



HEALTH

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 10/4/18

Permit No.: B18003451

Building Address: 3405 JENNINGS CHAPEL RD
City: WOODBINE State: MD Zip Code: 21797
Suite/Apt. #: _____ SDP/WP/BA #: _____
Subdivision: _____
Lot: 32 Tax Map: 0020/0005 Parcel: 0097

Property Owner's Name: DOMINIC MAGNIA
Address: 3405 Jennings Chapel Rd
City: Jessup State: MD Zip Code: 21797
Phone: 240 398 6548 Fax: _____
Email: _____

Existing Use: Single Family
Proposed Use: Single Family
Estimated Construction Cost: \$ 20,000.00
Description of Work: Demo Existing Concrete Patch. INSTALL NEW 320 SF FRONT PORCH

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: Michael Crook
Address: 2065 Montevideo Rd
City: Jessup State: MD Zip Code: 20794
Phone: 410 766 1596 Fax: 410 766 1590
Email: info@nexterior.net

Contractor Company: Nexterior
Contact Person: Michael Crook
Address: 2065 Montevideo Rd
City: Jessup State: MD Zip Code: 20794
License No.: 105773
Phone: 410 766 1596 Fax: 410 766 1590
Email: info@nexterior.net

Occupant/Tenant Name: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: Bluehouse Architecture
Responsible Design Prof.: _____
Address: 1993 Bailey Rd
City: Marysville State: MD Zip Code: 2104
Phone: 410 549 3377 Fax: 410 549 3377
Email: mclark@bluehouseARCH.com

Commercial Building Characteristics	Residential Building Characteristics	
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories: _____	Depth	Width
Gross area, sq. ft./floor: _____	1 st floor: _____	
Area of construction (sq. ft.): <u>320</u>	2 nd floor: _____	
Use group: _____	Basement: _____	
Construction type: _____	<input type="checkbox"/> Finished Basement	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement	
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Wood Frame	No. of Bedrooms: _____	
<input type="checkbox"/> State Certified Modular	No. of 1 BR units: _____	
	No. of 2 BR units: _____	
	No. of 3 BR units: _____	
	Other Structure: _____	
	Dimensions: _____	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____	
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Michael N L Crook
Applicant's Signature
Mike@nexterior.net
Email Address
President - Nexterior
Title/Company

MICHAEL N L CROOK
Print Name
Oct 1, 2018
Date

RECEIVED
OCT 04 2018

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

LICENSES & PERMITS
DIVISION

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>10/24/2018</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	_____
Rear:	_____
Side:	_____
Side St.:	_____
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	_____
SDP/Red-line approval date:	_____

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$ <u>52.00</u>
Tech Fee	\$ _____
Excise Tax	\$ _____
PSFS	\$ _____
Guaranty Fund	\$ _____
Add'l per Fee	\$ _____
Total Fees	\$ <u>88.36</u>
Sub- Total Paid	\$ _____
Balance Due	\$ _____
Check	# <u>1443</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

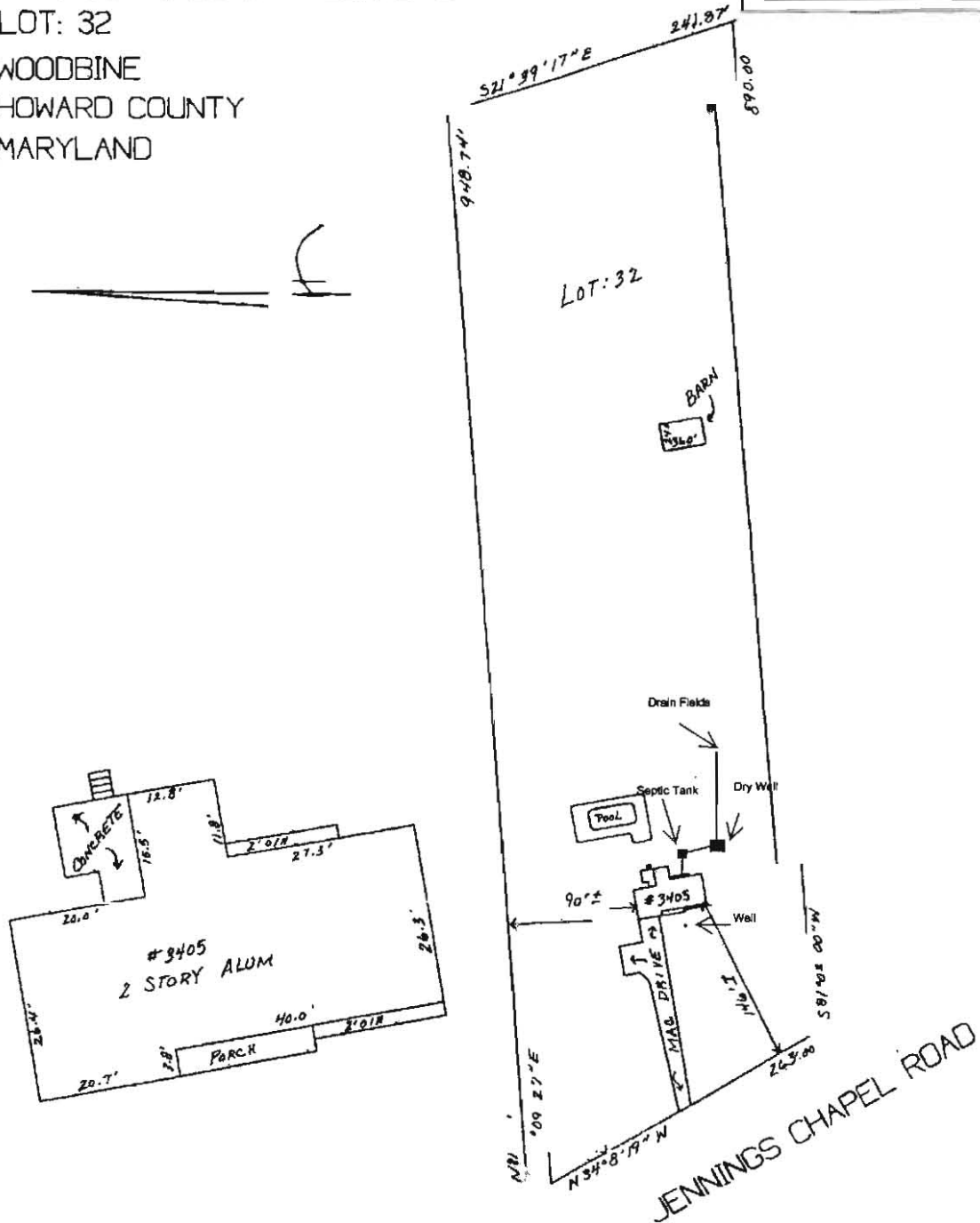
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CONSUMER INFORMATION NOTES

1. THIS PLAN IS A BENEFIT TO A CONSUMER INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR RE-FINANCING.
2. THIS PLAN IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS.
3. THIS PLAN DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.

