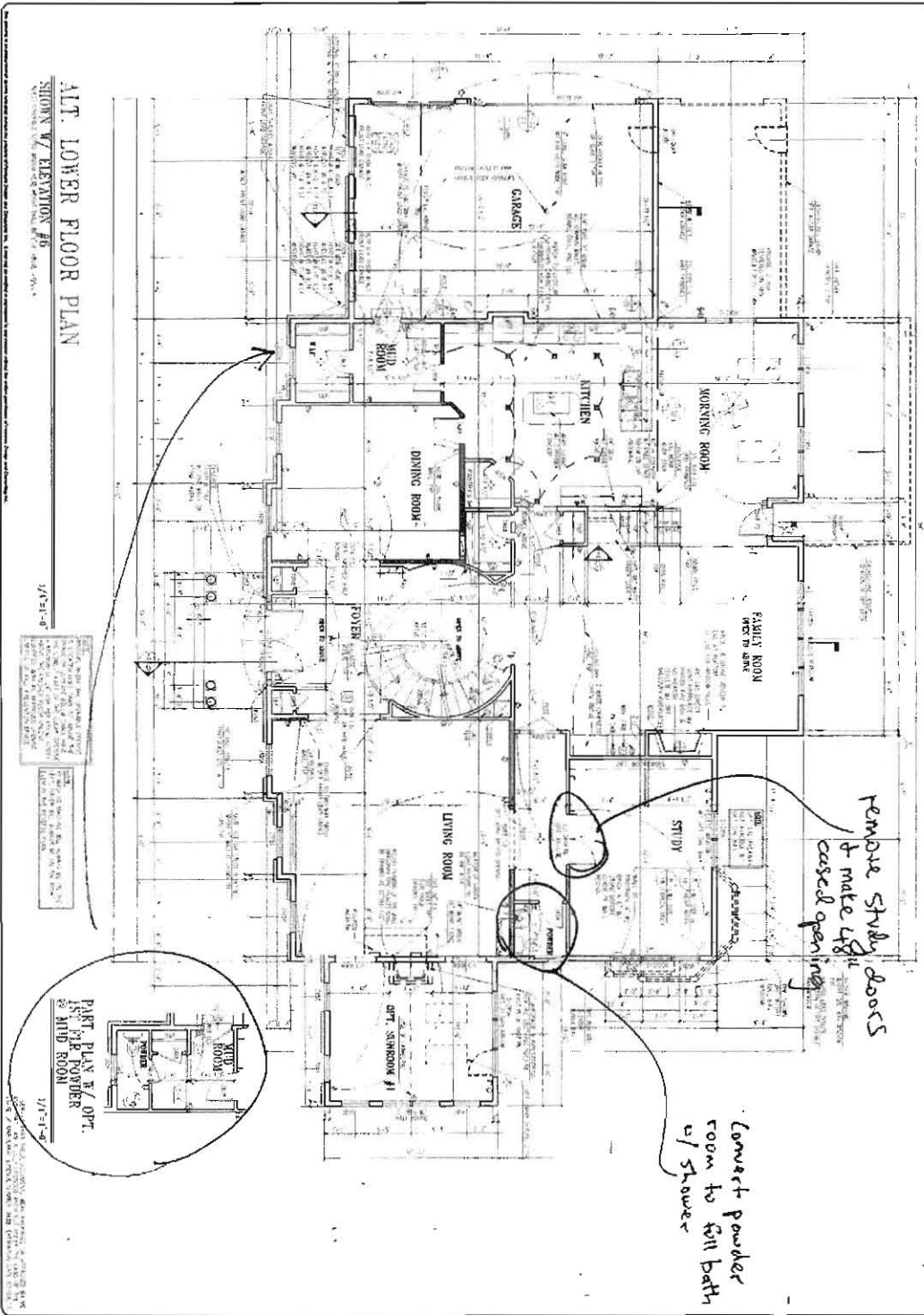
FOUNDATION/BASEMENT FLOOR PLAN
 W/ OPT. EXTENDED STUDY @ FIRST FLOOR OR ALTERNATE FIRST FLOOR
 SHOWN W/ ELEVATION #6
 1/15/18

