



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 7/26/17

Permit No.: B17002830

Building Address: 5021 LINDERA COURT  
 City: Ellicott City State: MD Zip Code: 21042  
 Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: GP-17-013  
 Census Tract: \_\_\_\_\_ Subdivision: WALNUT CREEK  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 117  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: Vacant lot  
 Proposed Use: Single family house  
 Estimated Construction Cost: \$ 240,000  
 Description of Work: New 2 story "Clifton Park II" with 3 car garage, Morning Room, sitting area, and finished lower level (Rec RM, Storage closet)  
 Occupant or Tenant: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: NVR Inc  
 Address: 9720 Patuxent Woods Drive  
 City: Columbia State: MD Zip Code: 21046  
 Phone: 410-379-5956 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (If other than stated herein)  
 Applicant's Name: Decatur Building Services  
 Address: PO Box 552  
 City: Woodbine State: MD Zip Code: 21797  
 Phone: 443-309-7792 Fax: \_\_\_\_\_  
 Email: Jim@DecaturBuildingServices.com

Contractor Company: NV Homes  
 Contact Person: Taylor Faris  
 Address: 9720 Patuxent Woods Drive  
 City: Columbia State: MD Zip Code: 21046  
 License No.: 56  
 Phone: 410-379-5956 Fax: \_\_\_\_\_  
 Email: Tfaris@NVRINC.com

Engineer/Architect Company: \_\_\_\_\_  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
Area of construction (sq. ft.):	2 <sup>nd</sup> floor:	
Use group:	<input checked="" type="checkbox"/> Finished Basement	
Construction type:	<input type="checkbox"/> Unfinished Basement	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Masonry	No. of Bedrooms: <u>5</u>	
<input type="checkbox"/> Wood Frame	Multi-family Dwelling	
<input type="checkbox"/> State Certified Modular	No. of efficiency units:	
	No. of 1 BR units:	
	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<u>Water Supply</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<u>Heating System</u>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<u>Sprinkler System:</u>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>617000235</u>	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin  
 Applicant's Signature  
Jim@DecaturBuildingServices.com  
 Email Address  
AGENT NV Homes  
 Title/Company

Jim Kerwin  
 Print Name  
7/24/2017  
 Date

RECEIVED

JUL 26 2017

LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>8/2/17</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>118094</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

Name: Jim Kerwin  
Street Address: PO Box 552  
City, State, Zip: Woodbine md 21797  
Date: 9/8/2017

Amendment, Permit # B17002830

Ms. Debbie Whalen  
Division of Plan Review  
Department of Inspections, Licenses and Permits  
Howard County Government  
3430 Court House Dr  
Ellicott City, MD 21043

Dear Ms. Whalen:

I am requesting to amend Permit # B17002830 at  
5021 Lindera Court Ellicott City md 21042 to  
add media room to finished basement

Enclosed:

Fee: \$25.00 CK#: 2982  
 Plot Plans  
 Sets of Construction Drawings  
 Other: Floor Plans

If there is anything we can do to assist you, please let me know.

Sincerely, CC's Health

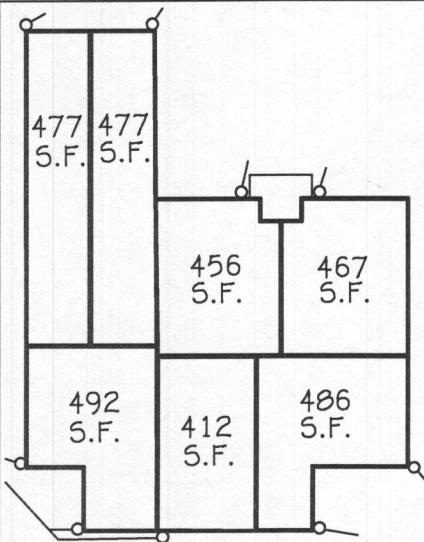
Name: Jim Kerwin  
Title: AGENT  
Phone: 443-309-7792  
Email: Jim@DecaturbuildingServices.com

REVIEWED FOR CODE COMPLIANCE	
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS HOWARD COUNTY	
DATE:	<u>9/19/17</u>
BY:	<u>D Whalen</u>
<input type="checkbox"/>	SUBJECT TO COMMENTS OF LETTER
<input type="checkbox"/>	SUBJECT TO FIELD INSPECTION
<input type="checkbox"/>	SUBJECT TO COMMENTS ON PLANS
<input checked="" type="checkbox"/>	AMENDMENT
<input type="checkbox"/>	FINAL

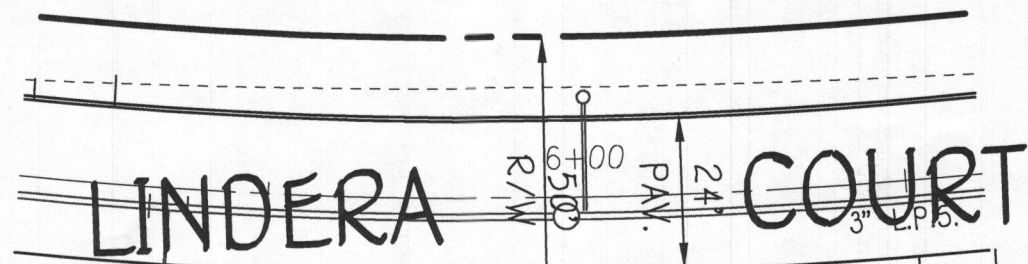
\* Scanned <sup>need to</sup> send to Health Dept. \*

Amendment Letter

8/2/17. Site plan approved for B 1700 2830 (SFD) - H.O.



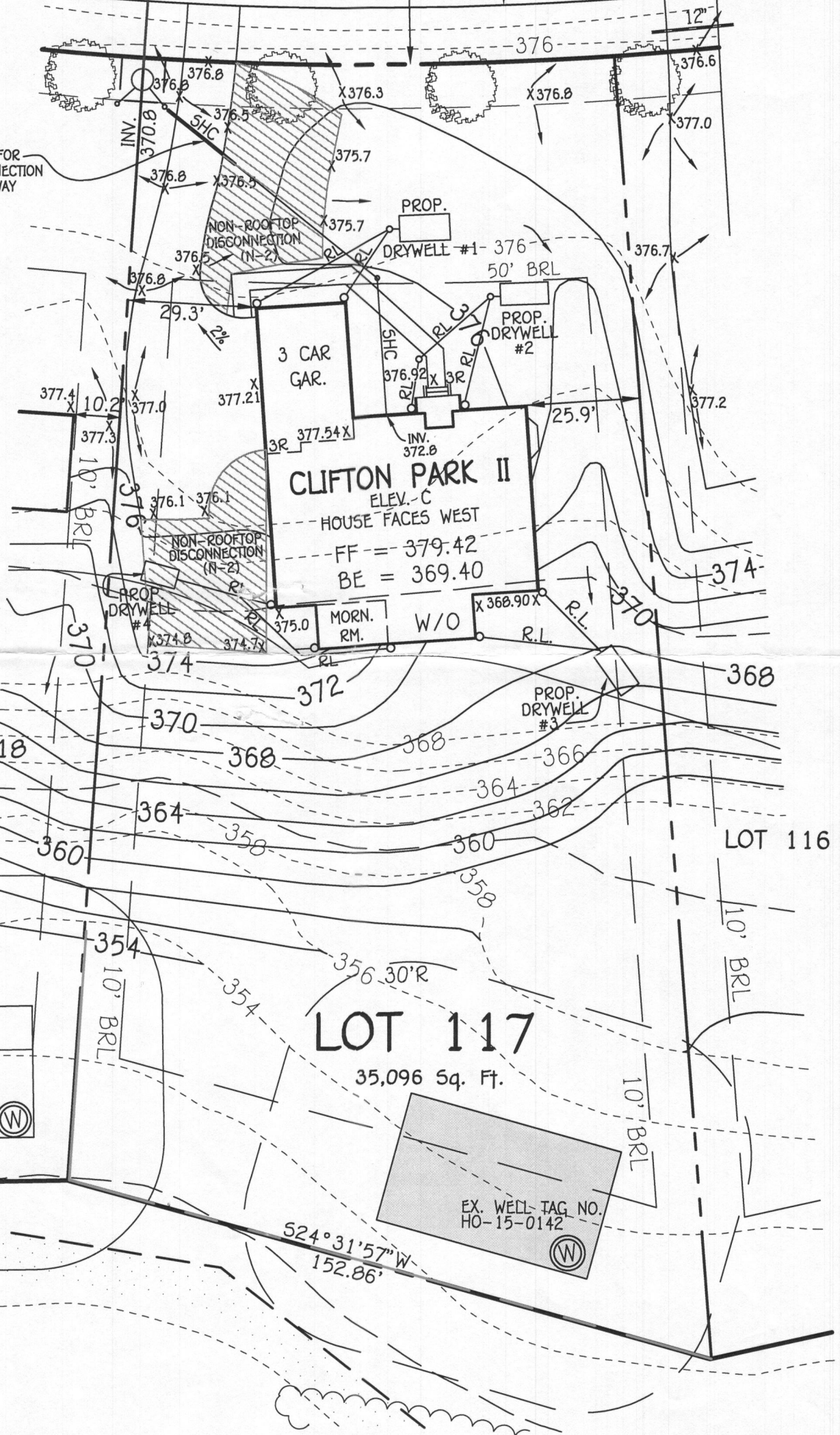
HOUSE DOWNSPOUT DRAINAGE AREAS  
SCALE: 1"=30'



LINDERA COURT

NOTE:  
PROVIDE SLEEVING FOR SEWER HOUSE CONNECTION UNDER THE DRIVEWAY

NOTE:  
NO GRAVITY SEWER SERVICE FOR BSMT.



I:\2004\04001\dwg\PHASE FOUR FINALS\Permit Site Plans\Ph 4\NV Per Pl Lot 117.dwg, Model, 7/19/2017 4:42:02 PM, 1:30