3405 JENNINGS CHAPEL ROAD
 LOT: 32
 WOODBINE
 HOWARD COUNTY
 MARYLAND

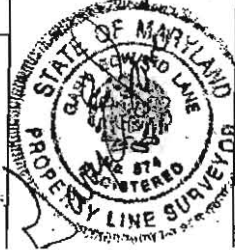
THIS PROPERTY IS LOCATED
 IN ZONE C I AREA OUTSIDE
 THE 100 YEAR FLOOD ZONE
 HAZARD MAP.



HOUSE LOCATION DRAWING

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE PROPERTY DELINEATED HEREON IS IN ACCORDANCE WITH THE PLAT OF SUBDIVISION AND DEED OF RECORD AND THAT THE IMPROVEMENTS SHOWN WERE LOCATED BY ACCEPTED FIELD PRACTICES. THIS HOUSE LOCATION SURVEY IS NOT FOR THE DETERMINING PROPERTY LINES, AND NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, AND LOT CORNERS HAVE NOT BEEN SET BY THIS SURVEY.



DOE NORTH SURVEYS

604 SALTZMAN ROAD
 SEVERNA PARK, MARYLAND 2146

PHONE (410) 647-7877

FAX (410) 647-7848

SCALE

DATE BY

CASE NO.

1" = 120'

DMS

MSL3041-07

LIBER 6173

ELECTION DISTRICT

COUNTY

FOLD 226

4

HOWARD

DATE

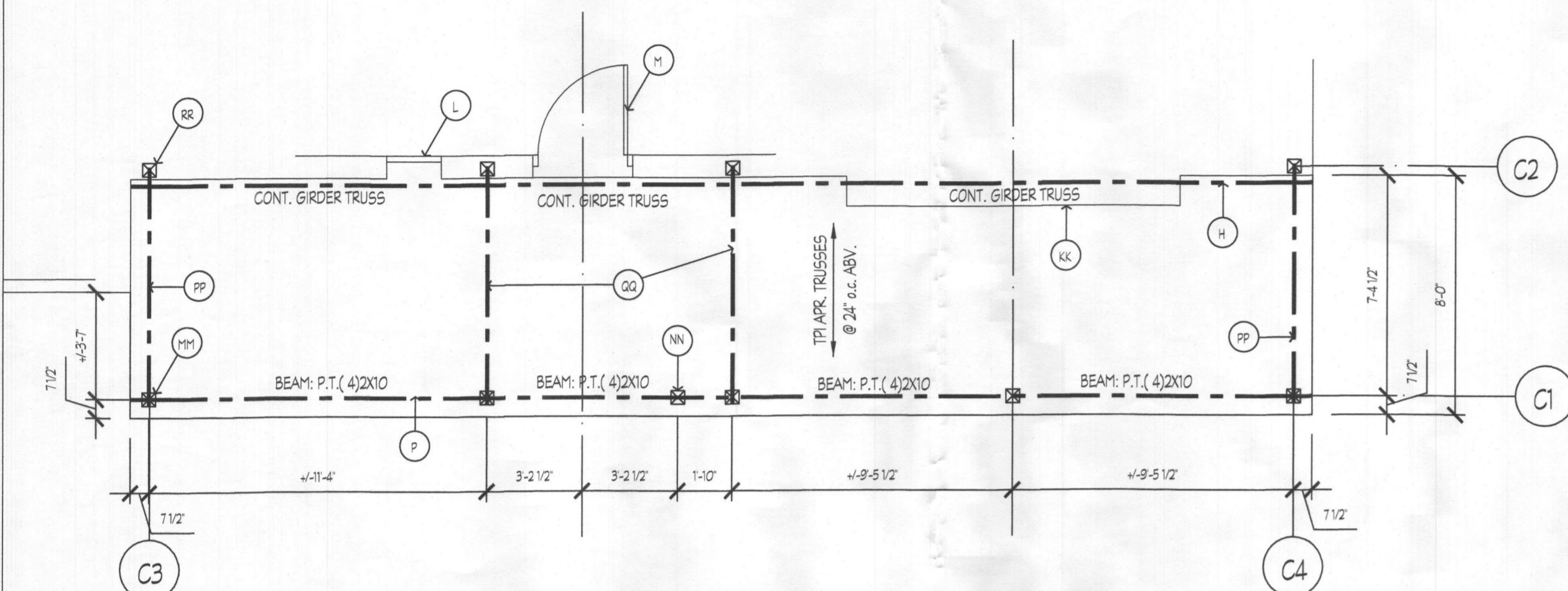
12/4/07

Approved B18003451
 RAE 10/24/2018

FRONT PORCH ADDITION FOR THE:

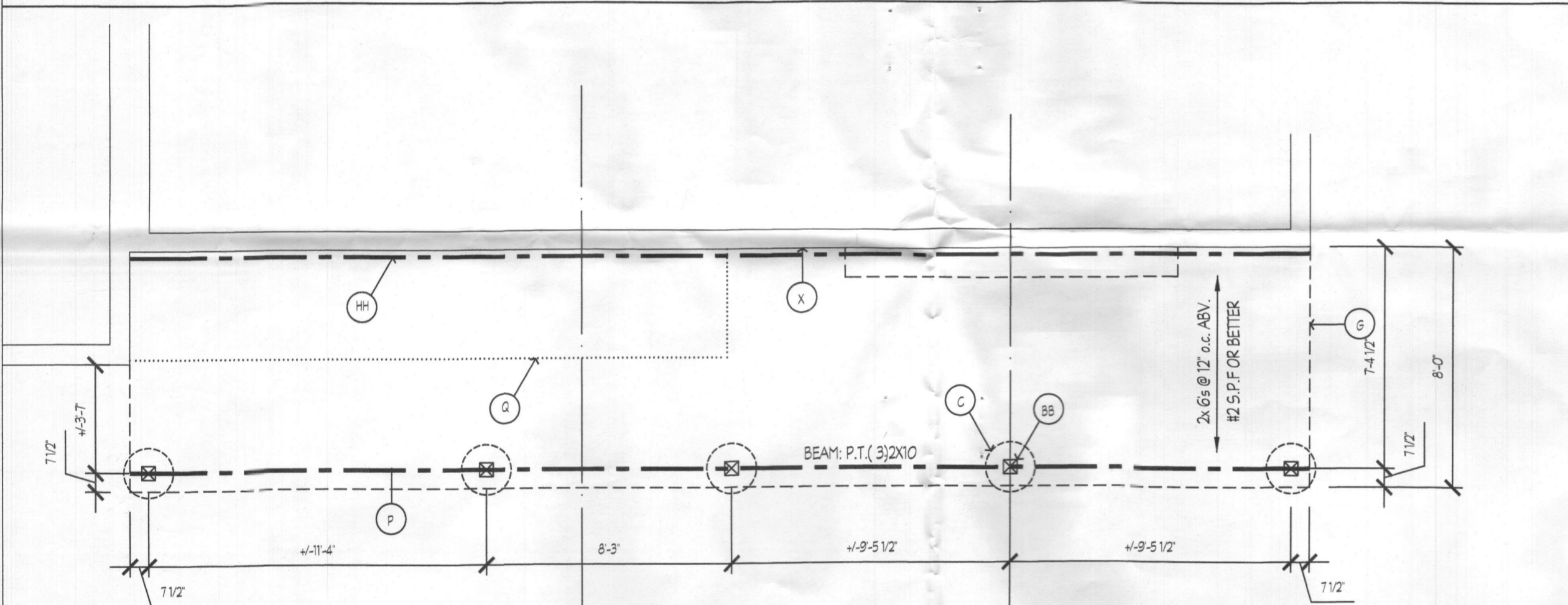
MAGNOLIA RESIDENCE

3405 Jennings Chapel Road
Woodbine, Maryland 21797



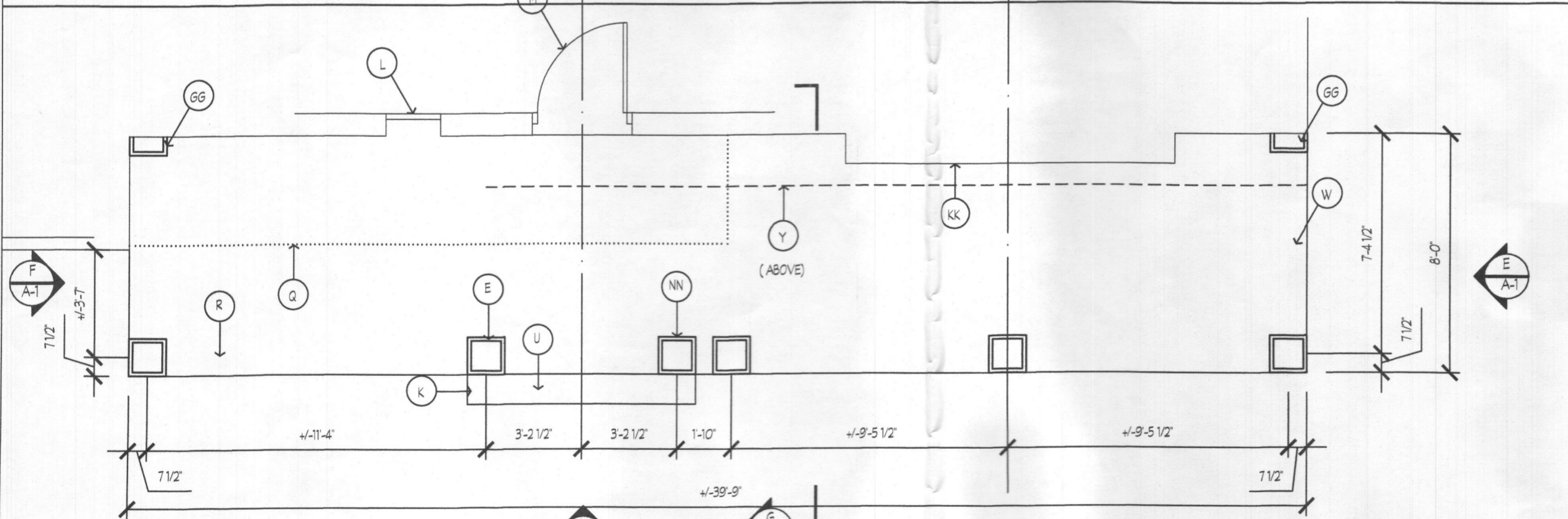
A ROOF FRAMING PLAN

A-1 1/4" = 1'-0"



B PORCH FRAMING & FOUNDATION PLAN

A-1 1/4" = 1'-0"

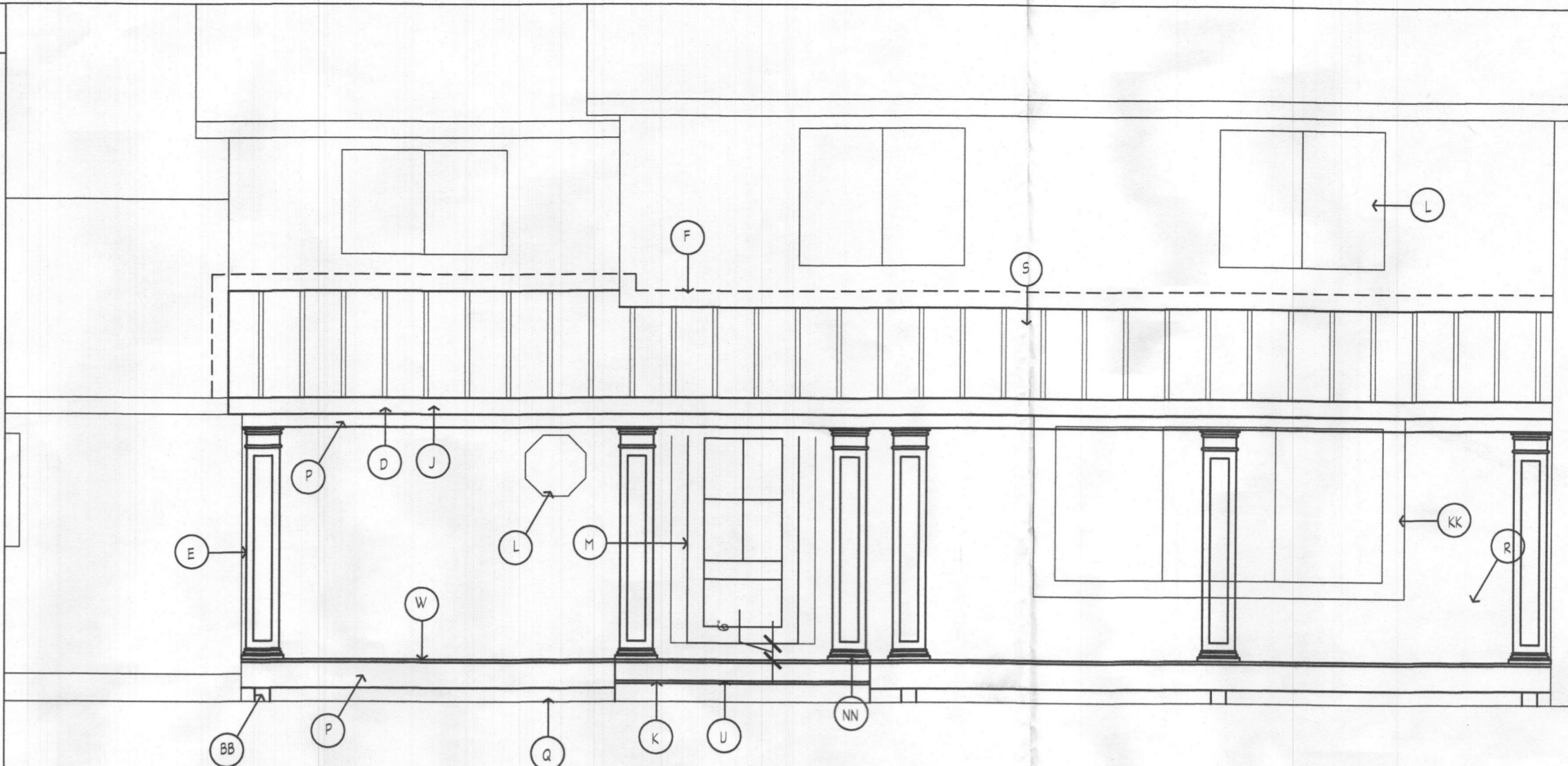


C PORCH PLAN

A-1 1/4" = 1'-0"