REVISED

Date: 3/14/18

Comments: B18000425

Approved B18000425
 R/K



Optional powder room

Remove Study doors to make light cascad opening

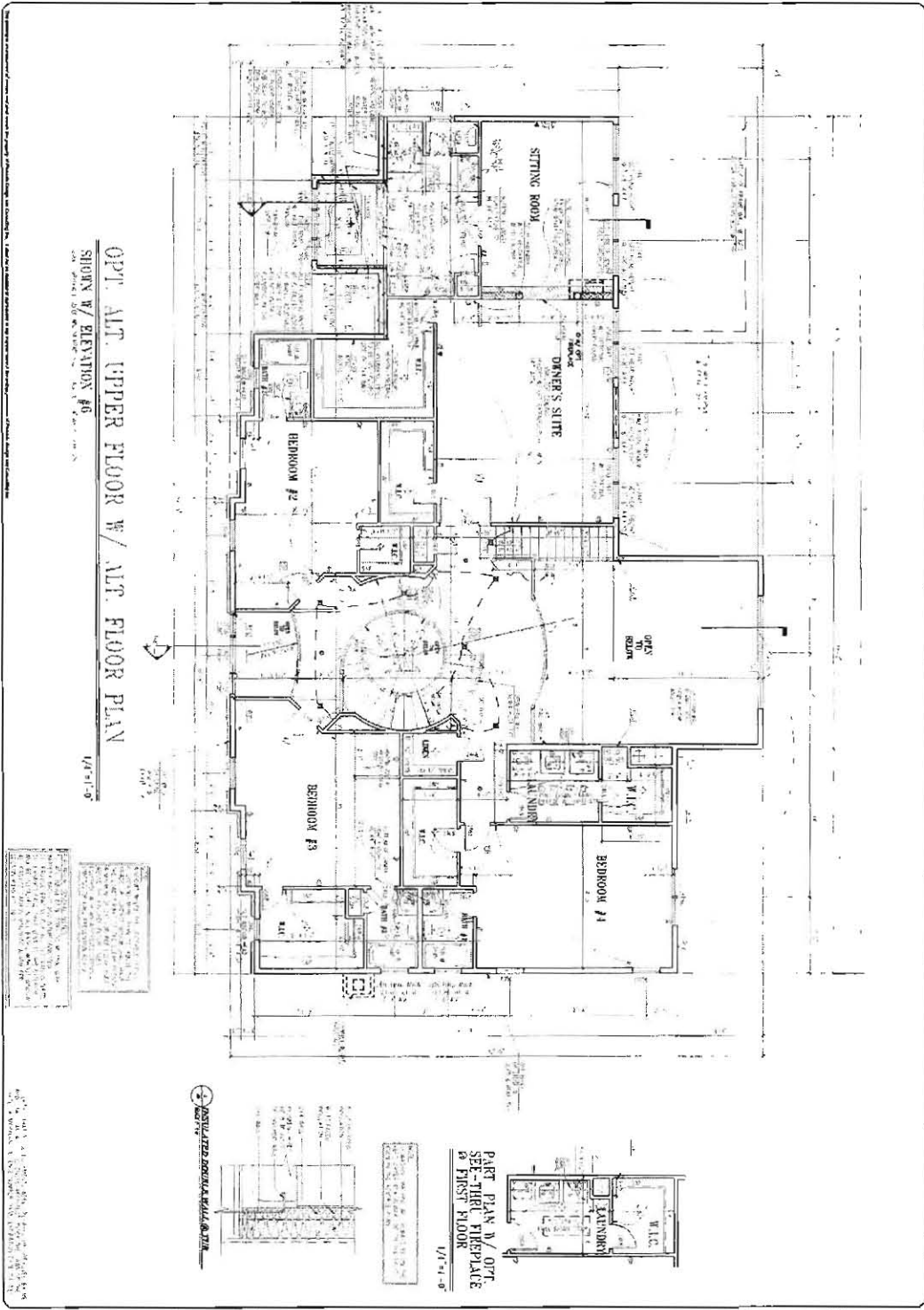
Convert powder room to full bath w/ shower