**BUILDER**  
NV HOMES INC.  
9720 PATUXENT WOODS  
COLUMBIA, MARYLAND 21046

**OWNER**  
BV BUSINESS TRUST  
P.O. BOX 482  
LISBON, MARYLAND 21765-0482

**WELL CERTIFICATION:**  
THE EXISTING WELL, TAG NO. HO-15-0142, HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.

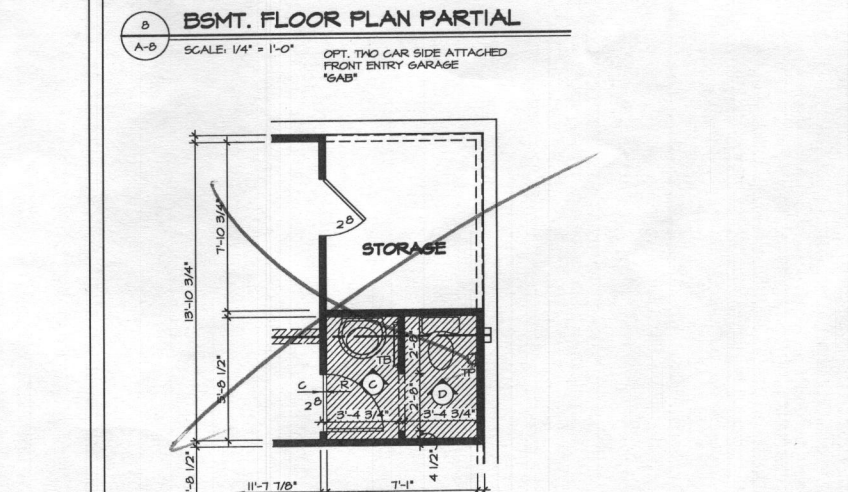
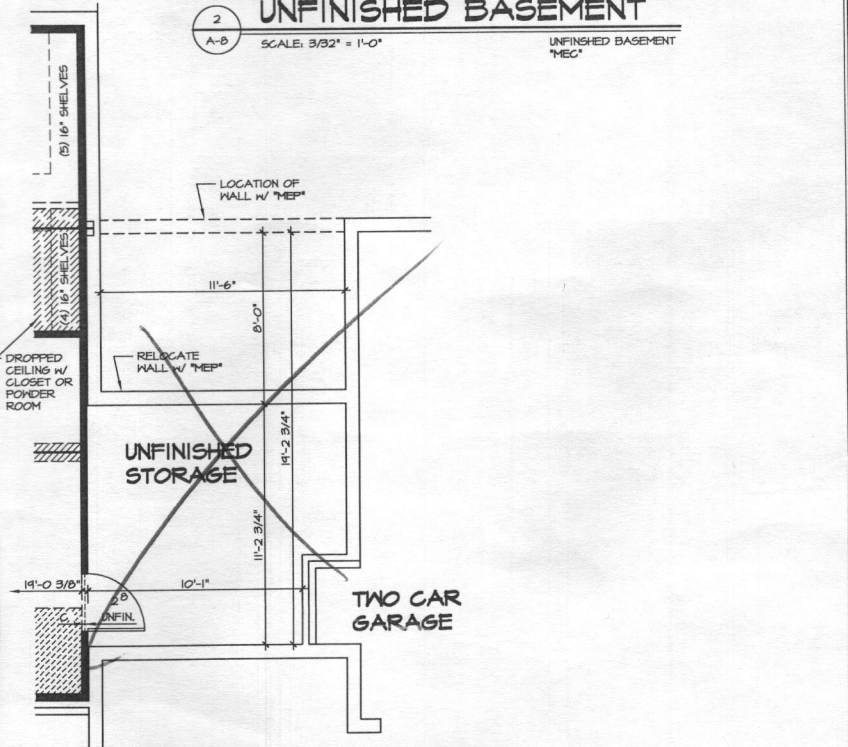
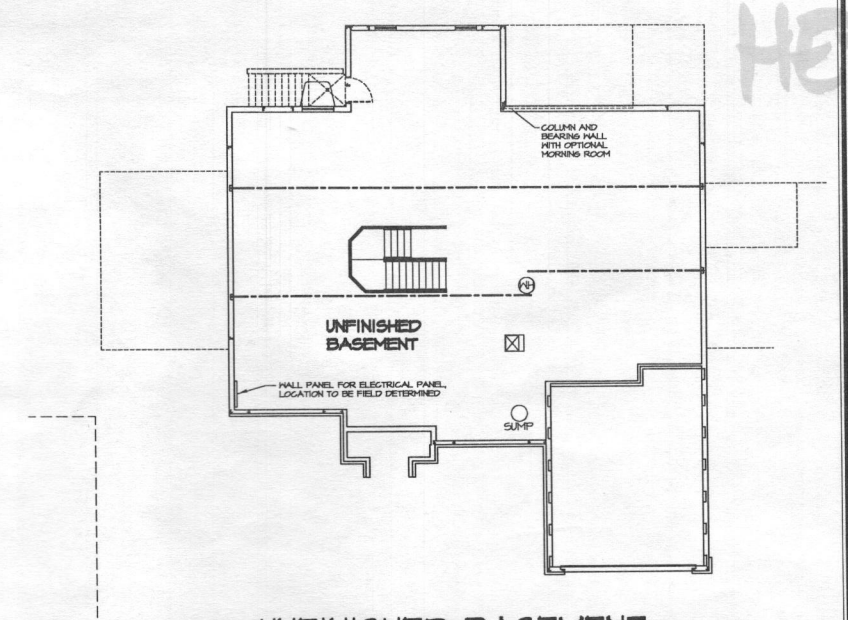
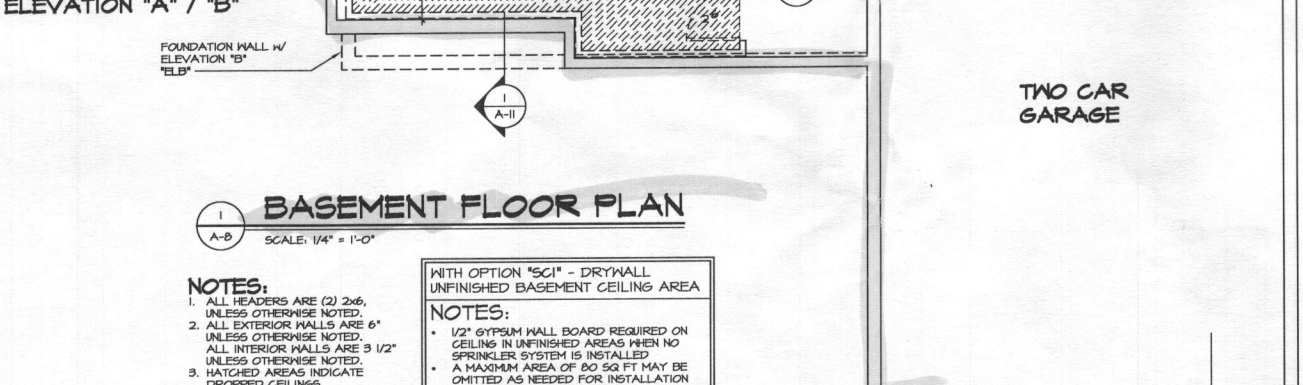
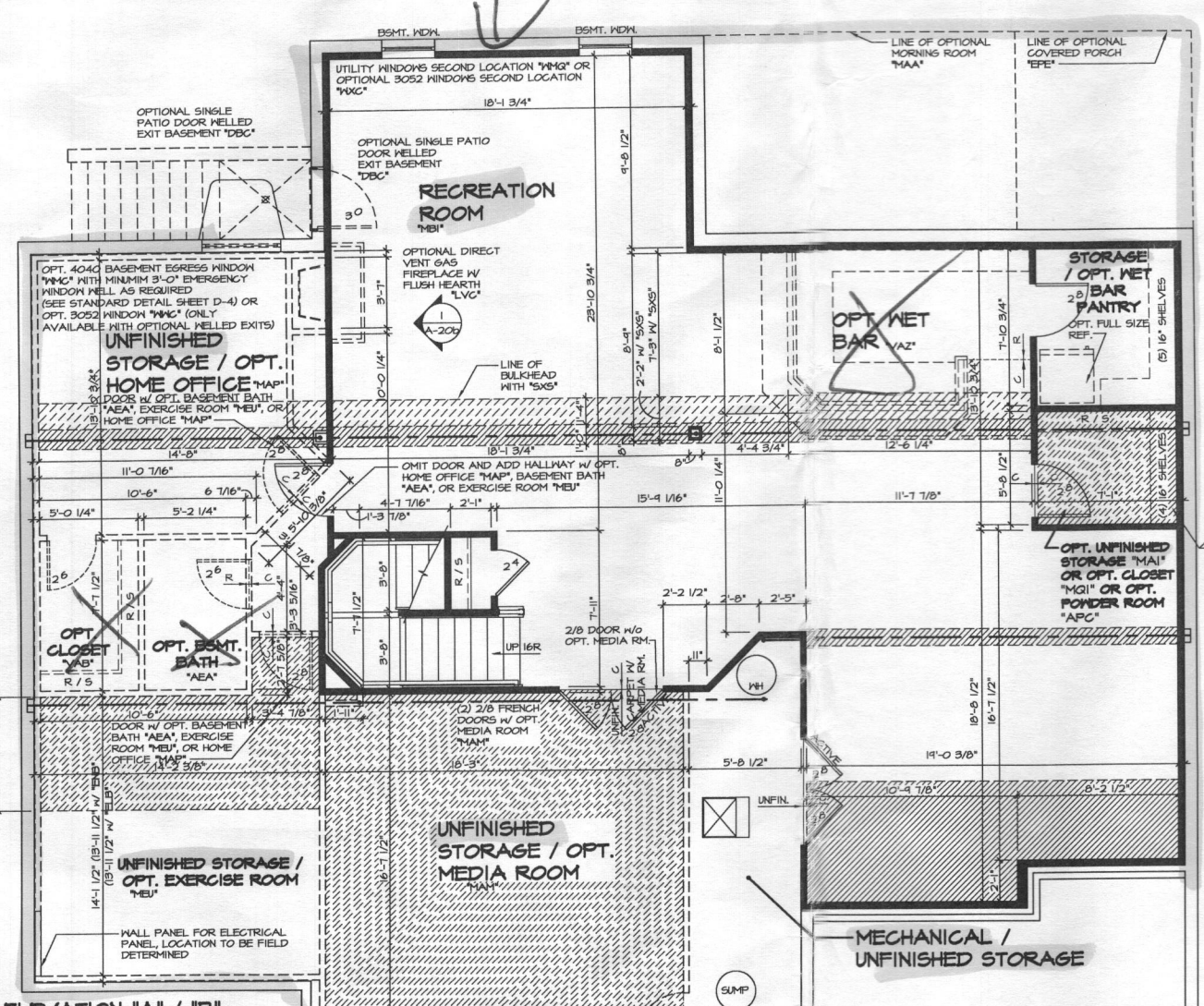
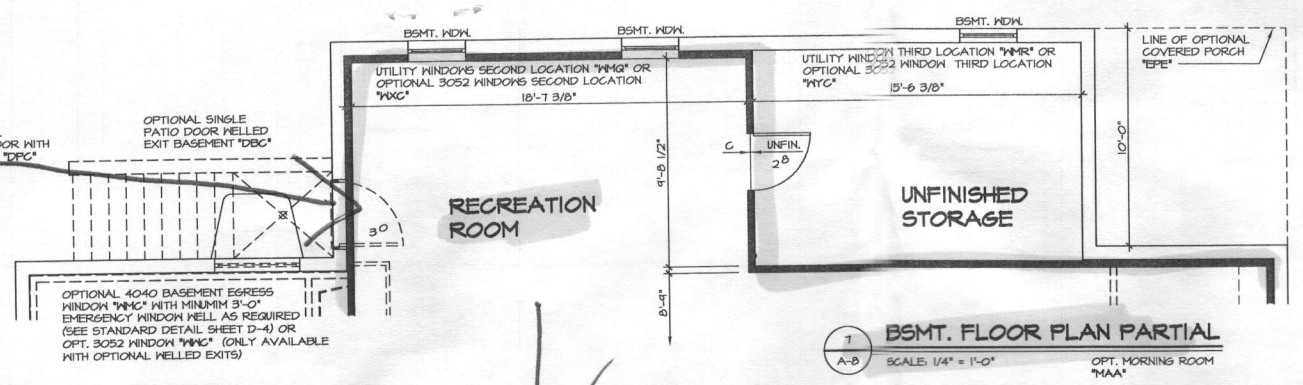
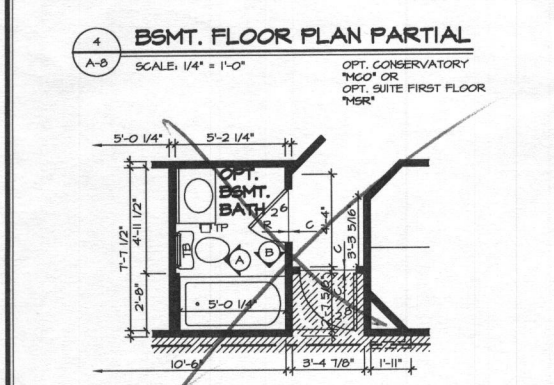
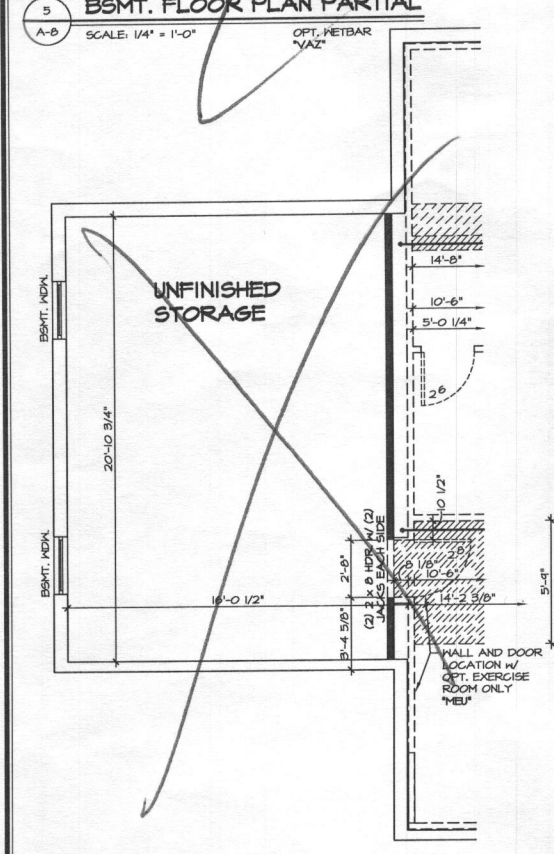
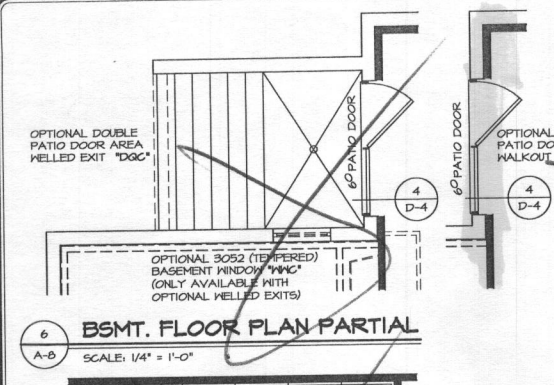
**PLAN**  
SCALE: 1"=30'

**PERMIT SITE PLAN**  
LOT 117  
5021 LINDERA COURT  
**WALNUT CREEK**

ZONED: RC-DEO  
TAX MAP NO.: 28 PARCEL NO.: 49 GRID NO.: 17 & 18  
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30' DATE: JULY 19, 2017

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MARYLAND 21042  
(410) 461 - 2855

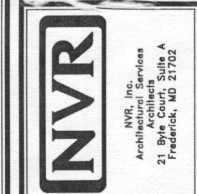
HEALTH



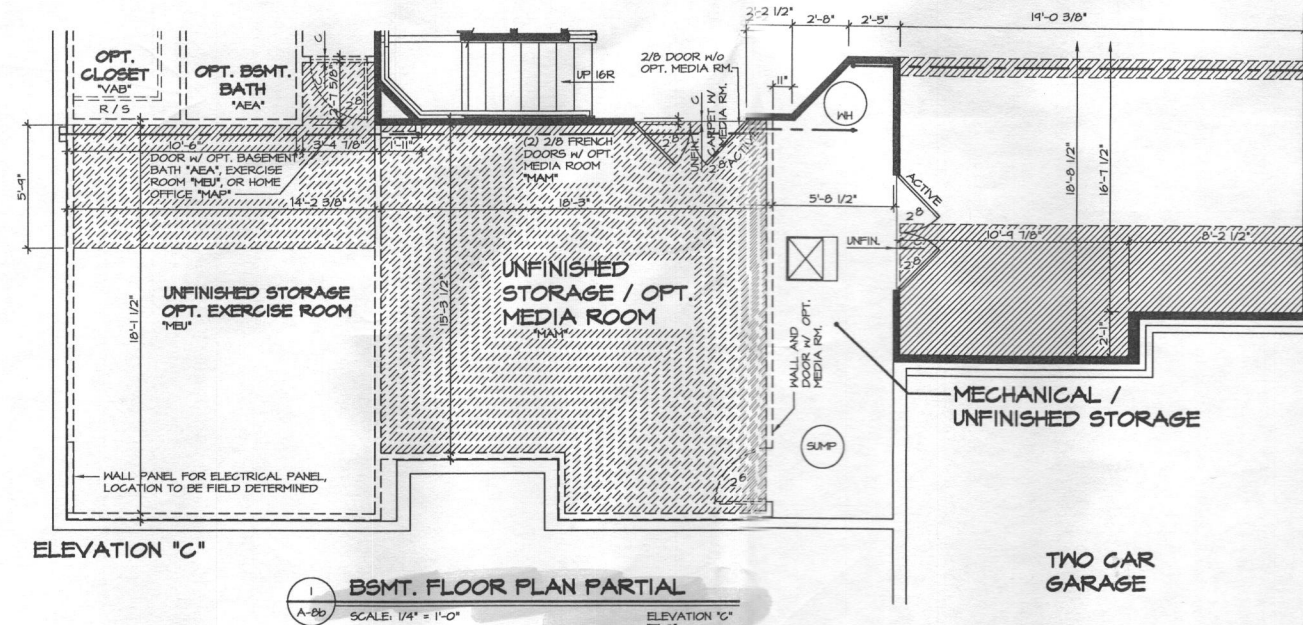
- NOTES:**
- ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
  - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
  - HATCHED AREAS INDICATE DROPPED CEILINGS.
  - ALL GATED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
  - WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

- NOTES:**
- 1/2" GYPSUM HALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
  - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
  - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