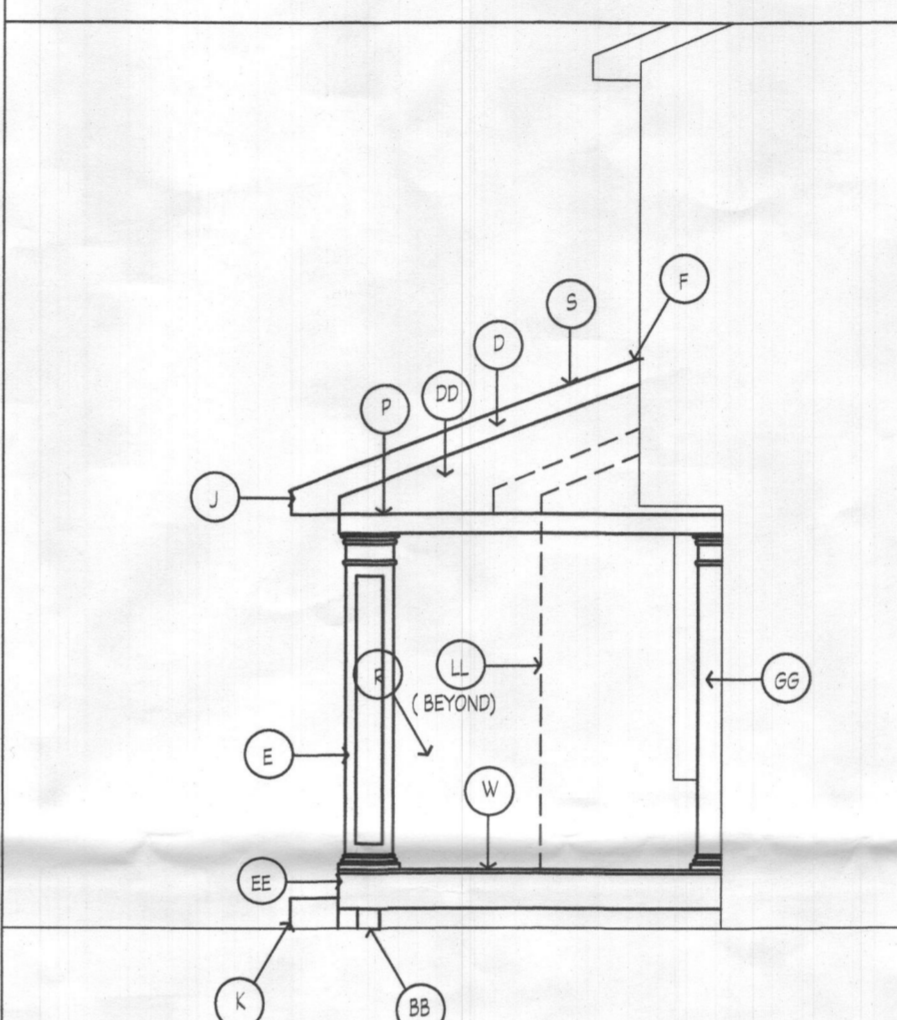
NOTES AND SPECIFICATIONS

DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS
 3121 A: VERIFY ALL DIMENSIONS IN FIELD. BLUEHOUSE ARCHITECTURE, LLC ASSUMES NO RESPONSIBILITY FOR THE ACCURACY NOR THE COMPLETENESS OF EXISTING CONDITIONS SHOWN, EXCEPT WHERE OTHERWISE NOTED. DIMENSIONS SHOWN ARE TAKEN TO FINISHED SURFACES.
 2113 A: UNLESS OTHERWISE DIRECTED BY OWNER, CONTRACTOR SHALL ARRANGE TO OBTAIN AND SHALL PAY FOR ALL PERMITS NECESSARY FOR THE INSTALLATION OF HIS WORK.
 22600 A: NO PRODUCTS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS SHOULD BE USED.
DIVISION 01 - GENERAL REQUIREMENTS
 11113 A: WORK COVERED BY CONTRACT DOCUMENTS GROUPING OF SPECIFICATIONS INTO DIVISIONS IS NOT INTENDED TO DELINEATE DIVISIONS OF TRADES UNDER THE CONTRACT.
 11418 A: FURNISH TEMPORARY PROTECTION, BARRICADES, LIGHTS, SIGNALS, AND OTHER PROTECTION REQUIRED BY STATE OR LOCAL LAWS AND ORDINANCES DURING CONSTRUCTION.
 11419 B: PROVIDE PROPER STORAGE FOR ALL MATERIALS AND EQUIPMENT. VERIFY SITE ACCESS, STORAGE AND PARKING AREAS WITH OWNER AND WITH AUTHORITIES OF JURISDICTION.
 12500 A: SUBSTITUTIONS OF SPECIFIED PRODUCTS WILL BE CONSIDERED ONLY UPON SUBMISSION OF PROOF OF EQUIVALENCY. THE OWNER'S DECISION AS TO EQUIVALENCY SHALL BE FINAL. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROPER FIT, PERFORMANCE, ADDITIONAL WORK, COORDINATION, AND EXPENSE RESULTING FROM SUBSTITUTION.
 14113 A: ALL WORK SHALL CONFORM TO REQUIREMENTS OF 2015 EDITION OF INTERNATIONAL RESIDENTIAL CODE, NATIONAL STANDARD PLUMBING CODE ILLUSTRATED, NATIONAL ELECTRICAL CODE, AND ALL OTHER GOVERNING AGENCIES AND/OR AUTHORITIES AND/OR CODES HAVING JURISDICTION.
 14213 A: PLEASE SEE THE BIDDING DOCUMENTS FOR A LISTING OF ABBREVIATIONS AND ACRONYMS USED FOR THIS PROJECT.
 14500 A: ALL PRODUCTS SPECIFIED SHALL BE DELIVERED, STORED, AND INSTALLED AS RECOMMENDED BY THEIR MANUFACTURERS IN A MANNER WHICH WILL NOT VOID THE PRODUCT WARRANTY.
 17523 A: PROPERLY SHORE, ANCHOR, AND BRACE ALL PORTIONS OF EXISTING STRUCTURES TO REMAIN DURING DEMOLITION.
 17329 A: CUTTING AND PATCHING-PATCH AND REPAIR ANY AREAS DISTURBED BY CONSTRUCTION TO MATCH ADJACENT SURFACES.
 17419 A: UNLESS ITEMS ARE IDENTIFIED TO BE SALVAGED AND TURNED OVER TO OWNER, DISPOSE OF ALL DEMOLISHED MATERIALS IN A LAWFUL MANNER OFF SITE. DELIVER SALVAGED ITEMS IN UN Damaged CONDITION TO LOCATION AS REQUESTED BY OWNER.
DIVISION 02 - EXISTING CONDITIONS (NO WORK SPECIFIED)
DIVISION 03 - CONCRETE
 33000 A: COMPLY WITH APPLICABLE REQUIREMENTS OF ACI 301 AND 318. FOR READY-MIX CONCRETE COMPLY WITH ASTM C 84. IN HOT WEATHER COMPLY WITH ACI 305. IN COLD WEATHER COMPLY WITH ACI 306. FOR FORMWORK COMPLY WITH ACI 347.
 33000 B: ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 2'-0" BELOW FINISHED GRADE AND ON VIRGIN SOIL.
 33000 C: PROVIDE STONE-AGGREGATE 3000 PSI CONCRETE FOR FOOTINGS AND 3500 PSI CONCRETE FOR ALL SLABS ON GRADE. PROVIDE AIR-ENTRAINED CONCRETE (4% TO 6%), BROOM-FINISHED, FOR ALL EXTERIOR CONCRETE. ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE PROHIBITED. AGGREGATE SIZE SHALL BE 1" MAXIMUM, AND BUMP SHALL BE 4" MAXIMUM. PROVIDE WATER-REDUCING ADMIXTURE PER MANUFACTURER'S RECOMMENDATIONS IN ALL CONCRETE EXCEPT FOOTINGS.
 33000 D: EXCEPT WHERE OTHERWISE NOTED, SLABS ON GRADE SHALL BE 4" THICK CONCRETE REINFORCED WITH #4 F-114W14 WWF OVER 10-MIL POLYETHYLENE AND 4" WASHED GRAVEL. PROVIDE 2" X 24" CONTINUOUS EXTRUDED POLYSTYRENE PERIMETER INSULATION AT EXTERIOR EDGE OF INTERIOR SLABS.
 33000 E: TROWEL SLABS TO LEVEL TOLERANCE OF 1/8" IN 10'.
DIVISION 04 - MASONRY (NO WORK SPECIFIED)
DIVISION 05 - METALS (NO WORK SPECIFIED)
DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES
 61000 A: STRUCTURAL LUMBER (EXCEPT STUDS AND PLATES); NORTHERN (CANADIAN) S-P-F #2 OR BETTER; FB = 1000 PSI (FOR 2 X 10, REPETITIVE USES); E = 1,400,000 PSI. LUMBER FOR STUDS AND PLATES; S-P-F #1 OR BETTER; FB = 1400 PSI; E = 1,200,000 PSI. 19% MAXIMUM MOISTURE CONTENT, S4S.
 61000 B: ALL LUMBER IN CONTACT WITH EARTH, MASONRY, OR CONCRETE SHALL BE PRESSURE-TREATED SOUTHERN PINE.
 61000 C: SPIKE ALL MULTIPLE HEADERS TOGETHER WITH MINIMUM 16D NAILS AT 18" O.C. STAGGERED.
 61000 D: ALL LINTELS IN WOOD FRAMING SHALL BE MINIMUM OF (2) 2 X 10S (UNLESS NOTED OTHERWISE).
 61000 E: WHERE SIZES OF FRAMING LUMBER ARE NOTED, PROVIDE NOMINAL SIZES (INCHES ARE ASSUMED); I.E. 2 X 4 NOMINAL = 1-1/2" X 3-1/2" ACTUAL, ETC.
 61000 F: PROVIDE METAL FASTENERS AS NOTED AND APPROPRIATE FOR JOINT CONDITIONS. GLUE-NAIL SUBFLOORING. STAPLE OR NAIL SHEATHING AND UNDERLAYMENT.
 61000 G: JOISTS 2 X 10 OR GREATER SHALL BE SUPPORTED LATERALLY BY SOLID BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL), OR 1 X 3" BRIDGING NAILED TO THE BOTTOM OF THE JOISTS AT INTERVALS NOT EXCEEDING 10 FEET.
 61600 A: ALL PLYWOOD SHALL BE GRADE STAMPED, ROOF SHEATHING: APA RATED SHEATHING SQUARE EDGE, THICKNESS NOTED, COMBINATION SUBLOOR UNDERLAYMENT: APA RATED STURD-FLOOR T&G EDGE, UNDERLAYMENT: APA UNDERLAYMENT EXT. BUILDING PAPER, 3/8" FELT, ASPHALT IMPREGATED. AIR INFILTRATION BARRIER: DUPONT "TYVEK" SILL SEALER GASKET; 1" FIBERGLASS. INSTALL AND CONNECT IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
 61600 B: FOR PLYWOOD 1/2" IN THICKNESS AND LESS, USE "H" CLIPS AT MIDPOINT FOR SPANS GREATER THAN 16" O.C.
 61600 C: INSTALL DOUBLE STUD EACH END ALL WOOD BEAMS OR LINTELS UNLESS NOTED OTHERWISE.
 61600 D: ATTACH WOOD SILL PLATES, ETC., TO CONCRETE SLABS WITH POWER-ACTUATED FASTENERS UNLESS NOTED OTHERWISE. SPACE FASTENERS AT 2'-0" O.C. MAX. STAGGERED. MINIMUM CAPACITY OF EACH FASTENER SHALL BE 100 POUNDS IN SHEAR AND PULLOUT, UNLESS NOTED OTHERWISE.
 61600 E: NO OPENINGS IN BEAMS OR JOISTS SHALL BE CUT WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
 81753 A: WOOD TRUSSES SHALL BE FURNISHED BY AN APPROVED LICENSED FABRICATOR IN ACCORDANCE WITH COMPLETE SHOP DRAWINGS PREPARED BY A MARYLAND-REGISTERED ENGINEER. SUBMIT SHOP DRAWINGS TO THE OWNER FOR REVIEW PRIOR TO FABRICATION. REVISIONS TO CONTRACT DRAWINGS ARE NOT ACCEPTED. ALL TRUSSES SHALL BE STAMPED AND CERTIFIED. ALL HANDLING, ERECTING AND FIXING OF WOOD TRUSSES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS NOTED ON THE TRUSS SHOP DRAWINGS.
 82023 A: ALL EXTERIOR MILLWORK SHALL BE DOUGLAS FIR, HEMLOCK, OR RED CEDAR, B GRADE OR BETTER.
 84300 A: PROVIDE PRESSURE-TREATED WOOD STAIRS COMPLETE IN ALL RESPECTS, INCLUDING S4 TREADS, 4x RISERS, STRINGERS, NEWELS, BALUSTERS, AND HANDRAILS, WITH ALL REQUIRED TRANSITION COMPONENTS. IF REQUIRED BY GRADE/CODE, ALL HANDRAILS AT STAIRS UNLESS INDICATED TO THE CONTRARY SHALL BE 3'-0" ABOVE NOSE OF STAIR TREAD, FASTENED TO WALL (WHERE PRESENT) WITH BRACKETS PROVIDING 1-1/2" CLEARANCE BETWEEN RAIL AND WALL. GUARDRAILS AT LANDINGS SHALL BE 3'-0" HIGH. AT OPEN RAIL CONDITIONS, PROVIDE INTERMEDIATE BALUSTERS SO THAT THE MAXIMUM DISTANCE BETWEEN BALUSTERS SHALL BE 4".
 85300 A: PROVIDE EXTERIOR WOOD DECKING AS INDICATED ON DRAWINGS; AZEK BRAND, BECKON OR PURGE, IN COLOR AS SELECTED BY OWNER. PROVIDE MATCHING 1 1/2" PLANKS FOR STAIR TREADS AS SHOWN.
 86000 A: PROVIDE VINYL TRIM AS MANUFACTURED BY AZEK OR VERATEX.
 88300 A: PVC VINYL WRAPS SHALL BE AS MANUFACTURED BY NTEX MILLWORKS. PROVIDE ALL REQUIRED FASTENERS AND ADHESIVES PER MANUFACTURER RECOMMENDATIONS.
 86300 B: PROVIDE VINYL RAILINGS AND PICKETS AS REQUIRED BY CODE/GRADE. ALL HANDRAILS SHALL BE 3'-0" ABOVE DECK SURFACE. MAXIMUM DISTANCE BETWEEN BALUSTERS SHALL BE 4".
DIVISION 07 - THERMAL & MOISTURE PROTECTION
 72500 A: PROVIDE WEATHER BARRIERS (I.E. TYVEK HOUSEWRAP) IN AREAS AS REQUIRED AND APPROVED BY ARCHITECT.