[---] = Finished Areas of house

NO.	DESCRIPTION	QTY	UNIT
1
2
3
4
5
6
7
8
9
10

OPT. ALTERNATE LOWER FLOOR PLAN
CRAFTMARK HOMES / KENWOOD II

Pinnacle Design & Consulting Inc.
 1190 7th Ave. S.W. - Suite 402 - Tallahassee, Florida 32304
 Tel: 904.224.0001 - Fax: 904.224.0002



□ = Finished Areas of Home

NO	ALT. UPPER FLOOR W/ ALT. FLOOR PLAN CRAFTMARK HOMES / KENWOOD II	PINNACLE DESIGN & CONSULTING, INC. <small>ARCHITECTS & PLANNERS • 11740 20th St. • Suite 201 • Fort Worth, Texas 76131 Phone: 817-332-1001 • Fax: 817-332-1002 • Website: www.pinnaclecd.com</small>
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Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: Craftmark Homes
1355 Beverly Rd. Ste.330
McLean, VA 22101

FROM: Robert Freemon *RIF*
Well & Septic Program

RE: Walnut Creek, Lot 127
5052 Linder Court
Ellicott City, MD 21042
"Bedrooms"

DATE: 2/29/18

I have reviewed the floor plans in support of Building Permit B18000425 for a new home at 5052 Linder Court and noted that there are 7 bedrooms (Basement (1)-Opt. Den; 1st Floor (1)-Study; 2nd Floor (4); Attic (1)) on the proposed floor plans. Please note that this lot is connected to the shared sewage system with a five bedroom per lot limitation. Any rooms that meet the definition below and have direct access to a full bath will be considered a bedroom. In order for a room not to be considered a bedroom it must meet one the requirements in paragraph 2.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned are of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

Freemon, Robert

To: David Schoen
Cc: carrache@gmail.com
Subject: RE: 5052 Lindera Court

David,
The floor plans look approvable. Submit these revised floor plans on 11" X 14" paper (or smaller) to the Dept. of Inspections, Licenses and Permits (DILP) and let them know you are changing the floor plans per Health's request. They should scan these plans in for me to view on their site, however I would make mention of it just to be clear. Once submitted let me know and I will look for the revised floor plans to be uploaded. When I see the floor plans we discussed uploaded to the site I will go ahead and approve the building permit. This will save you sometime since I will not need to wait for the physical copy to arrive at the Health Dept. from DILP. If you have any questions let me know.

*Robert "Spencer" Freemon
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health
Well and Septic Program
Phone: 410-313-6357
Email: rfreemon@howardcountymd.gov
Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>*

From: David Schoen [<mailto:dschoen@CraftmarkHomes.com>]
Sent: Tuesday, March 13, 2018 7:22 AM
To: Freemon, Robert
Cc: carrache@gmail.com
Subject: FW: 5052 Lindera Court
Importance: High

Good morning Mr. Freemon,

Thank you for speaking with me yesterday to clarify the issues with my diagrams and bedroom classifications. As we discussed, I have attached a new exhibit to this email for your review and approval.

I have summarized what we discussed and the corrections for same:

- 1) Basement Den – The main entry door to the Den has been removed and this entry way will be a 48" cased opening
- 2) Basement Den Closet – a portion of the wall and the door to the closet in the Den has been removed. The shelving in the closet will also be removed.
- 3) 1st floor Study – the double doors to enter the study have been removed and we will install a 48" cased opening instead.

With the above corrections, the house is now classified as a 5 bedroom home and complies with the shared septic requirements of this community. If you have any questions or need additional information, please don't hesitate to contact me directly.

I have included Rachel on this email and will discuss the resubmittal of this package to DILP, as you directed. When we spoke, I mentioned the timing of this permit release is critical at this point since I missed several weeks of response time due to an email glitch mentioned below. I would really appreciate if you could help expedite your approval on this one.

Thanks,

Dave Schoen
Production Manager
Craftmark Homes, Inc.
703-898-0377

From: "Freemon, Robert" <rfreemon@howardcountymd.gov>
Subject: FW: 5052 Lindera Court
Date: March 12, 2018 at 9:56:57 AM EDT
To: "carrache@gmail.com" <carrache@gmail.com>

Hi Rachel,

I am forwarding you my email from February 28th. I somehow missed the e in your email address and never received a bounce back. My apologies. If you have any questions let me know.