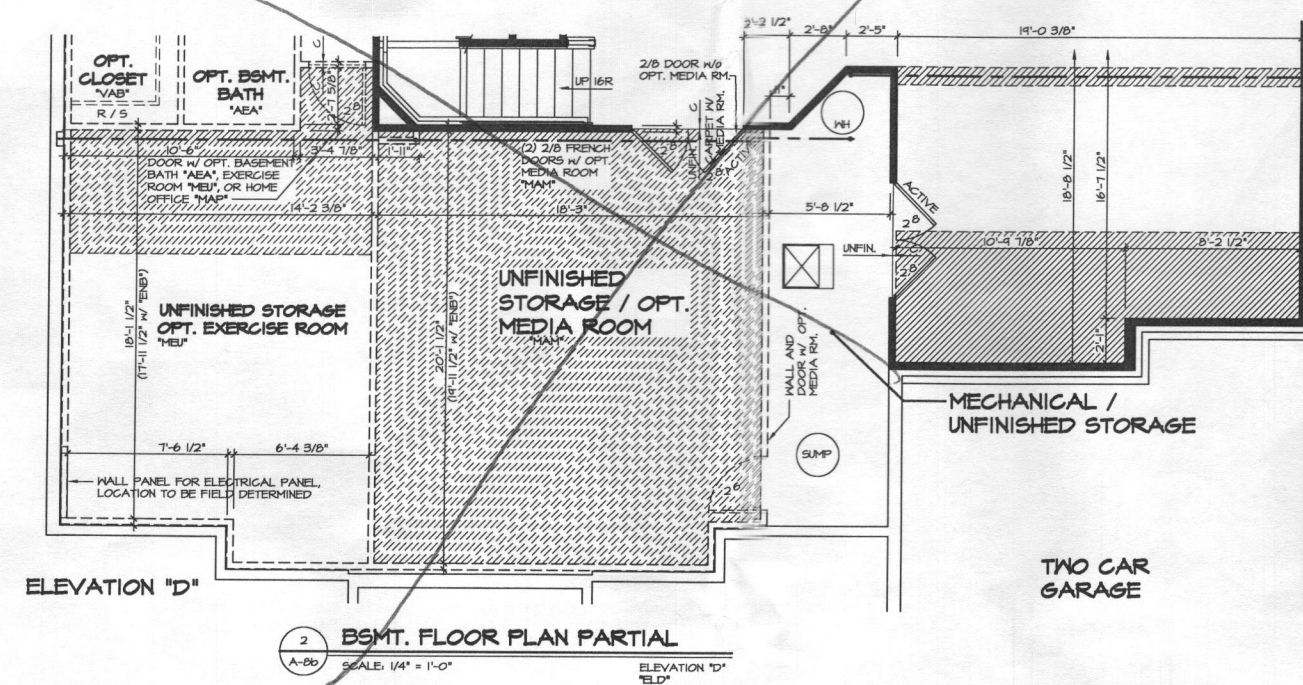
REV. NO.	DATE	REMARKS
10	10/21/14	CEL - REVISED GRAPHICAL ERROR
11	1/25/14	SEA - AUDIT REVISIONS
12	12/25/14	BMA - ADDED THE WORDS OR TO (B) OPTIONS AT POWDER ROOM PAR 24656
13	3/27/14	995 - AUDIT RNY-BX-001
14	4/29/14	DA6 - TUB CONVERSION
15	4/29/14	DA6 - ADDED 'SC' NOTE
16	5/29/14	LA6 - ADDED 'SC' BILLHEAD
17	6/29/14	LE6 - REPLACED (7) 'BS' AT MORNING ROOM W/ COLUMN (PAR 24654)
18	6/9/14	CVB - TURNED ON LAYERS THAT SHOW DOOR SIZE AND DIMENSIONS



SHEET NO.	MODEL	SET NO.	VERSION	DATE	OPTION
A-9	CLIFTON PARK II	10300	01	1/10/15	FBA
DRAWING TITLE	BASEMENT PLAN				
OPTION DESCRIPTION	FULL BASEMENT				
46.1					



1 BSMT. FLOOR PLAN PARTIAL  
 A-8b SCALE: 1/4" = 1'-0" ELEVATION 'C' TELC



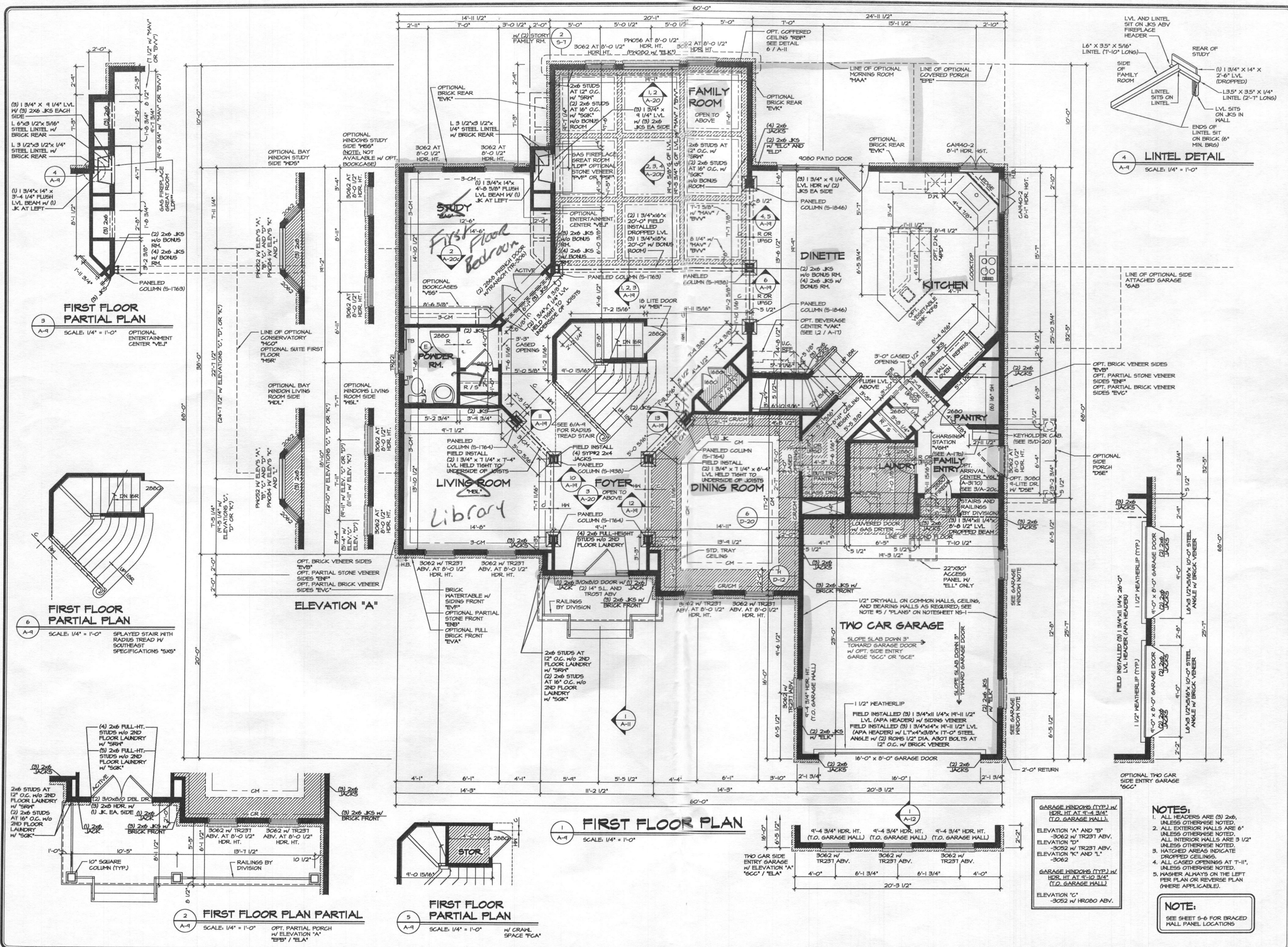
2 BSMT. FLOOR PLAN PARTIAL  
 A-8b SCALE: 1/4" = 1'-0" ELEVATION 'D' TELD

**NOTE:**  
 FOR ADDITIONAL BASEMENT INFORMATION AND AVAILABLE OPTIONS, SEE SHEET A-8

**NOTES:**  
 ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.  
 ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.  
 ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.  
 HATCHED AREAS INDICATE DROPPED CEILING.  
 ALL CASED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.  
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

**WITH OPTION 'SCI' - DRYWALL UNFINISHED BASEMENT CEILING AREA**  
**NOTES:**  
 • 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED  
 • A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).  
 • PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

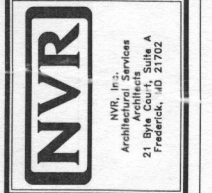
SHEET NO. <b>A-8b</b>	MODEL <b>CLIFTON PARK II</b>	SET NO. 10300	OPTION FBA ELC ELD
	DRAWING TITLE BASEMENT PARTIAL PLANS	VERSION 01	
	DRAWN BY ALJ	DATE 4/7/14	
	OPTION DESCRIPTION FULL BASEMENT ELEVATION 'C' ELEVATION 'D'		
	46.2		
SHEET NO. 10300-01A BSMT-00.dwg 12/17/14 - 11:40 am J:\DWG\DATA\DETACHED\CLIFTON PARK II\10300-01A BSMT-00.dwg 12/17/14 - 11:40 am			
NVR, Inc. Architectural Services 21 Rye Court, Suite A Frederick, MD 21702		REV. NO. DATE 1 4/20/14 PRA - ADDED 'SC' NOTE 2 5/8/14 JBS - MOVED TELC TO NEXT PAGE 3 11/25/14 JBS - AUDIT REVISIONS	
REMARKS		NVR, Inc. reserves the right to modify or change the design, materials, or construction methods without notice. The user agrees to hold NVR, Inc. harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising from or due to the use of the drawings, specifications, or any other documents prepared by NVR, Inc.	



REVISIONS

REV. NO.	DATE	DESCRIPTION
1	7/16/15	ISS - MOVED RIGHT REAR HOSE BIB TO SIDE (94044)
2	8/4/15	GLS - REVISED FIREDOOR INTO GARAGE TO A 2002 (PAR ID 34859)
3	8/6/15	ANS - REVISED GARAGE BEHIND BATHS PAINTING TO BE 3" DEEPER (24859)
4	8/6/15	ANS - REVISED ELEV. IN "EPB" PORCH COLUMNS TO SQUARE PER DPK #102
5	9/23/15	ANS - PAK 040001 - REVISED GARAGE BRICK HEIGHT
6	12/17/15	ANS - PAK 040001 - REVISED GARAGE BRICK HEIGHT
7	12/17/15	ANS - PAK 040001 - REVISED FIREDOOR TO BE CENTERED ON COFFERED CEILING
8	2/10/17	ANS - ADJUST WALL LOCATION AT KITCHEN SINK LEDE
9	6/4/15	ANS - PLANT BUILT APPROVAL CENTER PROJECT

NVR, Inc. is not responsible for any errors or omissions in this drawing. The user of this drawing is advised to verify all dimensions and conditions before construction. NVR, Inc. is not responsible for any damage or injury resulting from the use of this drawing.



SET NO. 10500

VERSION 01	DATE: 12/7/12
DRAWN BY: ALH	OPTION

MODEL: CLIFTON PARK II

SHEET NO. A-9	OPTION DESCRIPTION
	47

- NOTES:**
- ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
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  - ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
  - HANGER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
- NOTE:** SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

**GARAGE WINDOWS (TYP.) W/ HDR. HT. AT 9'-4 3/4" (T.O. GARAGE WALL).**

ELEVATION "A" AND "B" - 3062 W/ TR231 ABV.

ELEVATION "C" - 3052 W/ TR231 ABV.

ELEVATION "K" AND "L" - 3062

**GARAGE WINDOWS (TYP.) W/ HDR. HT. AT 9'-10 3/4" (T.O. GARAGE WALL).**

ELEVATION "D" - 3052 W/ HROBO ABV.

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR PLAN PARTIAL**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"

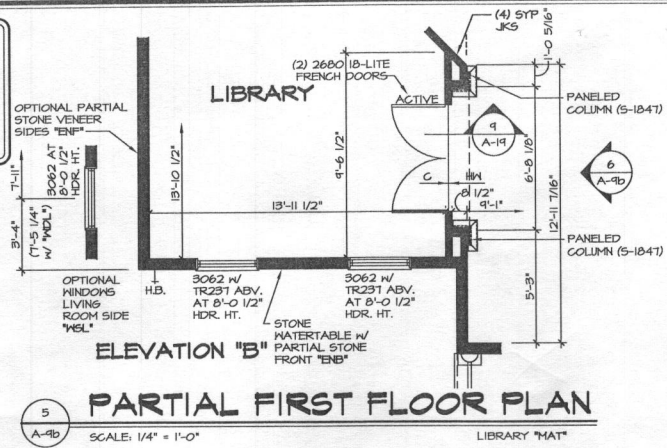
**ELEVATION "A"**

**LINTEL DETAIL**  
SCALE: 1/4" = 1'-0"

**NOTE:**

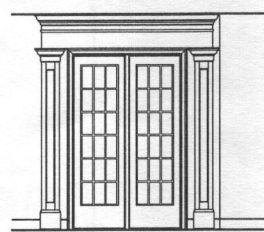
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MDL" INFORMATION, SEE SHEET A-4

FOR OPTIONAL BOOKCASE "YST" INFORMATION, SEE SHEET A-4C



**ELEVATION "B"**

SCALE: 1/4" = 1'-0" LIBRARY "MAT"



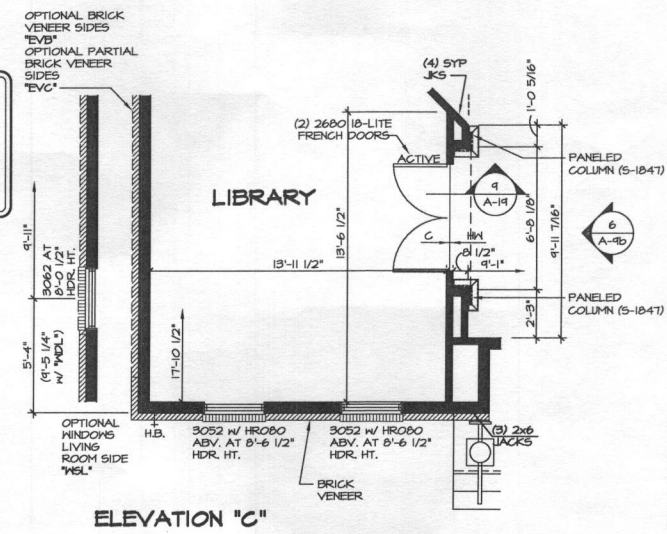
**PARTIAL ELEVATION**

SCALE: 1/4" = 1'-0" LIBRARY "MAT"

**NOTE:**

FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MDL" INFORMATION, SEE SHEET A-4

FOR OPTIONAL BOOKCASE "YST" INFORMATION, SEE SHEET A-4C



**ELEVATION "C"**

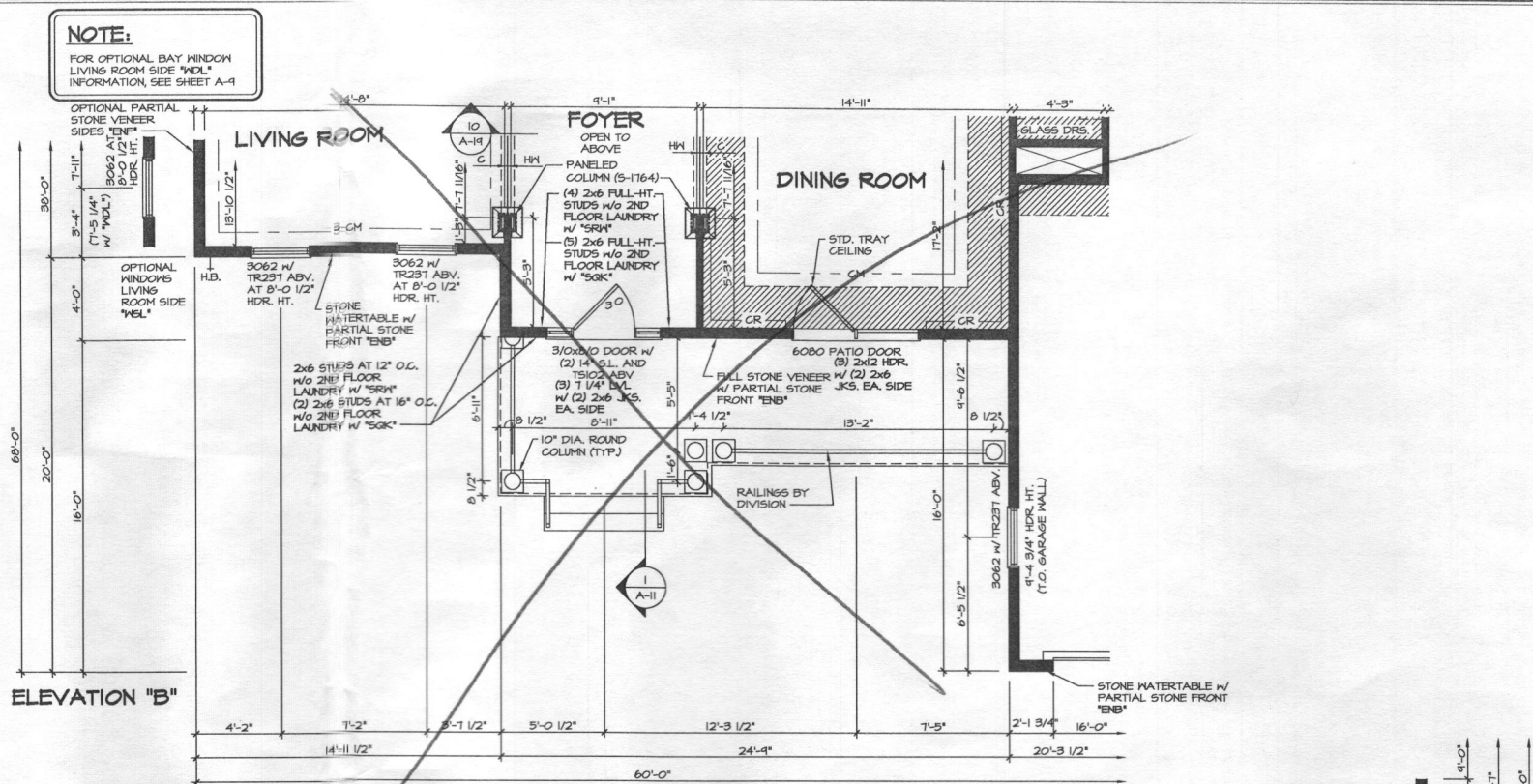
SCALE: 1/4" = 1'-0" LIBRARY "MAT"