 72500 A: IN ADDITION TO ROOFER'S FELT, PROVIDE GAP "BIFORMGUARD" OR EQUAL WEATHER-RESISTANT UNDERLAYMENT AT EAVES AND VALLEYS.
 73113 A: ALL COMPOSITION SHINGLES SHALL BE 35-YEAR "TIMBERLINE" CLASS A FIBERGLASS, AS MANUFACTURED BY GAF, OR ACCEPTABLE EQUIVALENT. COLOR TO MATCH EXISTING. NAIL ALL SHINGLES.
 74113 A: STANDING SEAM METAL ROOF SHALL BE ATAS (OR EQUAL), 11" WIDE PANELS, 0.040 ALUMINUM; COLOR AND FINISH AS SELECTED BY OWNER.
 77123 A: ALUMINUM GUTTERS AND DOWNSPOUTS COLOR SHALL AS SELECTED BY OWNER. PROVIDE PRECAST CONCRETE SPLASH BLOCKS.
 76200 B: PROVIDE FLASHING CONFORMING TO DETAILS IN "ARCHITECTURAL SHEET METAL MANUAL" (SMACNA), INCLUDING GAUGES OF MATERIAL, UNLESS OTHERWISE SHOWN. FLASHING SHALL BE PREFINISHED ALUMINUM (COLOR SELECTED BY OWNER), .019" THICKNESS, WITH EXPANSION JOINTS AT 30" MAXIMUM SEPARATION.
DIVISION 08 - OPENINGS (NO WORK SPECIFIED)
DIVISION 09 - FINISHES (NO WORK SPECIFIED)
DIVISION 10 - SPECIAL CONSTRUCTION (NO WORK SPECIFIED)
DIVISION 11 - EQUIPMENT (NO WORK SPECIFIED)
DIVISION 12 - FURNISHINGS (NO WORK SPECIFIED)
DIVISION 13 - SPECIAL CONSTRUCTION (NO WORK SPECIFIED)
DIVISION 14 - CONVEYING EQUIPMENT (NO WORK SPECIFIED)
DIVISION 15-20 - RESERVED (NO WORK SPECIFIED)
DIVISION 21 - FIRE SUPPRESSION (NO WORK SPECIFIED)
DIVISION 22 - PLUMBING (NO WORK SPECIFIED)
DIVISION 23 - HEATING, VENTILATION, AND AIR CONDITIONING (NO WORK SPECIFIED)
DIVISION 24 - RESERVED (NO WORK SPECIFIED)
DIVISION 25 - INTEGRATED AUTOMATION (NO WORK SPECIFIED)
DIVISION 26 - ELECTRICAL (NO WORK SPECIFIED)
DIVISION 27 - COMMUNICATIONS (NO WORK SPECIFIED)
DIVISION 28 - ELECTRONIC SAFETY AND SECURITY (NO WORK SPECIFIED)
DIVISION 29 - RESERVED (NO WORK SPECIFIED)
DIVISION 30 - RESERVED (NO WORK SPECIFIED)
DIVISION 31 - EARTHWORK
 311000 A: DO NOT REMOVE ANY TREE(S) WITHOUT THE SPECIFIC PERMISSION OF THE OWNER TO REMOVE SAID TREE(S). ALL TREES SHALL BE FULLY PROTECTED DURING CONSTRUCTION.
 312300 A: EXCAVATE FOR FOOTINGS, FOUNDATIONS AND CONCRETE SLABS. MATERIALS TO BE EXCAVATED ARE ASSUMED TO BE EARTH AND OTHER MATERIALS THAT MAY BE REMOVED WITH A POWER SHOVEL. THE OWNER SHALL NOT BE RESPONSIBLE FOR VARIATIONS OF SUB-SOIL QUALITY OR CONDITIONS NOT ANTICIPATED.
 312300 B: BACKFILL EXCAVATION WITH CLEAN EARTH, IN 8" LAYERS, WITH EACH LAYER COMPACTED SOLIDLY TO 95% MAXIMUM DRY DENSITY (ASHSTO T-99) TO PROVIDE STABILITY OF THE FINISHED GRADE. BACKFILL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, COBBLES, OR BouldERS.
 312300 C: ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET SOIL BEARING PRESSURE OF 2000 PSF.
 312300 D: TAKE ALL NECESSARY PRECAUTIONS TO PROPERLY UNDERPIN, SHORE, AND BRACE EXISTING CONSTRUCTION WHERE NEW CONSTRUCTION ABUTS EXISTING.
 312300 E: THE SITE, IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 1/20 AWAY FROM THE BUILDING FOR A MINIMUM RUN OF TEN FEET.
 314000 A: SHORE AND BRACE EXCAVATION, IF NECESSARY PROVIDE SHEET PILING, BRACING, OR SHORING TO CONDUCT WORK SAFELY, PREVENT CAVE-INS, RETAIN EXCAVATION AND PROTECT ADJACENT PROPERTIES.
DIVISION 32 - EXTERIOR IMPROVEMENTS (NO WORK SPECIFIED)
DIVISION 33 - UTILITIES
 330000 A: NOTIFY PARTIES OWNING UTILITIES WHICH WILL INTERFERE WITH THE EXECUTION OF THE WORK TO REMOVE OR RELOCATE THEM. IN THE EVENT THAT COSTS OF SUCH REMOVALS OR RELOCATIONS ARE NOT BORNE BY THESE PARTIES, SUCH COSTS SHALL BE PAID BY THE OWNER. EXERCISE PROPER CARE WHEN EXCAVATING TO AVOID DAMAGE TO EXISTING UTILITIES. NOTIFY "MISS UTILITY" AT 800-257-7773 3 WORKING DAYS PRIOR TO BEGINNING WORK IN THE VICINITY OF EXISTING UTILITIES.
DIVISION 34 - TRANSPORTATION (NO WORK SPECIFIED)
DIVISION 35 - WATERWAY AND MARINE CONSTRUCTION (NO WORK SPECIFIED)
DIVISION 36 - RESERVED (NO WORK)
DIVISION 37 - RESERVED (NO WORK SPECIFIED)
DIVISION 38 - RESERVED (NO WORK SPECIFIED)
DIVISION 39 - RESERVED (NO WORK SPECIFIED)
DIVISIONS 40-48 (NO WORK SPECIFIED)