Robert "Spencer" Freemon
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health
Well and Septic Program
Phone: 410-313-6357
Email: rfreemon@howardcountymd.gov
Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>

From: Freemon, Robert
Sent: Wednesday, February 28, 2018 10:58 AM
To: 'carrach@gmail.com'
Subject: 5052 Lindera Court

Hi,

Here are my comments for building permit B18000425. If you have any questions let me know.

Robert "Spencer" Freemon
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health
Well and Septic Program
Phone: 410-313-6357
Email: rfreemon@howardcountymd.gov
Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>

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Date: 3/14/18
 To: Robert "Spencer" Freeman - Health
(Person's Name and Division)
 From: Rachel Carr 240 988-7309
(Your Name, Company Name and Telephone Number)
 Subject: Project name Walnut Creek
 Project site address 5052 Lundera Court, Ellicott City, MD
 Permit # B18000425 SDP # 21042
 Other information pertinent to this project _____

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- Letter Summarizing Changes
- Energy conservation calculations
- Copies of Revised Floor plans (see specific) Change door opening to wall door + shelving, remove study door (to 48" opening), powder room to Full bath, Health Department Request DPZ/DED Request Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other _____

Contact Person Information: (Required)

Rachel Carr
 Please Print Name

Telephone No: 240-988-7309

E-Mail Address: Carr Rachel@gmail.com

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Received by AKH

PER HEALTH DEPT
REQ.

RECEIVED

MAR 14 2018

LICENSES & PERMITS
DIVISION

CPS

CARR PERMITTING SOLUTIONS

3/14/2018

Howard County Department

re: Lot # 127, Walnut Creek – Building #B18000425

Dear Howard County Permitting Department:

Per Health Department instructions, please find attached revised floor plans. The health department has requested that DILP scan them in so that Robert (Spencer) Freemont of Health is able to see them online, that is in addition to sending them the physical copy directly.

Please see attached:
4 pages of revised floor plans

Thank you,



Rachel E. Carr
Carr Permitting Solutions for Craftmark Homes

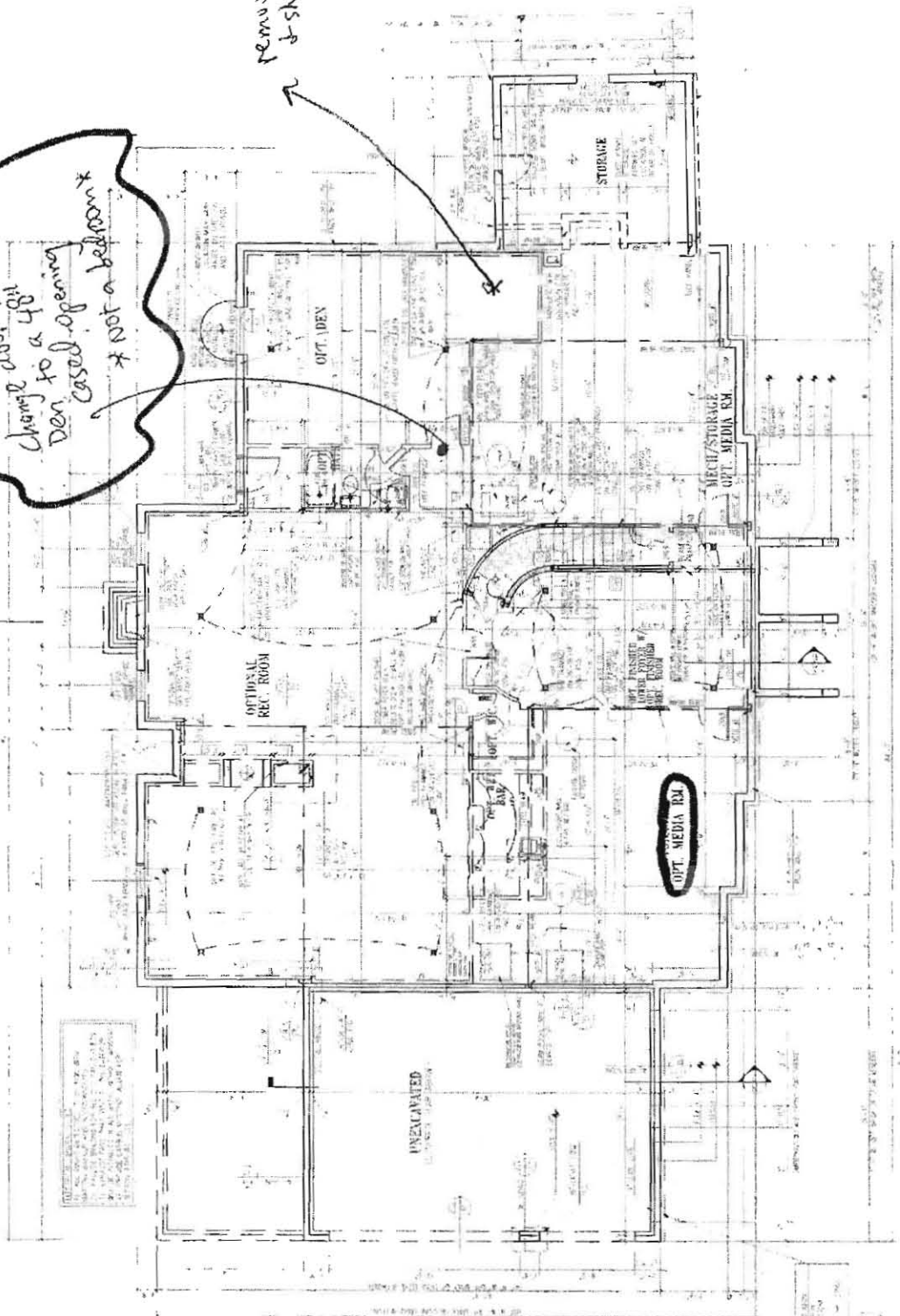
Walnut Creek - lot 127
 5052 Lindera Ct
 Ellicott City, MD 21042