**PARTIAL FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0" LIBRARY "MAT"

**NOTE:**

FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MDL" INFORMATION, SEE SHEET A-4



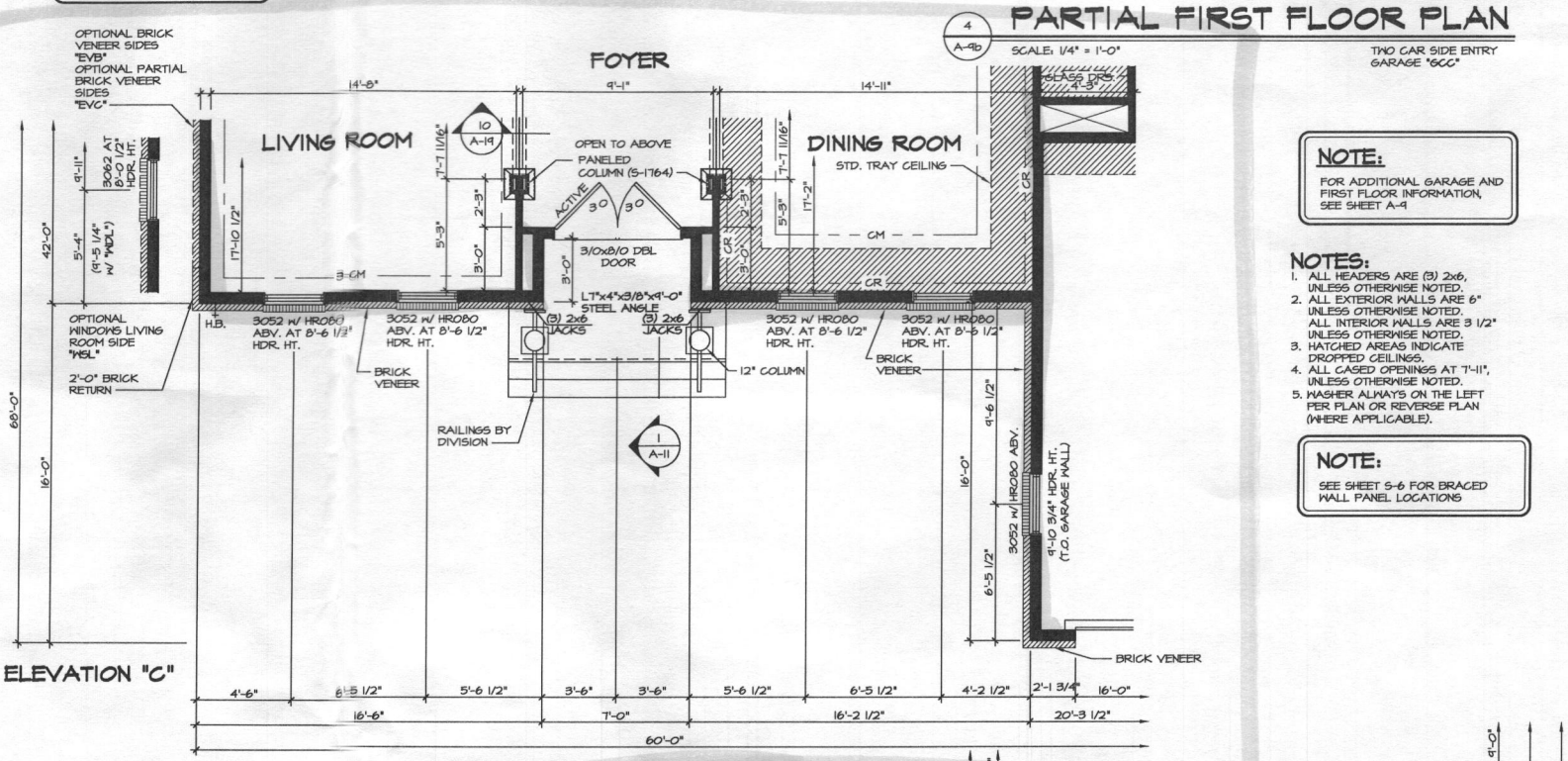
**ELEVATION "B"**

**PARTIAL FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0" ELEVATION "B"

**NOTE:**

FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MDL" INFORMATION, SEE SHEET A-4



**ELEVATION "C"**

**PARTIAL FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0" ELEVATION "C"

**NOTE:**

FOR ADDITIONAL GARAGE AND FIRST FLOOR INFORMATION, SEE SHEET A-4

**NOTES:**

1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
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**NOTE:**

SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

**PARTIAL FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0" TWO CAR SIDE ENTRY GARAGE "GCC"

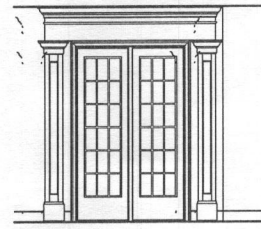
**PARTIAL FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0" TWO CAR SIDE ENTRY GARAGE "GCC"

REV. NO.	DATE	REMARKS
1	5/26/14	A-J - ADIT RAY BK 001
2	6/6/15	ANS - REVISED CHANGE BEHIND BUTLERS PANTRY TO BE 3" DEEPER (N4595)
3	12/7/15	955 - PAR #49394 - REVISED GARAGE SLAB HEIGHT

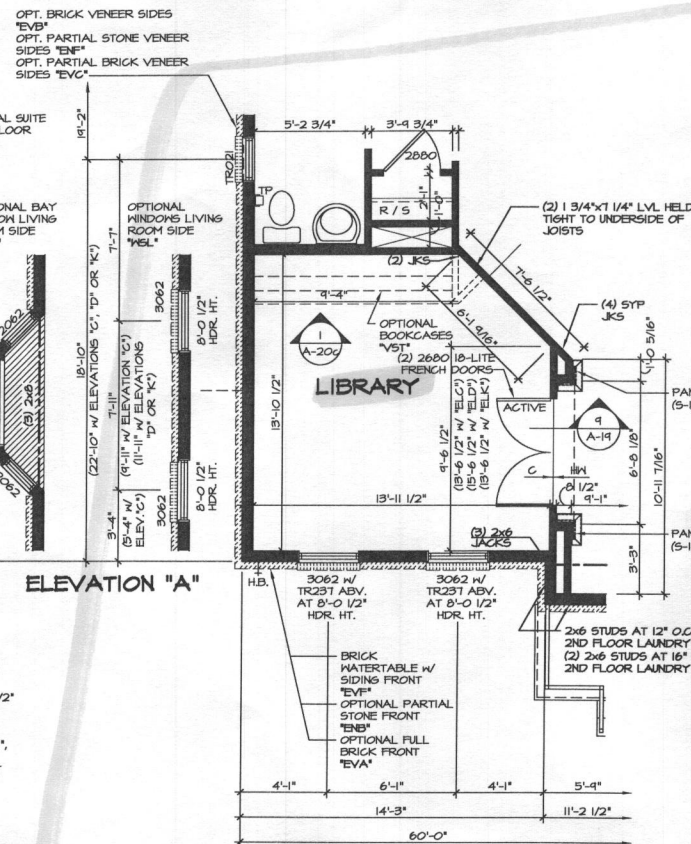
  

SET NO. 10300 VERSION 01 DRAWN BY AJH DATE: 12/21/12 OPTION ELB ELC	MODEL CLIFTON PARK II DRAWING TITLE FIRST FLOOR PARTIAL PLANS SHEET NO. A-9b OPTION DESCRIPTION ELEVATION "B" ELEVATION "C"	NVR NVR, Inc. Architectural Services 21 Bye Court, Suite A Frederick, MD 21702
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**PARTIAL ELEVATION**

SCALE: 1/4" = 1'-0" LIBRARY "MAT"



**ELEVATION "A"**

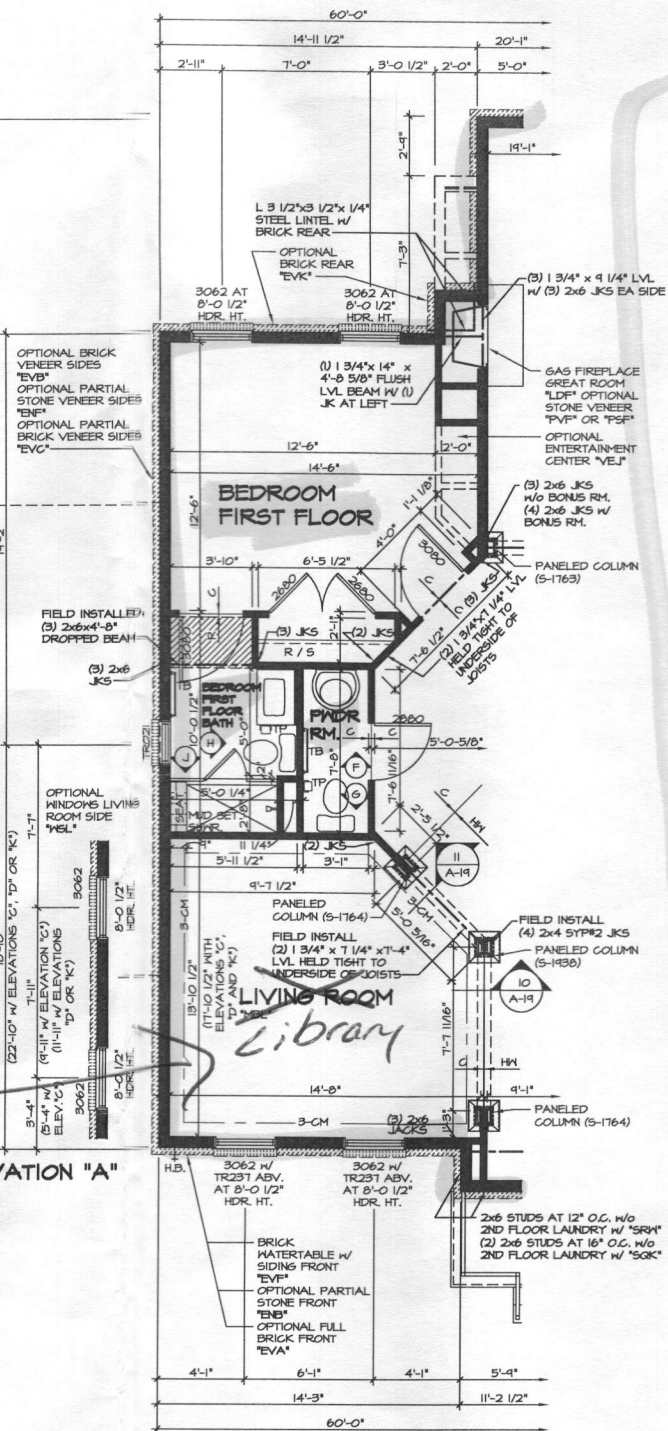
**PARTIAL FLOOR PLAN**

SCALE: 1/4" = 1'-0" LIBRARY "MAT" NOTE: N/A W/ OPT. CONSERVATORY "MCO"

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
  2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
  3. HATCHED AREAS INDICATE DROPPED CEILINGS.
  4. ALL GASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
  5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

**NOTE:** SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

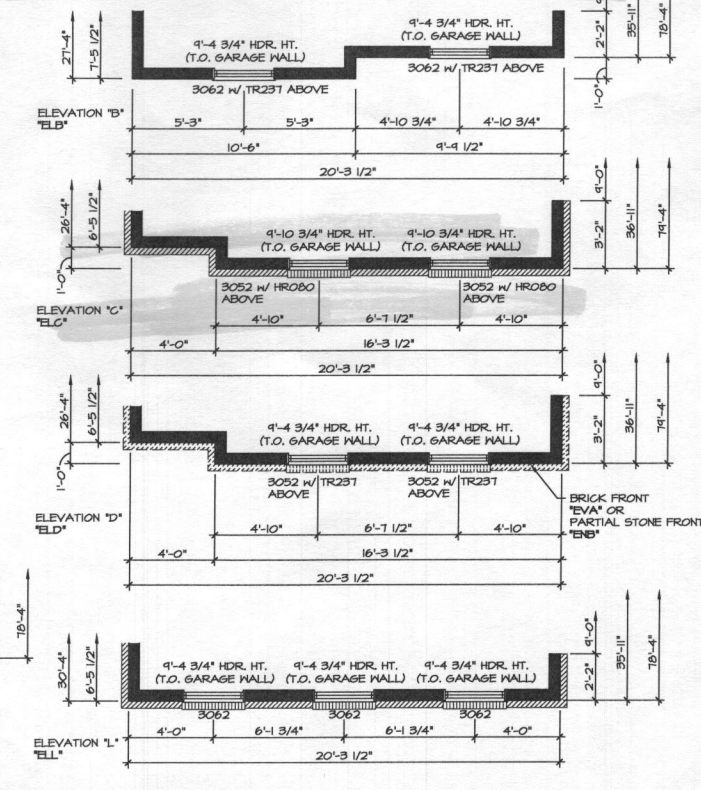
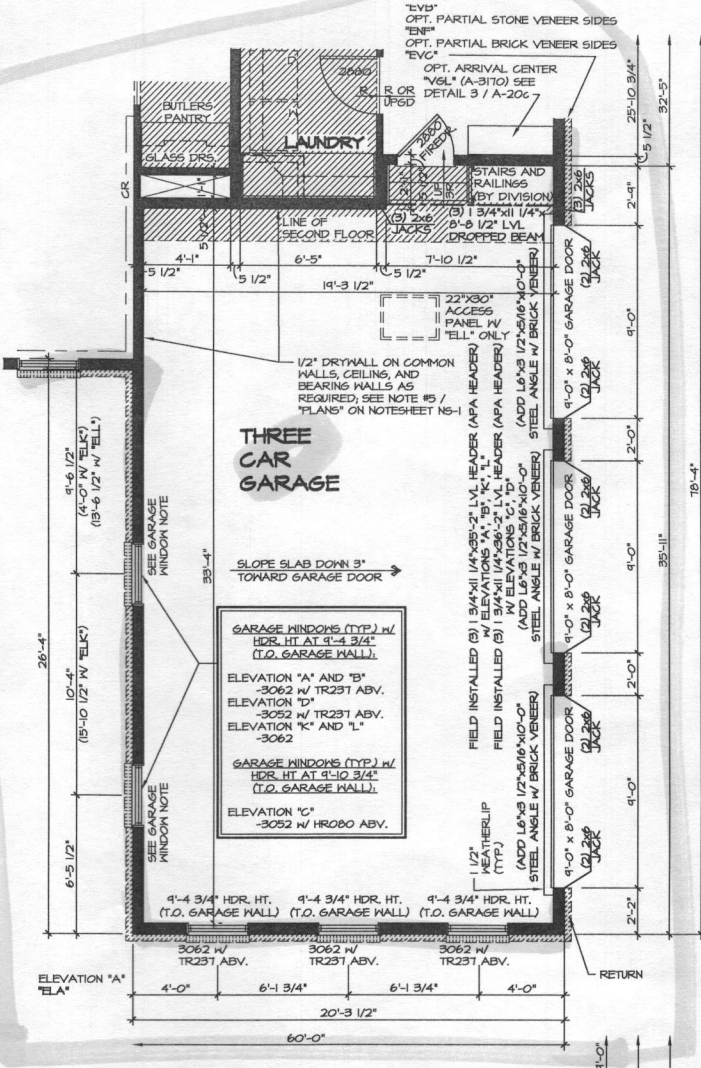
- NOTE:**
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-9 AND A-8 FOR ADDITIONAL INFORMATION.
  2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.