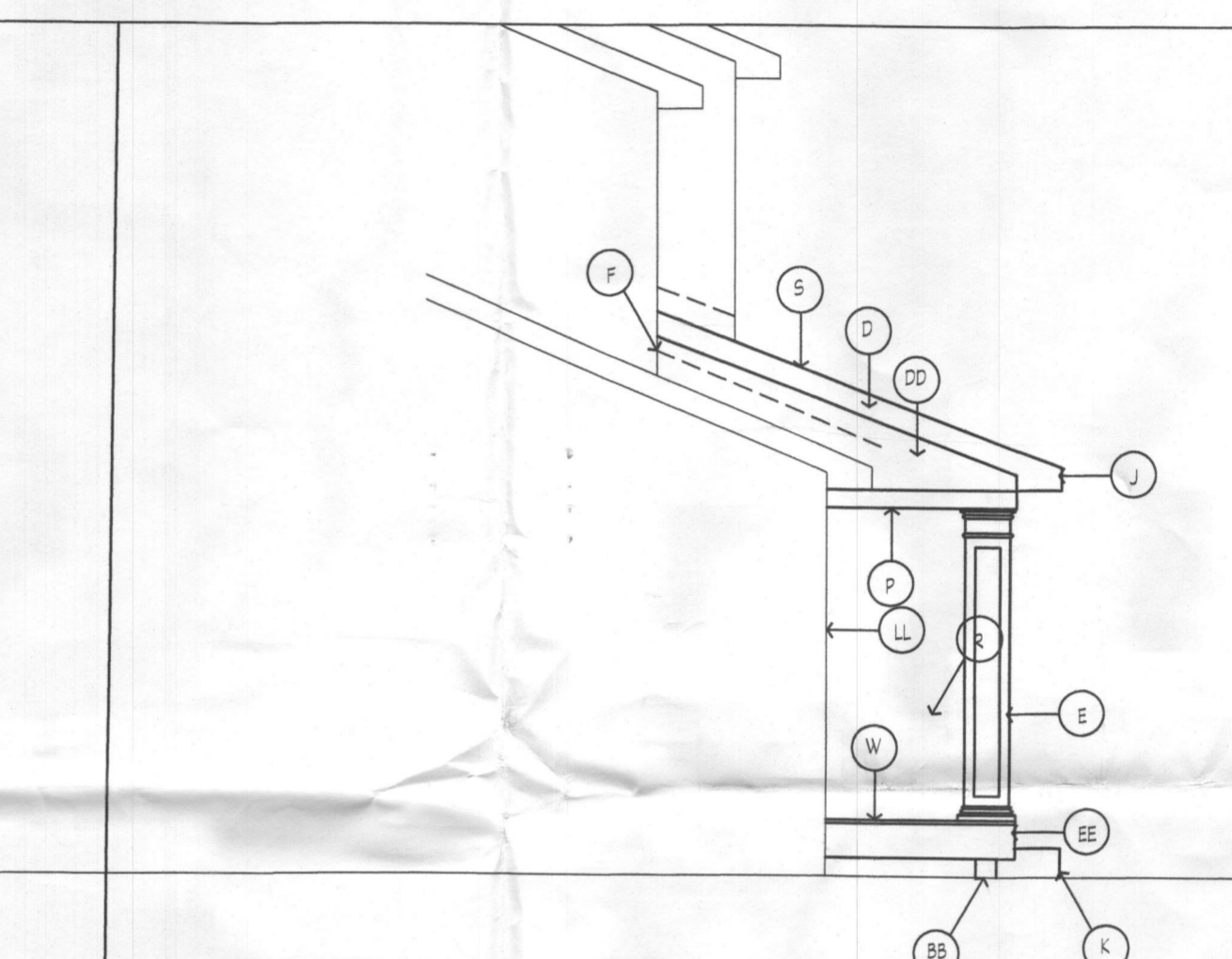
D FRONT ELEVATION

A-1 1/4" = 1'-0"