5 Bedrooms
 6 1/2 Baths

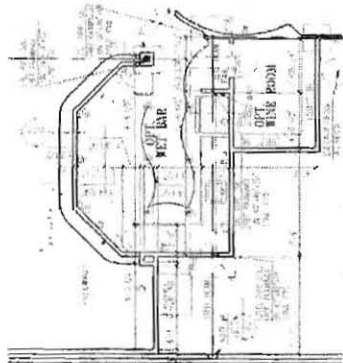
□ = Finished Areas of Home

Change door to
 Den to a 48"
 Casel opening
 * Not a bedroom*

Remove wall/door
 ↓ shelving



NOTES:
 1. ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD.
 2. ALL FLOORS TO BE FINISHED WITH 3/4" OSB BOARD.
 3. ALL CEILING TO BE FINISHED WITH 5/8" GYP BOARD.
 4. ALL DOORS TO BE FINISHED WITH 1 3/4" SOLID CORE DOORS.
 5. ALL WINDOWS TO BE FINISHED WITH 1 3/4" SOLID CORE WINDOWS.



OPT. WET BAR W/ ALTERNATE FLOOR PLANS

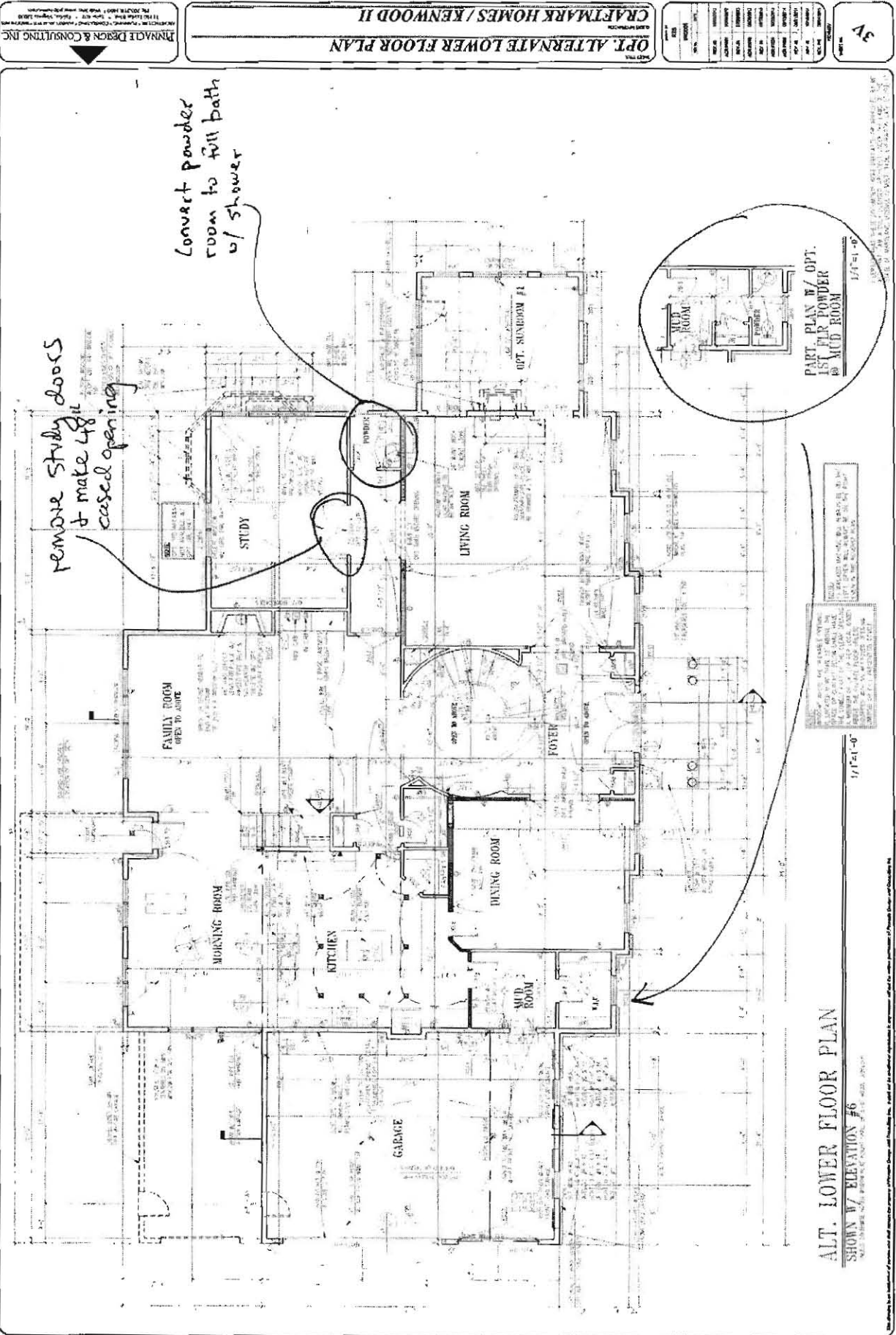
1/4" = 1'-0"

FOUNDATION/BASEMENT FLOOR PLAN

W/ OPT. EXTENDED STUDY & FIRST FLOOR OF ALTERNATE FIRST FLOOR SHOWN W/ ELEVATION #6

1/4" = 1'-0"