**ELEVATION "A"**

**PARTIAL FLOOR PLAN**

SCALE: 1/4" = 1'-0" BEDROOM FIRST FLOOR "BAR" NOTE: N/A W/ OPT. SUITE FIRST FLOOR "MSR"

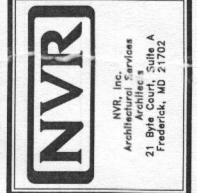


**PARTIAL FLOOR PLAN**

SCALE: 1/4" = 1'-0" THREE CAR GARAGE SIDE ENTRY "GCE"

**REVISIONS**

REV. NO.	DATE	DESCRIPTION
1	11/21/14	ISS - REVISED SHOWER HEIGHT IN BEDROOM FIRST FLOOR BATH (PAR202685)
2	11/22/14	ISS - ADJUST REVISIONS
3	4/28/15	ISS - PAR 182476 - ROTATED JACKS IN FLOOR JOISTS & REVISED TO FIELD INSTALLED
4	6/19/15	ISS - SHIFTED DOOR INTO FIRST FLOOR BEDROOM FOR CASING (PAR ID 345524)
5	6/19/15	ISS - PLANT BULL ARRIVAL PROJECT
6	6/19/15	ISS - REVISED FIREDOOR INTO GARAGE TO A 3062 (PAR ID 34552)
7	12/17/15	ISS - PAR 182476 - 2012 VA CODE UPDATE
8	2/27/17	ISS - PAR 182476 - REVISED GARAGE SLAB HEIGHT
9	2/27/17	ISS - PAR 182476 - ADDED COUNTERTOP LAYOUTS FOR OWNERS BATH



**MODEL: CLIFTON PARK II**

SET NO.	VERSION	DATE	OPTION
10500	01	1/2/13	MAT
			BAR
			GCE

**DRAWING TITLE:** FIRST FLOOR PARTIAL PLANS

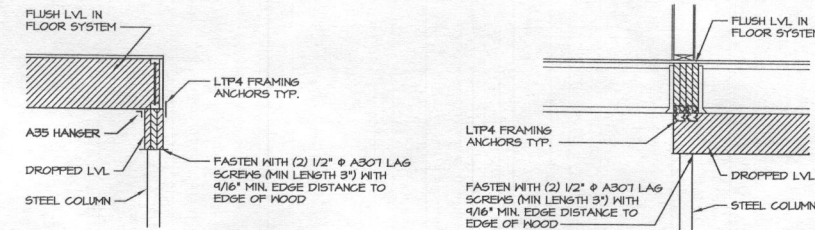
**DATE:** 1/2/13

**OPTION:** MAT BAR GCE

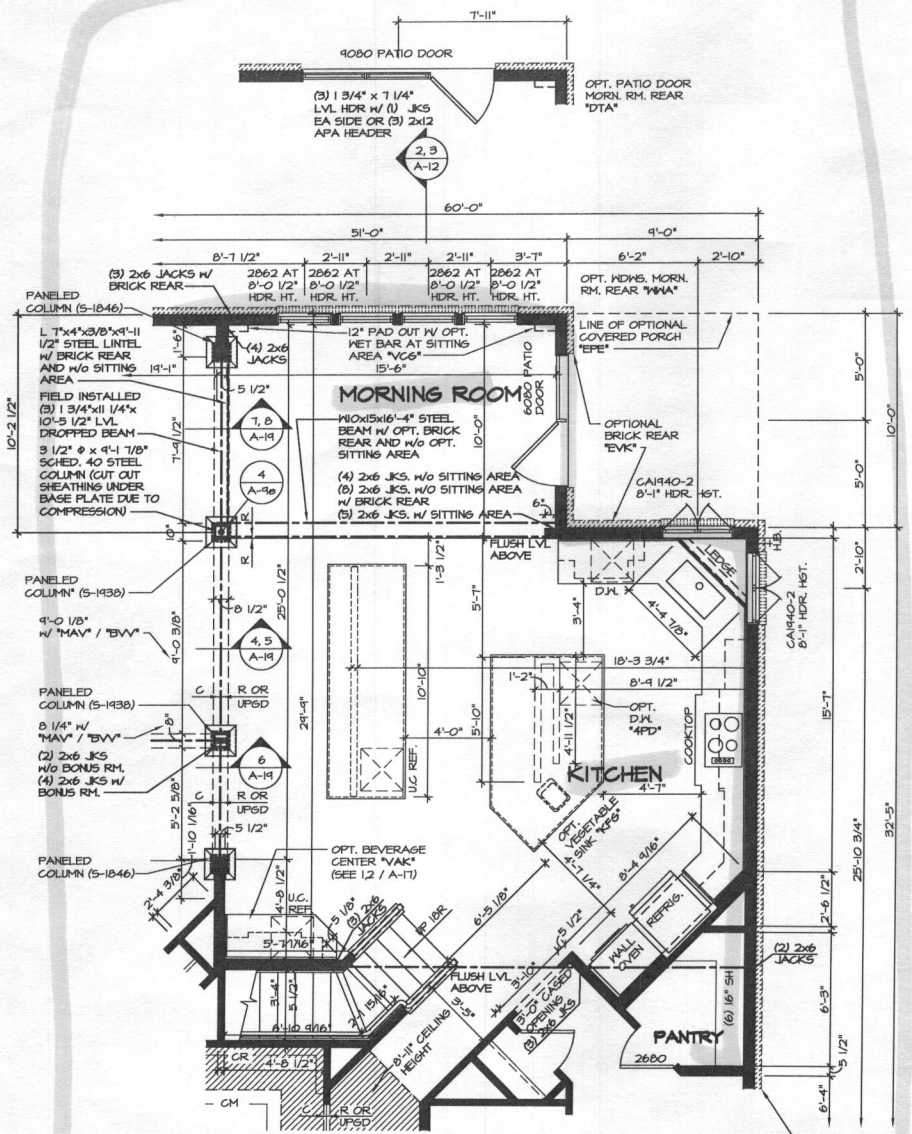
**DESCRIPTION:** LIBRARY BEDROOM FIRST FLOOR THREE CAR SIDE ENTRY GARAGE

**SHEET NO.:** A-9c

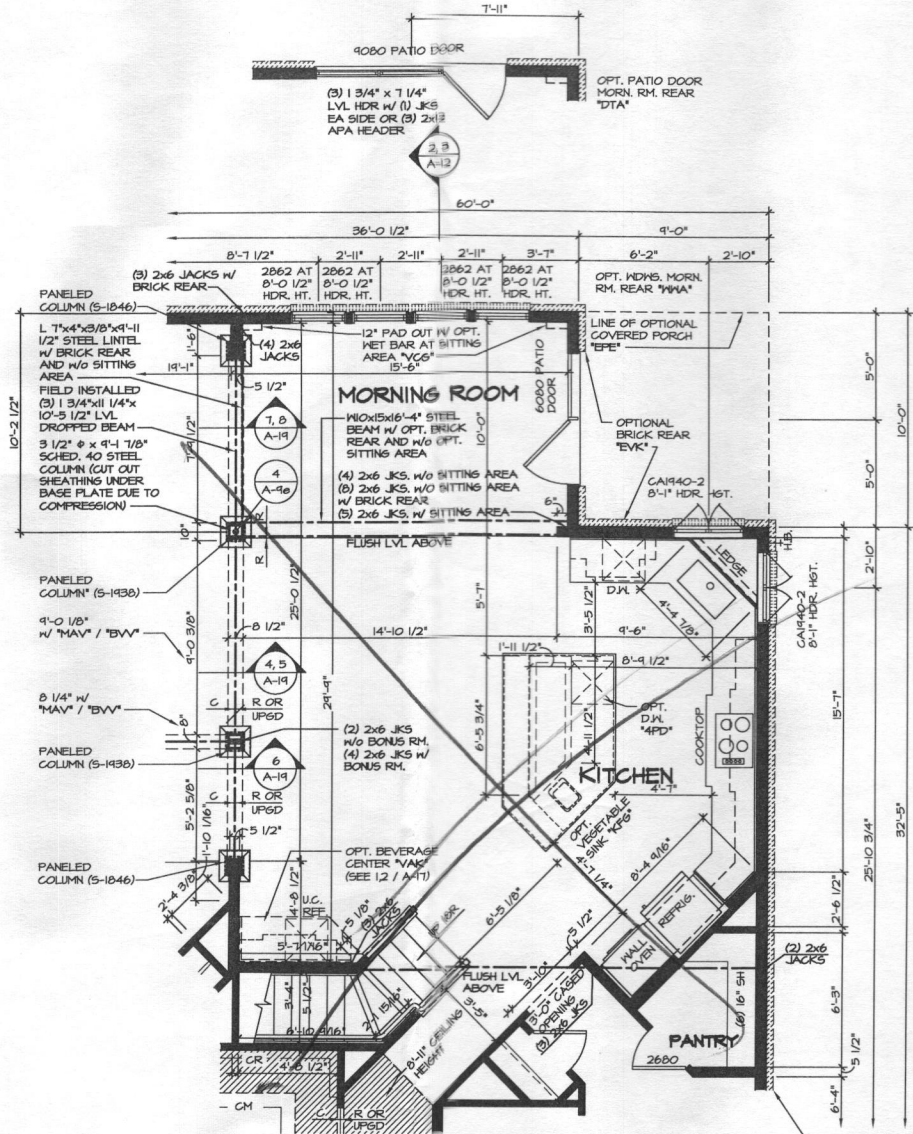
**50**



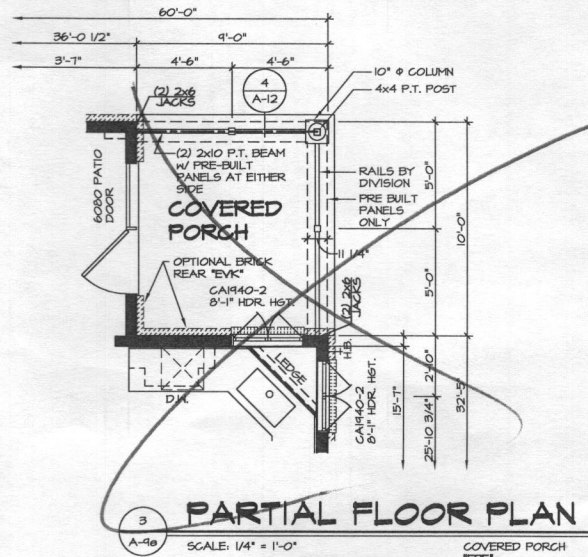
**4 ATTACHMENT DETAIL**  
SCALE: 1/2" = 1'-0"



**2 PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
MORNING ROOM W/ SOUTHWEST ISLAND  
"MAA" / "KFF"



**1 PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
MORNING ROOM  
"MAA"



**3 PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
COVERED PORCH  
NOTE: ONLY AVAILABLE W/ "MAA"

**NOTE:**  
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-4 AND A-5 FOR ADDITIONAL INFORMATION.  
2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.