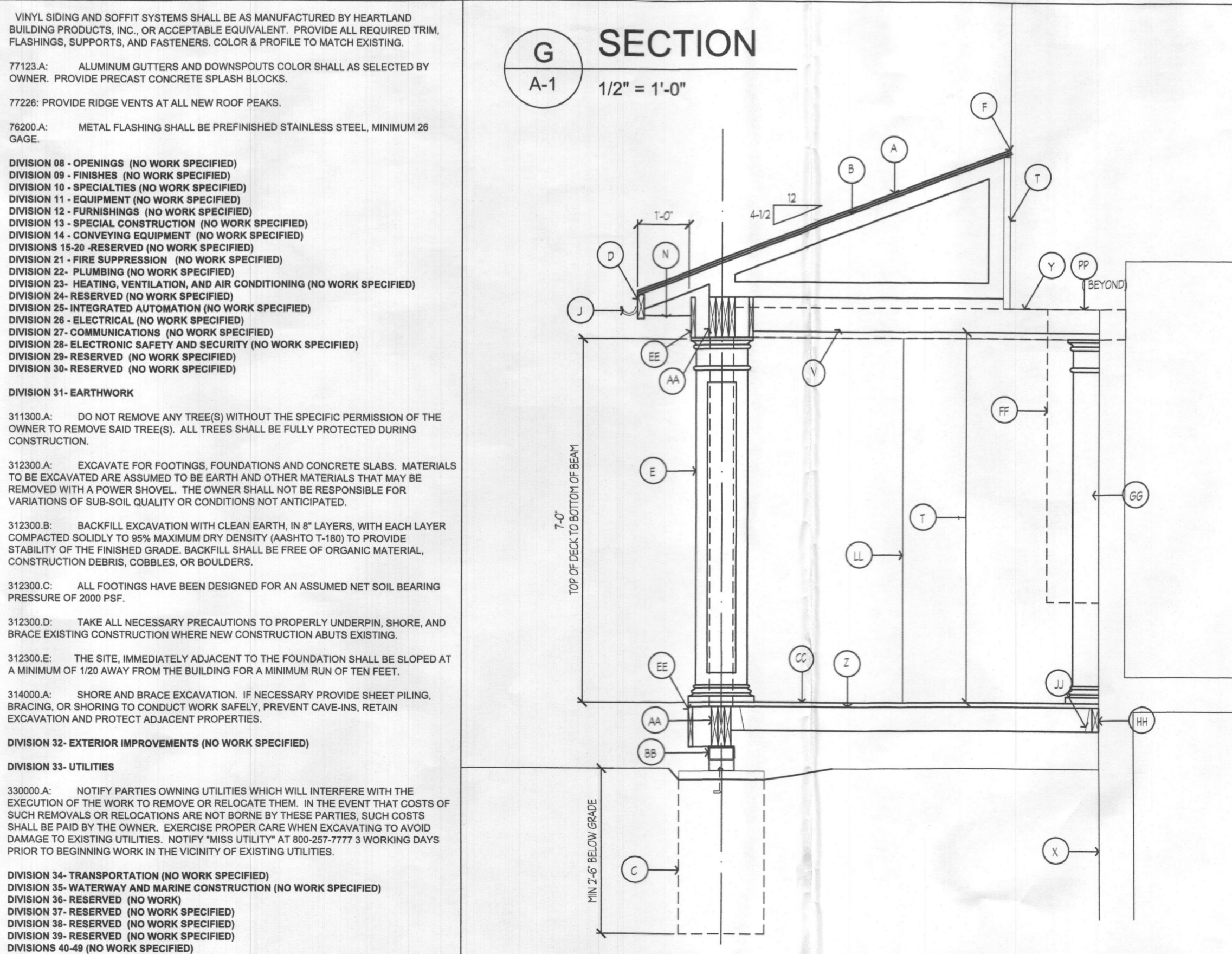
E RIGHT ELEVATION

A-1 1/4" = 1'-0"



F LEFT ELEVATION

A-1 1/4" = 1'-0"



G SECTION

A-1 1/2" = 1'-0"

MATERIAL NOTES

- (A) STANDING SEAM METAL ROOFING ON 3/8" FELT ON 1/2" PLWD.
- (B) W.D. TRUSS @ 24" O.C. (WEB CONFIGURATION SHOWN FOR GRAPHIC REPRESENTATION ONLY)
- (C) 22" DIA. CONC. FTG. W/ (3) #4s
- (D) 2x6 FASCIA WRAPPED IN VINYL
- (E) 6x6 P.T. W.D. POST WRAPPED IN 1" RECESSED PANEL, INEX COLUMN
- (F) CONCEALED FLASHING
- (G) LINE OF PORCH ABOVE
- (H) BOW/GRIDER TRUSS AS SIZED BY TRUSS MANUF. TO CARRY MAIN ROOF TRUSS LOAD AT HOUSE END
- (J) SUTTER TO D.S. & S.B.
- (K) DECKING ON 2x4 P.T. W.D. STAR STRINGER (MAX 24" O.C.), OUTER EDGES WRAPPED IN VINYL (MIN 1" TREAD, MAX 7" RISE)
- (L) ENG. WINDOW TO REMAIN
- (M) ENG. ENTRY DOOR TO REMAIN
- (N) VENTILATED VINYL SOFFIT
- (P) BEAM WRAPPED IN VINYL
- (Q) REMOVE ENG. CONCRETE PORCH
- (R) PROVIDE NEW RAILING AS RFD BY CODE/SELECTED BY OWNER
- (S) STANDING SEAM METAL ROOFING/WOOD TRUSS ROOF
- (T) CLS. HEIGHT DETERMINED IF INTERMEDIATE BEAMS ARE INCLUDED
- (U) STAIR ILLUMINATION PER CODE
- (V) CEILING MATERIAL AS SELECTED BY OWNER
- (W) DECKING ON P.T. W.D. JOISTS
- (X) ENG. WINDOW TO REMAIN
- (Y) ENG. OVERHANG TO REMAIN
- (Z) JOISTS - SEE FOUNDATION/FRAMING PLAN
- (AA) BEAM - SEE PLAN FOR FRAMING
- (BB) 6x6 P.T. POST ON STAND-OFF BASE & A.B.
- (CC) DECKING AS SELECTED BY OWNER
- (DD) VINYL SIDING ON 1/2" PLWD. ON GABLE END TRUSS
- (EE) 1" VINYL TRIM
- (FF) LINE OF BAY WINDOW IN FOREGROUND
- (GG) DECORATIVE HALF COLUMN AT OWNER OPTION
- (HH) 2x4 P.T. LEDGER A.B. TO HOUSE W/ FLASHING
- (JJ) JOIST HANGER
- (KK) ENG. BAY WINDOW TO REMAIN
- (LL) LINE OF ONE-STORY PORTION OF HOUSE
- (MM) 6x6 P.T. W.D. POST. ALL COLUMNS SHOWN IN COLUMN LINE OR ARE RFD
- (NN) OPTIONAL STRUCTURAL COLUMN BEAM SIZED EACH TO CARRY LOAD TO ADJACENT COLUMNS AND MAY BE OMITTED. DECORATIVE COLUMN TO BE INSTALLED IF STRUCTURAL PRESENT OR OMITTED
- (PP) BEAM AS SIZED BY TRUSS MANUF. TO CARRY BOW/GRIDER TRUSS LOAD AT C3 & C4 COLUMN LINES)
- (QQ) INT. INTERMEDIATE BEAM AS RFD/SIZED BY TRUSS MANUF. TO CARRY BOW/GRIDER TRUSS LOAD
- (RR) COL. AS SIZED BY TRUSS MANUF. POCKET IN ENG. WALL W/ BEARING ON ENG. FNDN WALL ENSURE FOUNDATION WALL IS GROUDED BELOW BEARING TO FITS REQUIRED AT ALL LOCATIONS OF BEAMS CARRYING BOW/GRIDER TRUSS LOAD

Approved for release to:

Permit Negotiation Construction Other

Owner Date

5% Approved
B18003451
R/E 10/24/2018

SCALE: AS NOTED
DATE: 10/24/2018
PROJECT NO: 18038
DRAWING NO: 18038-01
1992 Blaney Road
Maryland, MD 21797
www.bluehousearch.com
www.magnoliaresidence.com
Tel: 410-549-3377
Fax: 410-549-3377

PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 14875
Expiration Date: 02-07-2019

PROJECT TITLE: PORCH PLAN, FRAMING PLANS, FNDN PLAN, SPECIFICATIONS, MAGNOLIA RESIDENCE PORCH ADDITION

DATE: _____

REV. DESCRIPTION

FOR THE OFFICE OF BLUEHOUSE ARCHITECTURE, LLC ASSUMES NO RESPONSIBILITY FOR THE ACCURACY NOR THE COMPLETENESS OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ALL FEATURES AND DIMENSIONS SHOULD BE VERIFIED BY CONTRACTOR PRIOR TO BEGINNING WORK.

DATE: _____