[] = Finished Areas of home



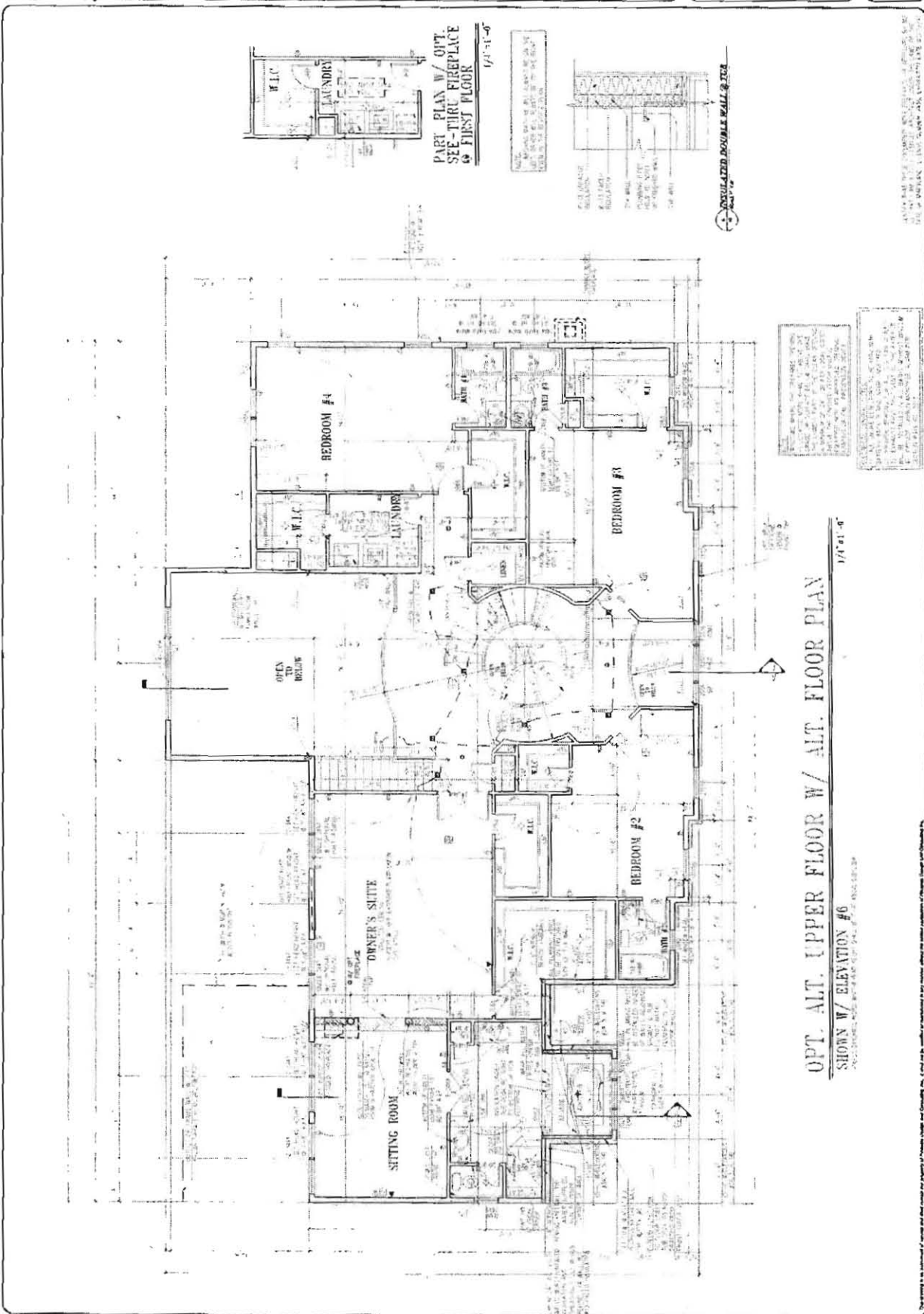
□ = Finished Areas of Home

PRINCIPLE DESIGN & CONSULTING, INC.
 11100 Parkway, Suite 100
 Dallas, Texas 75244
 (214) 343-1100

ALT. UPPER FLOOR W/ ALT. FLOOR PLAN
 CRAFTMARK HOMES / KENWOOD II

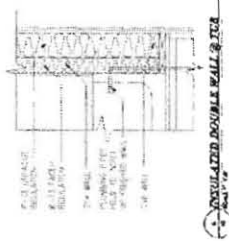
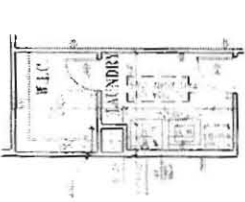
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/11/04
2	ISSUED FOR PERMITS	08/11/04
3	ISSUED FOR PERMITS	08/11/04
4	ISSUED FOR PERMITS	08/11/04
5	ISSUED FOR PERMITS	08/11/04
6	ISSUED FOR PERMITS	08/11/04
7	ISSUED FOR PERMITS	08/11/04
8	ISSUED FOR PERMITS	08/11/04
9	ISSUED FOR PERMITS	08/11/04
10	ISSUED FOR PERMITS	08/11/04

AD



NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING CODE BOOK (IMPC).
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRICAL CODE BOOK (IEC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND ALARM CODE BOOK (IFAC).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CONSTRUCTION CODE BOOK (IBCC).
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE BOOK (IECC).
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE AND ALARM CODE BOOK (ISAC).
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING CODE BOOK (IMPC).
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRICAL CODE BOOK (IEC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND ALARM CODE BOOK (IFAC).
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CONSTRUCTION CODE BOOK (IBCC).
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE BOOK (IECC).
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE AND ALARM CODE BOOK (ISAC).