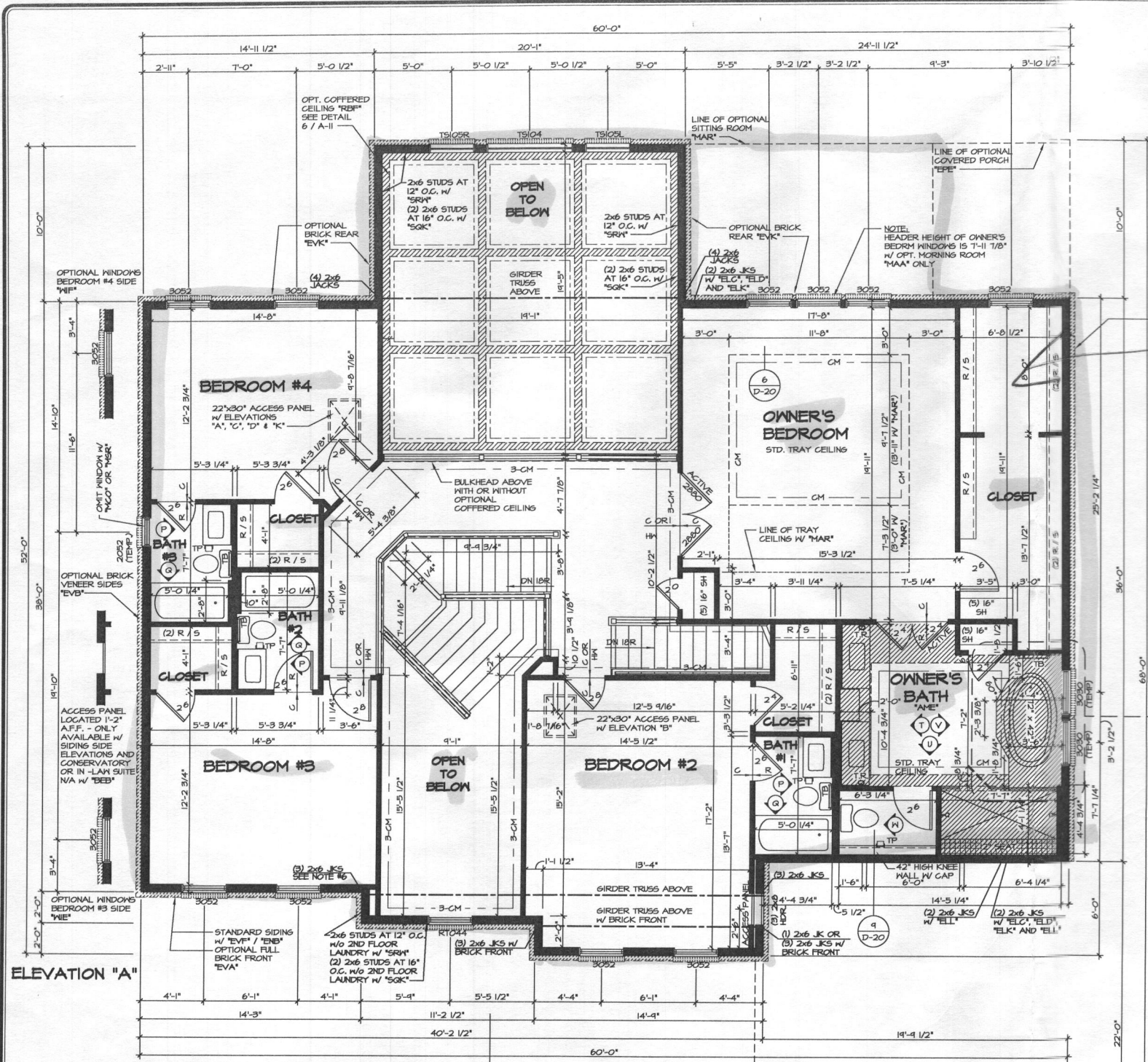
**NOTES:**  
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.  
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.  
3. HATCHED AREAS INDICATE DROPPED CEILINGS.  
4. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.  
5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

**NOTE:**  
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

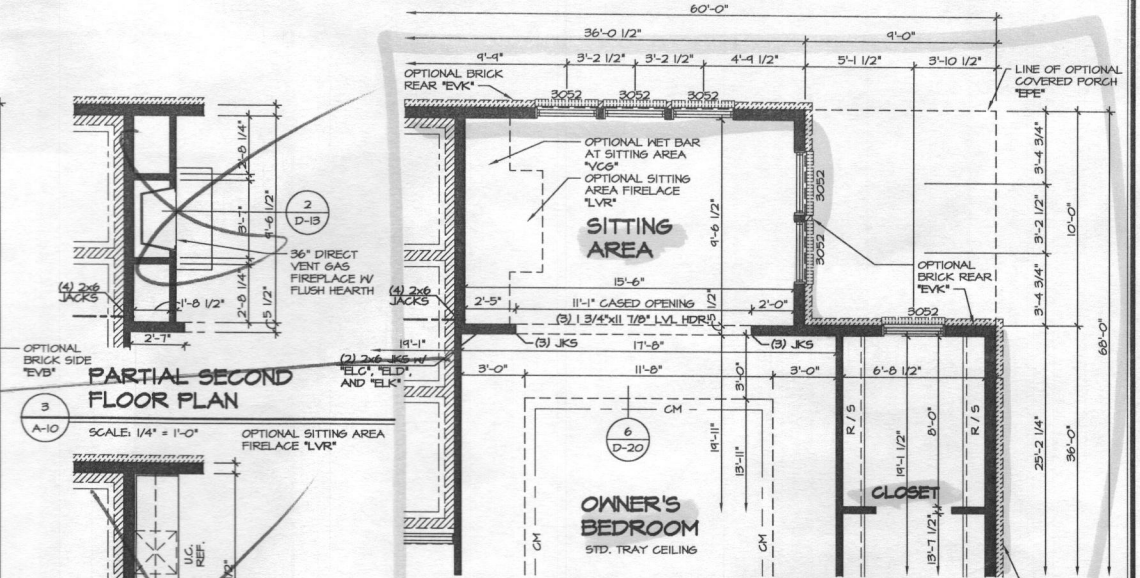
REV. NO.	DATE	REMARKS
1	10/20/14	CEL - ADDED DIMENSION FOR 9080 PATIO DOOR
2	11/20/14	GLS - ADDED ATTACHMENT DETAIL AT A-10 (PAR ID 205856)
3	11/20/14	LEA - ADDIT. REVISIONS
4	10/15/15	LEA - REVISED MANORIAL IN REAR STAIR (PAR 210109)
5	10/15/15	LEA - REVISED MALL CABINET LAYOUT AND ASSIG. # TO MALL FOR CABINETS
6	10/15/15	LEA - MOVED RIGHT REAR HOSE BID TO SIDE (20404)
7	11/20/15	GLS - FIELD ADIT. REVISIONS
8	11/20/15	GLS - ADJUST MALL LOCATION AT KITCHEN SINK LEDGE
9	01/14/16	GLS - REVISED HEADER HEIGHT OF GAINING-2 KITCHEN WINDOWS (PAR ID 205272)

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21 1/2th Court, Suite A  
Frederick, MD 21702

SHEET NO.	MODEL	SET NO.	DATE	OPTION
A-90	CLIFTON PARK II	10500	1/4/13	MAA
	DRAWING TITLE	VERSION 01		
	FIRST FLOOR PARTIAL PLANS			
	OPTION DESCRIPTION			
	MORNING ROOM			
52				



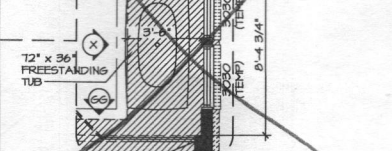
1 SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



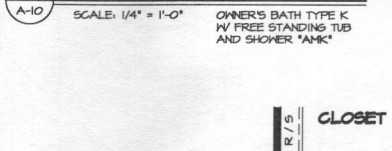
2 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



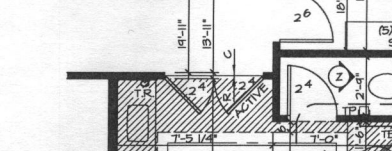
3 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



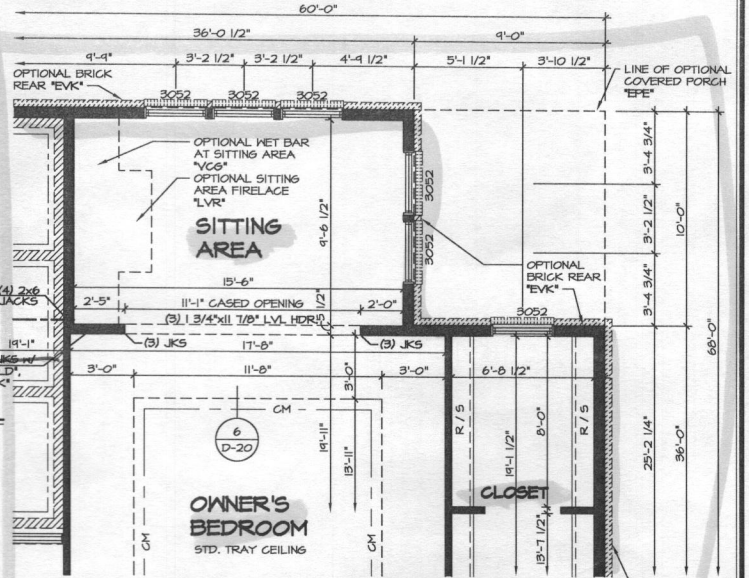
4 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



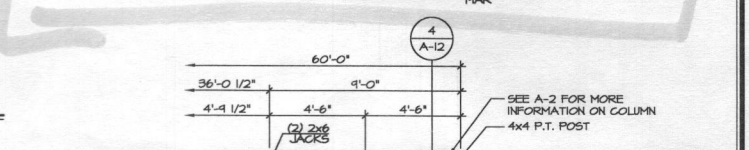
5 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



6 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



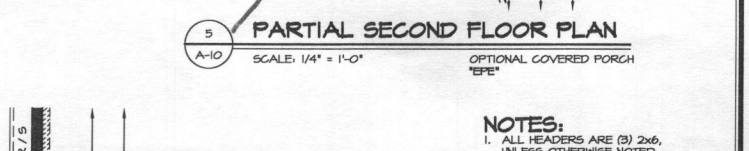
7 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



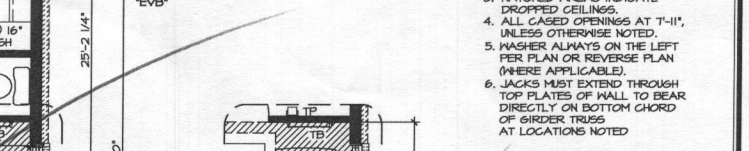
8 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



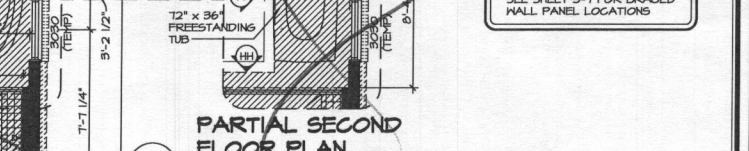
9 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



10 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



11 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



12 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"



13 PARTIAL SECOND FLOOR PLAN  
A-10 SCALE: 1/4" = 1'-0"

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
  2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
  3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
  4. HATCHED AREAS INDICATE DROPPED CEILING.
  5. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
  6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
  7. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

**NOTE:**  
SEE SHEET 5-7 FOR BRACED WALL PANEL LOCATIONS

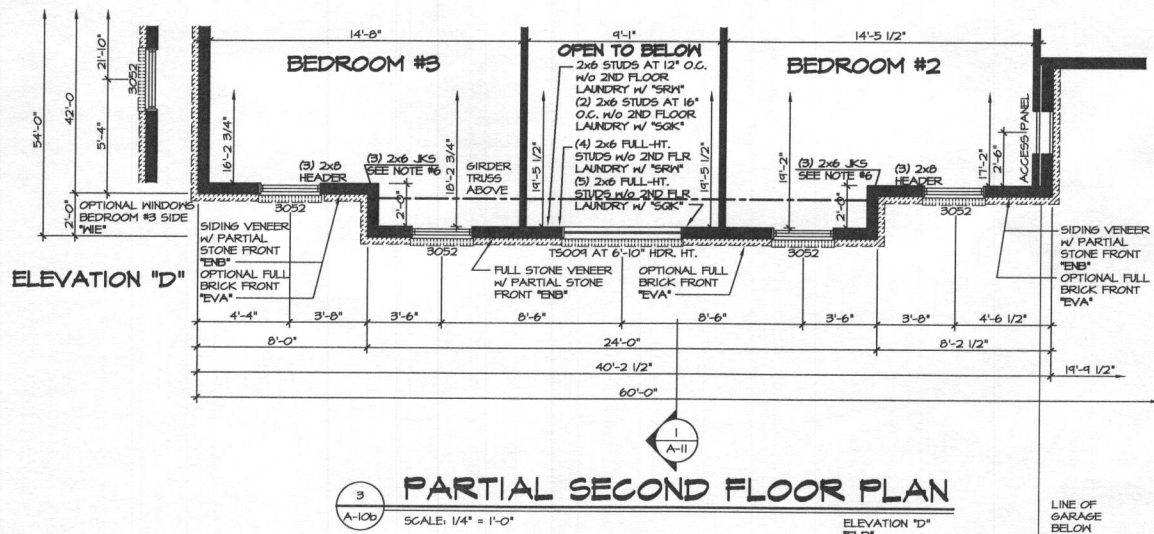
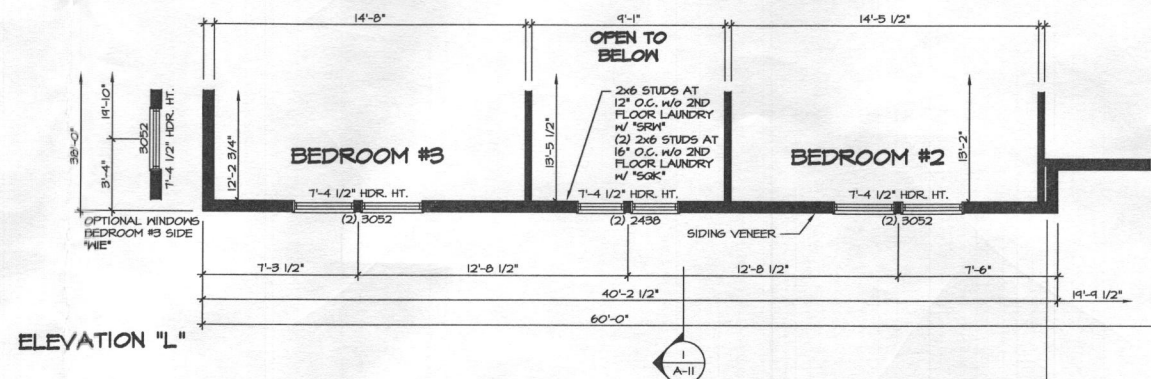
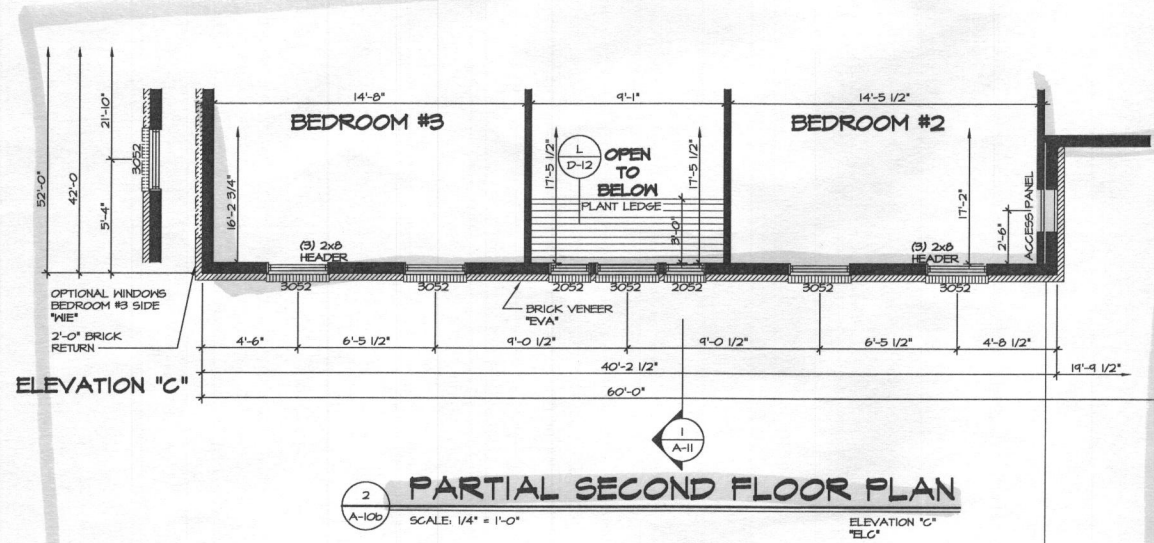
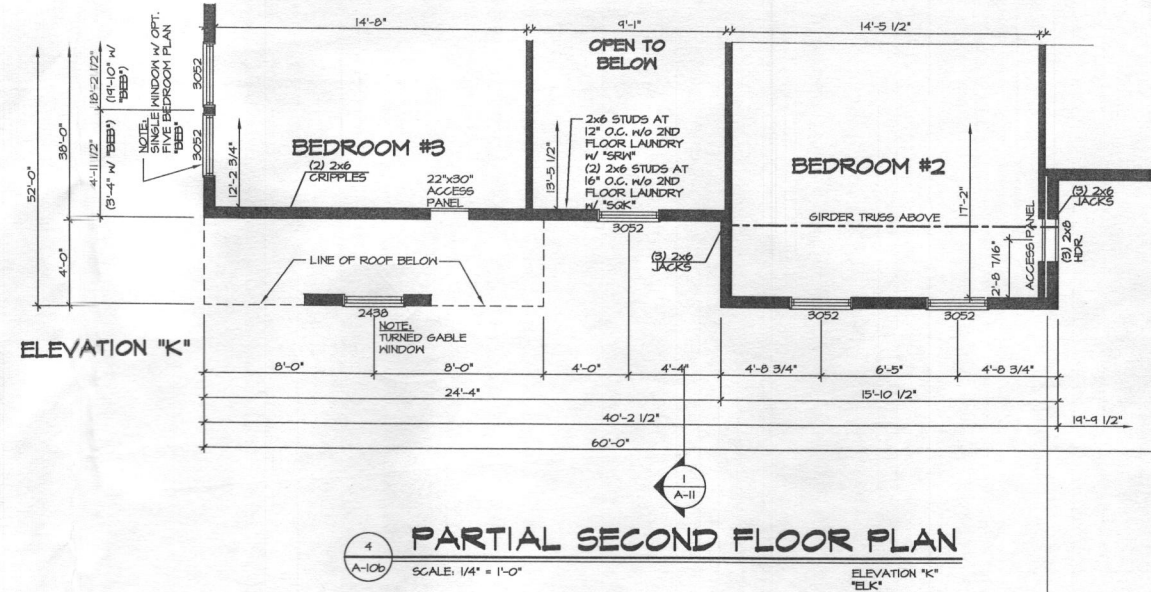
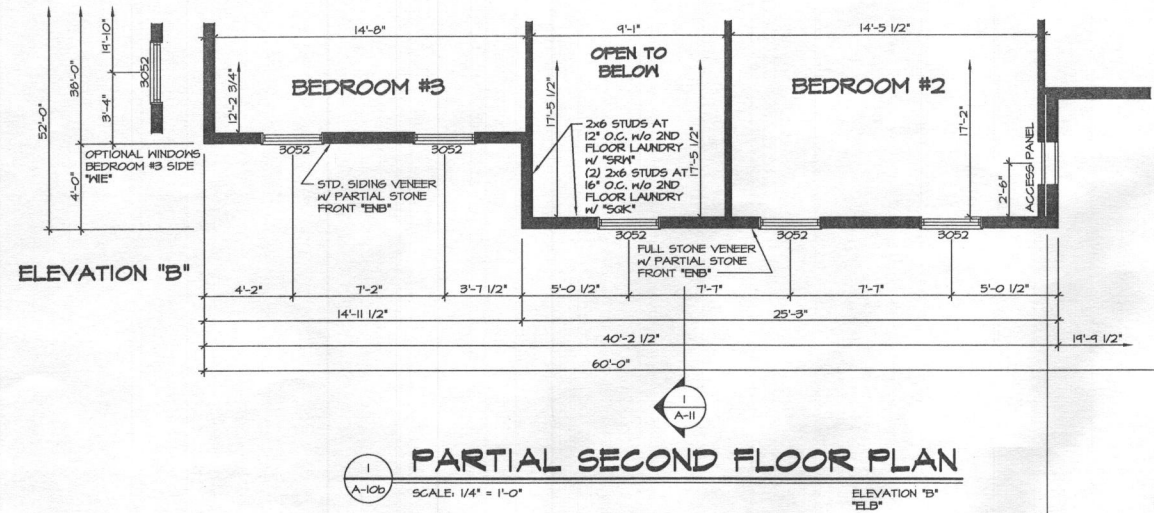
REV. NO.	DATE	REMARKS
1	12/21/12	ISSUED FOR PERMITS
2	01/24/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
3	02/25/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
4	03/15/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
5	03/22/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
6	04/02/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
7	04/11/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
8	04/18/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
9	04/25/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
10	05/02/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
11	05/09/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
12	05/16/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
13	05/23/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
14	05/30/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
15	06/06/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
16	06/13/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
17	06/20/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
18	06/27/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
19	07/04/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)
20	07/11/13	REVISIONS TO MATCH ROOF DRAINAGE (PAR ID 2823)

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Fax: 410-326-7001  
www.nvr.com

MODEL  
CLIFTON PARK II  
DRAWING TITLE  
SECOND FLOOR PLAN  
OPTION DESCRIPTION

SET NO. 10500  
VERSION 01  
DRAWN BY AJH  
DATE 12/21/12  
OPTION

SHEET NO. A-10  
54



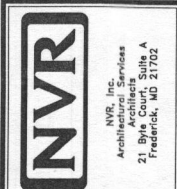
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
  2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
  3. HATCHED AREAS INDICATE DROPPED CEILING.
  4. ALL CASED OPENINGS AT "I-11", UNLESS OTHERWISE NOTED.
  5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
  6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

**NOTE:**  
FOR GARAGE GABLE WINDOW AND ADDITIONAL INFORMATION, SEE SHEET A-10

**NOTE:**  
SEE SHEET S-1 FOR BRACED WALL PANEL LOCATIONS

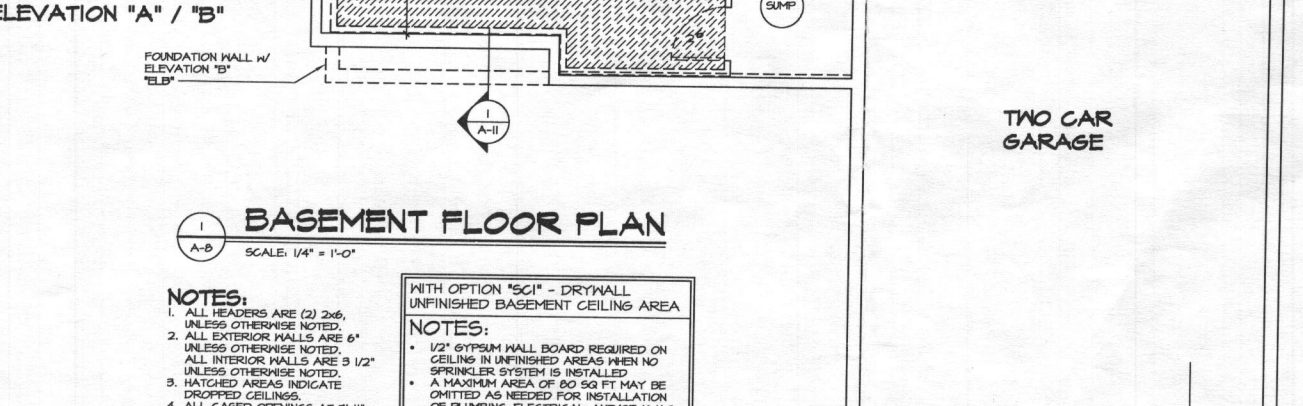
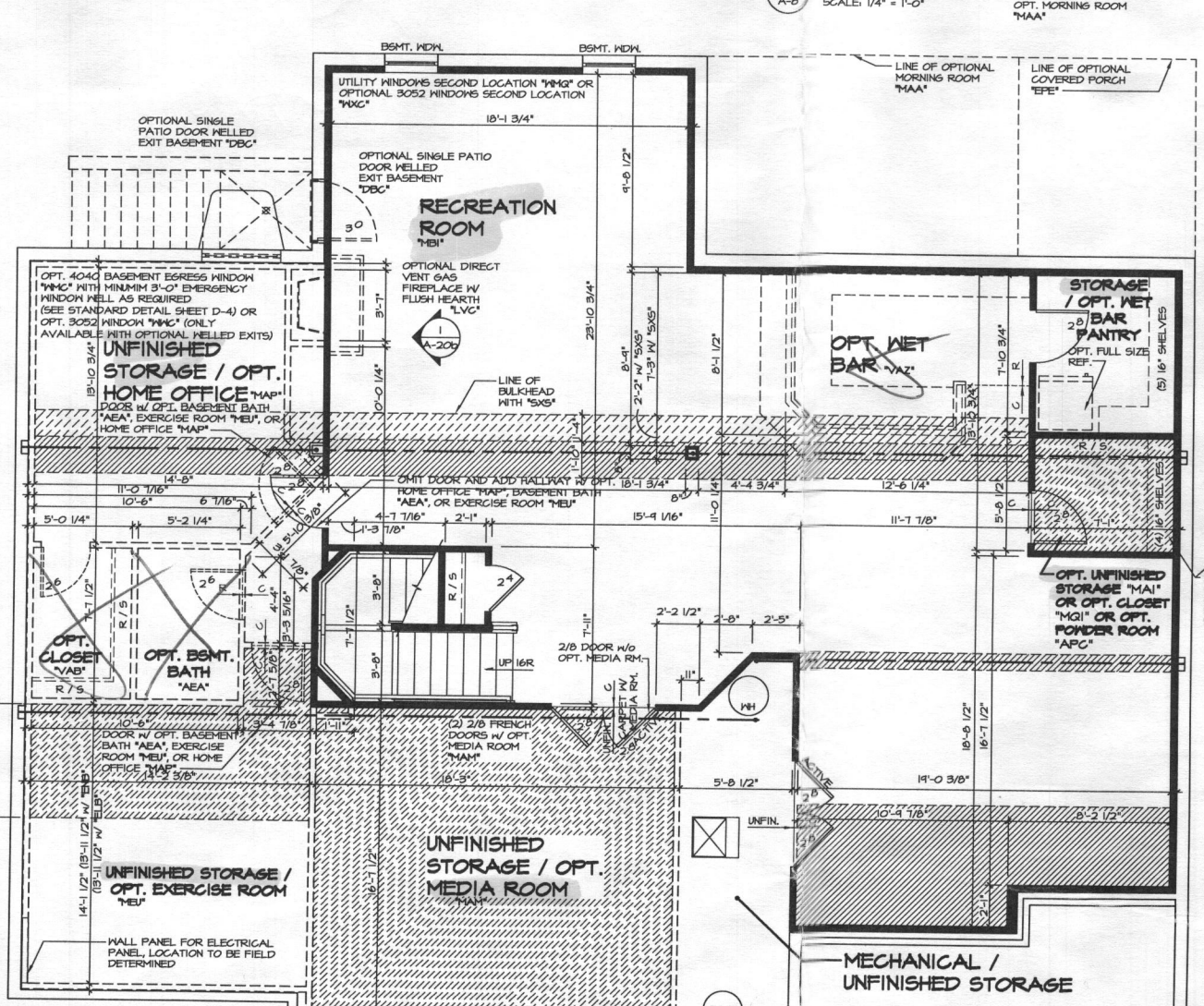
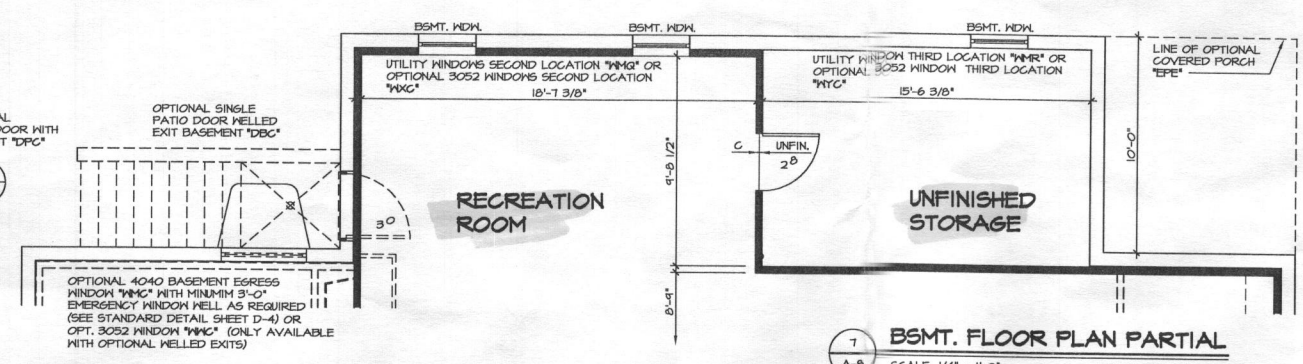
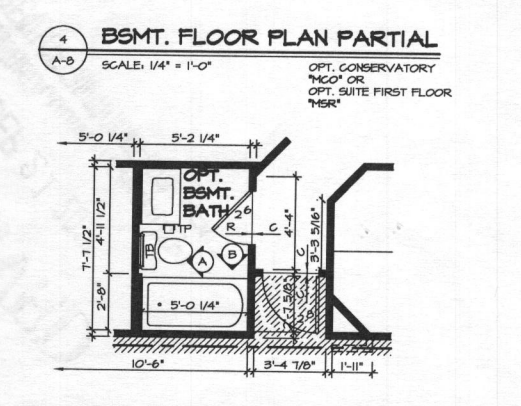
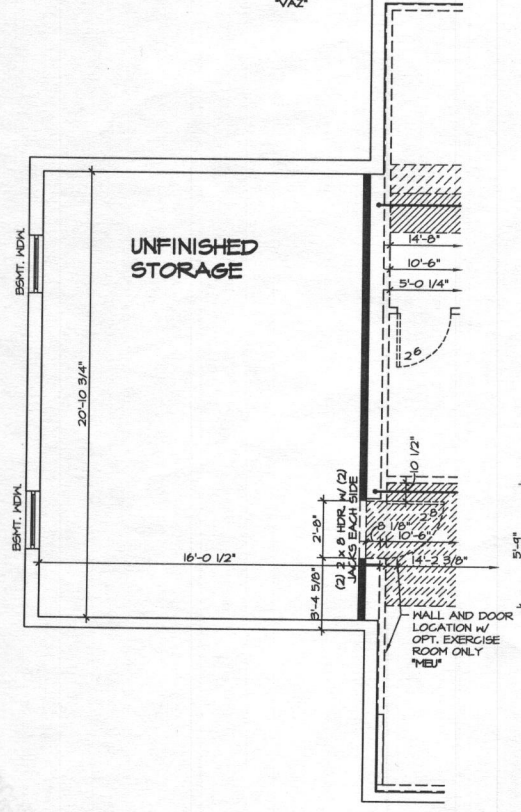
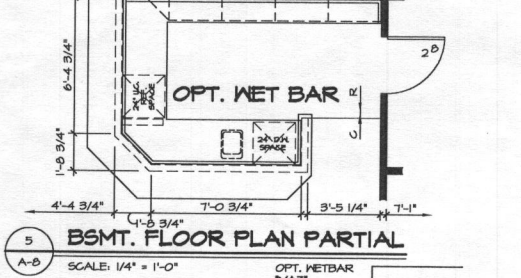
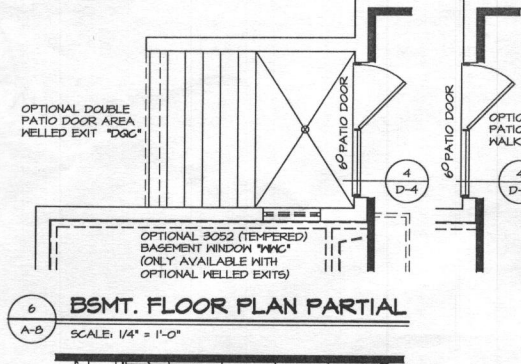
REV. NO.	DATE	REMARKS
1	7/17/18	194H - ADDED PLANT LEDGE DETAIL
2	5/8/14	A-1H - ADDED ELEVATION 'L', ADDED ATTIC ACCESS PANEL
3	10/21/14	CEL - REVISED GEOMETRICAL ERROR WITH SIDE WINDOWS
4	10/28/14	ARS - ADDED ATTIC ACCESS TO FRONT HALL OF BEDROOMS WITH TELC (10/24/17)
5	1/8/15	SLK - REVISED WINDOW LOCATION FOR TELC LEFT SIDE WINDOW (PAR. 3021)