OPT. ALT. UPPER FLOOR W/ ALT. FLOOR PLAN
 SHOWN W/ ELEVATION #6
 1/4" = 1'-0"



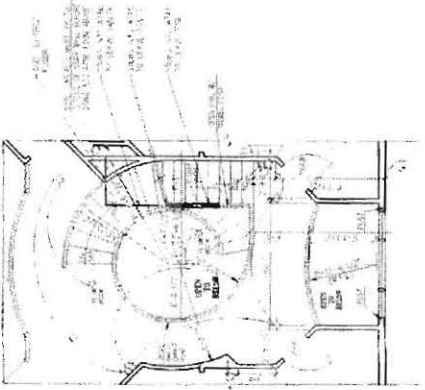
= Finished Areas of Home

Pinnacle Design & Consulting, Inc.
 11200 Park Blvd. - Suite 402 - Dallas, Texas 75244
 972.343.1100 - Fax: 972.343.1101
 www.pinnacleconsulting.com

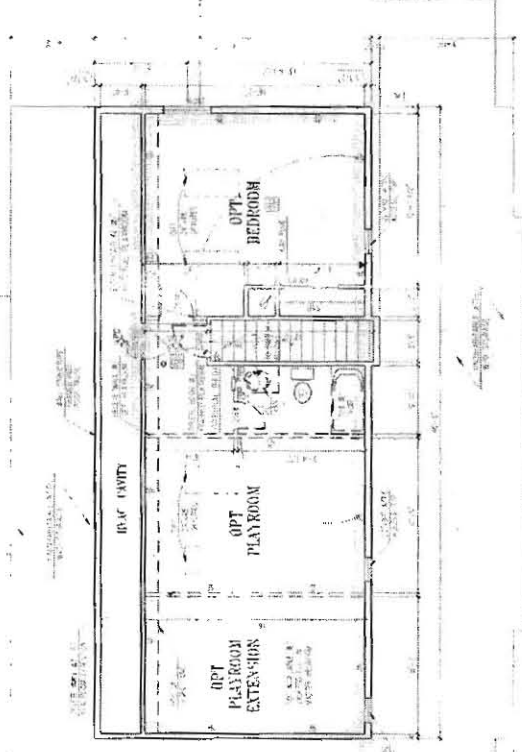
OPT ATTIC PLAN
 CRAFTMARK HOMES / KENWOOD II

NO.	DATE	BY	CHKD.	DESCRIPTION
1	11/11/08
2
3
4
5
6
7
8
9
10

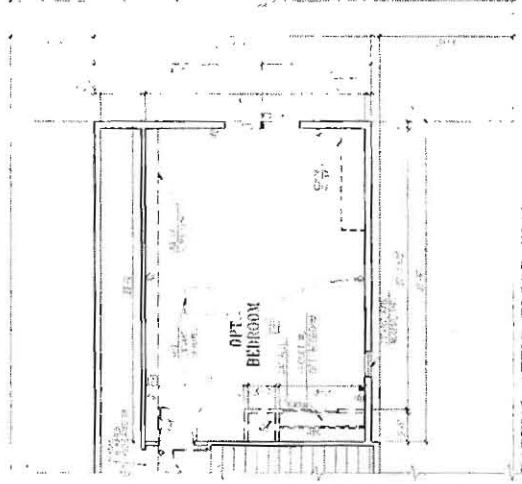
SHEET NO. 5
 OF 10



UPPER HALL W/ OPT.
 ATTIC STAIR
 1/11=1'-0"



OPTIONAL ATTIC FLOOR PLAN
 1/11=1'-0"



PARTIAL ATTIC FLOOR PLAN
 W/ OPT STUDY
 1/11=1'-0"

ALL WORK SHALL BE ACCORDING TO THE APPROVED PERMITS AND LOCAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.