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SHEET NO.	MODEL	SET NO.	DATE
A-106	CLIFTON PARK II	10300	12/27/12
	DRAWING TITLE	VERSION	BY
	SECOND FLOOR PARTIAL PLANS	01	AJH
	OPTION DESCRIPTION	DATE	
	ELEVATION 'B', ELEVATION 'C', ELEVATION 'D', ELEVATION 'K', ELEVATION 'L'		
56			

Health



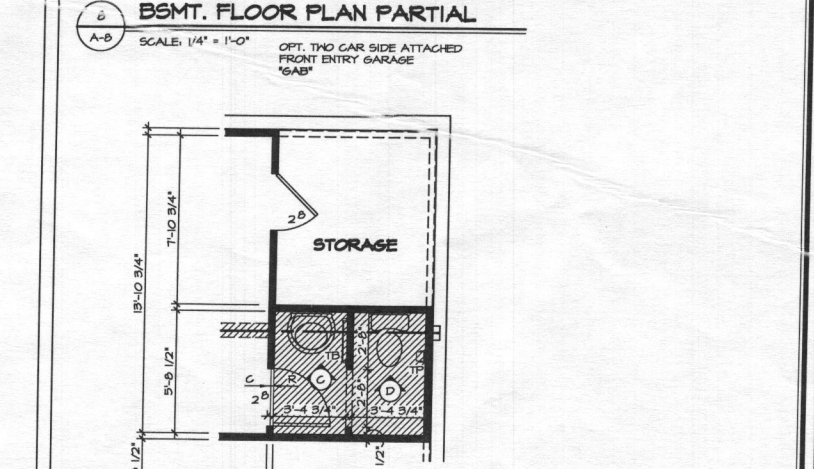
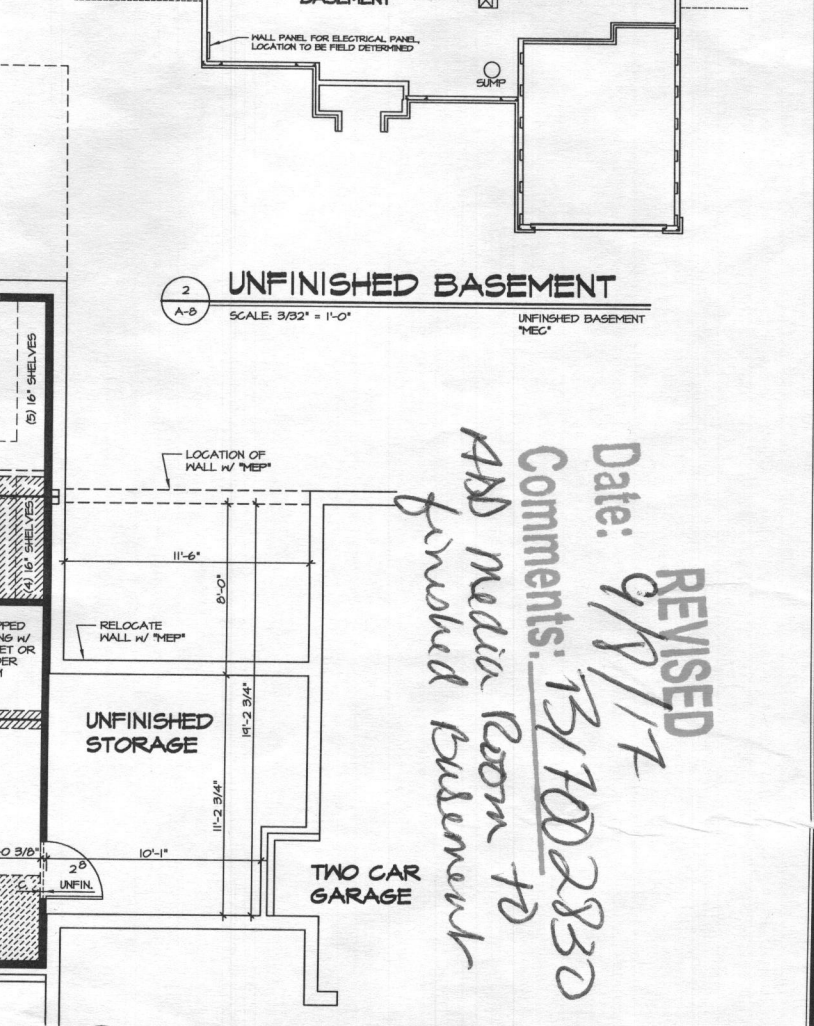
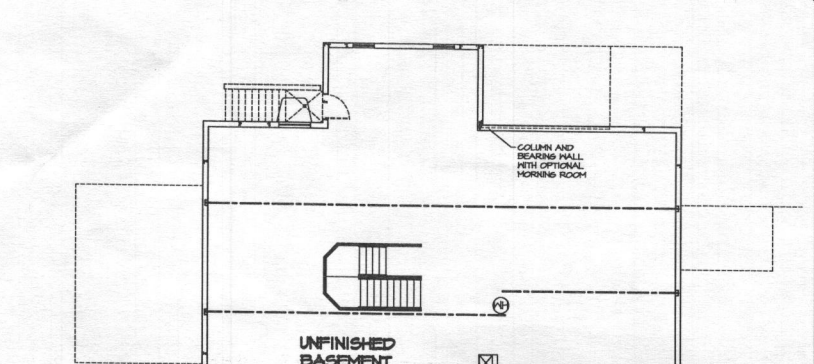
**NOTES:**

- ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS ARE 3/2" UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS.
- ALL GATED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
- WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

**WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA**

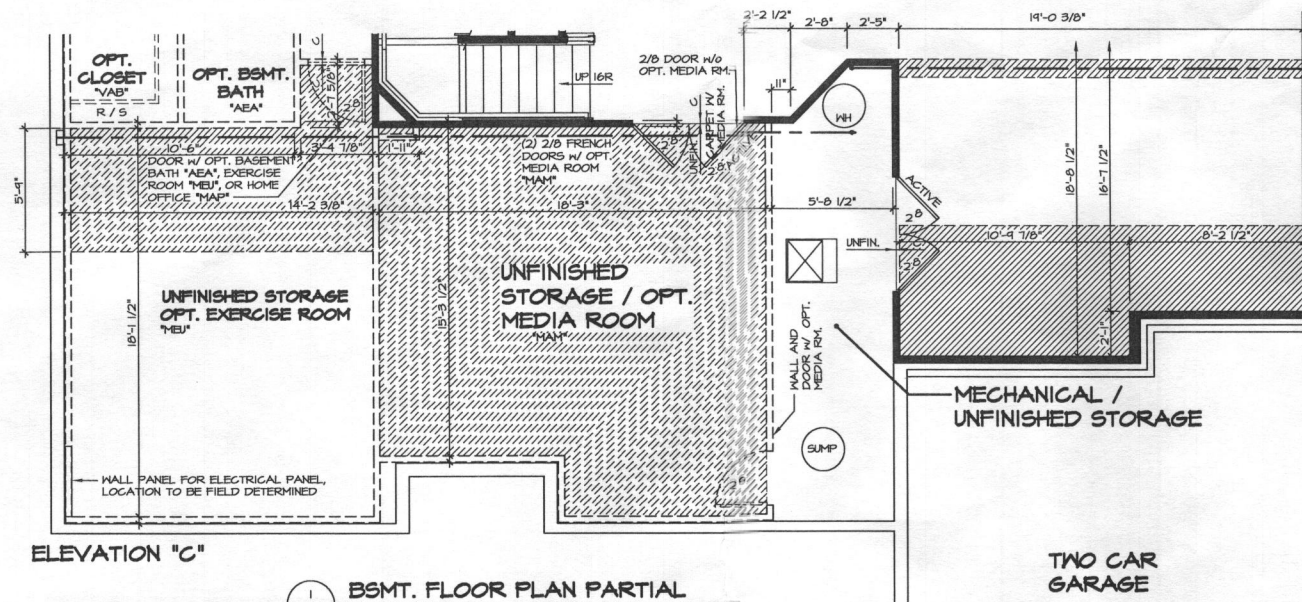
**NOTES:**

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



**REVISED**  
Date: 9/8/17  
Comments: 13/1002830  
ADD Media Room to finished Basement

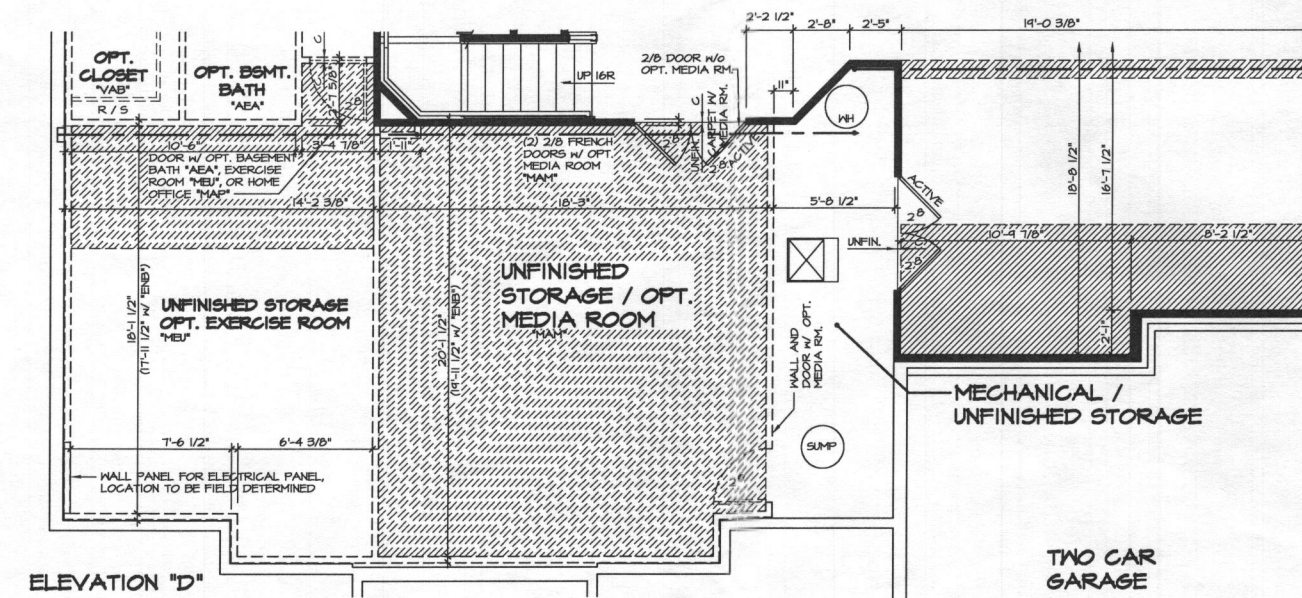
<p>REMARKS</p> <p>REV. NO. DATE</p> <p>10 10/21/14 GEL - REVISED GRAPHICAL ERROR</p> <p>11 11/25/14 SGA - AUDIT REVISIONS</p> <p>12 12/30/14 SKH - ADDED THE MARKS OR TO (B) OPTIONS AT POWDER ROOM PAR 24946</p> <p>13 3/27/14 SGA - AUDIT RIV-5X-001</p> <p>14 4/23/14 DAG - TUB CONVERSION</p> <p>15 4/23/14 DAG - ADDED 'SC1' NOTE</p> <p>16 5/29/14 LRS - ADDED 'SAS' BULKHEAD</p> <p>17 6/23/14 LRS - REPLACED (7) LRS AT MORNING ROOM BY COLUMN PAR #24954</p> <p>18 8/8/14 LVB - TURNED ON LAYERS THAT SHOW DOOR SIZE AND DIMENSIONS</p>	<p>MODEL: CLIFTON PARK II</p> <p>DRAWING TITLE: BASEMENT PLAN</p> <p>OPTION: FULL BASEMENT</p> <p>SHEET NO. A-8</p> <p>46.1</p>
--	---



ELEVATION "C"

1 BSMT. FLOOR PLAN PARTIAL  
SCALE: 1/4" = 1'-0"

ELEVATION "C"  
"ELC"



ELEVATION "D"

2 BSMT. FLOOR PLAN PARTIAL  
SCALE: 1/4" = 1'-0"

ELEVATION "D"  
"ELD"

**NOTE:**  
FOR ADDITIONAL BASEMENT  
INFORMATION AND AVAILABLE OPTIONS,  
SEE SHEET A-B

**NOTES:**  
ALL HEADERS ARE (2) 2x6,  
UNLESS OTHERWISE NOTED.  
ALL EXTERIOR WALLS ARE 6"  
UNLESS OTHERWISE NOTED.  
ALL INTERIOR WALLS ARE 3 1/2"  
UNLESS OTHERWISE NOTED.  
HATCHED AREAS INDICATE  
DROPPED CEILING.  
ALL CASED OPENINGS AT T-11",  
UNLESS OTHERWISE NOTED.  
5. WASHER ALWAYS ON THE LEFT  
PER PLAN OR REVERSE PLAN  
(WHERE APPLICABLE).

**NOTES:**  
WITH OPTION "SCI" - DRYWALL  
UNFINISHED BASEMENT CEILING AREA  
• 1/2" GYPSUM WALL BOARD REQUIRED ON  
CEILING IN UNFINISHED AREAS WHEN NO  
SPRINKLER SYSTEM IS INSTALLED  
• A MAXIMUM AREA OF 80 SQ FT MAY BE  
OMITTED AS NEEDED FOR INSTALLATION  
OF PLUMBING, ELECTRICAL, AND/OR HVAC  
(TYPICALLY AN 8'-0"x8'-0" CEILING SPACE  
ABOVE MECHANICAL AREA).  
• PROVIDE FIRE BLOCKING AS REQUIRED AT  
PERIMETER OF ANY AREAS WHERE  
DRYWALL HAS BEEN OMITTED.

SHEET NO. <b>A-8b</b>	MODEL CLIFTON PARK II	SET NO. 10300	REVISIONS	REMARKS
	DRAWING TITLE BASEMENT PARTIAL PLANS	VERSION 01	1	4/26/14 DBA - ADDED "SCI" NOTE
	OPTION DESCRIPTION FULL BASEMENT ELEVATION "C" ELEVATION "D"	DRAWN BY AJH	2	5/9/14 JSS - MOVED "ELK" TO NEXT PAGE
	46.2	DATE: 4/7/14	3	11/29/14 SGA - ADIT REVISIONS
		OPTION FBA ELC ELD		

