



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 7/13/17
Permit No.: B17002678

Building Address: 5025 Lindera Court
 City: Ellicott City State: MD Zip Code: 21042
 Suite/Apt. # _____ SDP/WP/BA #: GP-17-013
 Census Tract: _____ Subdivision: Walnut Creek
 Section: _____ Area: _____ Lot: 118
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
 Proposed Use: Single family house
 Estimated Construction Cost: \$ 240,000
 Description of Work: New 2 story "Cliffon Park" with 3 car garage, full porch, morning room, sitting area, suite 1st floor, finished lower level (rec rm, office, media exercise, storage + bathroom)
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVA Inc
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: Decatur Building Services
 Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7792 Fax: _____
 Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
 Contact Person: Taylor Paris
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: TParis@NVAInc.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
Area of construction (sq. ft.):	2 nd floor:
Use group:	Basement:
	<input type="checkbox"/> Finished Basement
	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Craw Space
<u>Construction type:</u>	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> Structural Steel	<u>Multi-family Dwelling</u>
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
<u>Water Supply</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<u>Heating System</u>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<input checked="" type="checkbox"/> Sprinkler System:	<u>JUL 13 2017</u>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
RECEIVED	
LICENSES & PERMITS	
Grading Permit Number:	<u>077000221</u>
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin
 Applicant's Signature
Jim@DecaturbuildingServices.com
 Email Address
AGENT, NV Homes
 Title/Company

Jim Kerwin
 Print Name
7/12/2017
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>7/25/17</u>	<u>H. OSWALD</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>118634</u>

CLIFTON PARK II

Lot 118
5 Bedrooms

HEALTH DEPT
B17002678



NVR, Inc.
Architectural Services
Architects
21 Byte Court, Suite A
Frederick, MD 21702

	FULL BASEMENT							CRAWL SPACE							ATTACHED GARAGES		OPTIONAL ROOMS				DETAILS STANDARD	
	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'K'	ELEV. 'L'	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'K'	ELEV. 'L'	THREE CAR SIDE ENTRY	TWO CAR SIDE ATTACHED	CONSERVATORY	SUITE FIRST FLOOR	MORNING ROOM	BONUS ROOM		
NOTE SHEET	2							2														D-1
FRONT ELEVATIONS - SIDING		3							3													D-2
FRONT ELEVATIONS - BRICK		4		7	8				4		7	8										D-3
FRONT ELEVATIONS - SIDINGS/STONE		5	6			9	10.1	10.2		5	6			9	10.1	10.2						D-4
RIGHT SIDE ELEVATIONS - SIDING OR SIDINGS/STONE		11	13	14	16	18.1	18.2			11	13	14	16	18.1	18.2							D-5
RIGHT SIDE ELEVATIONS - BRICK		12		15	17					12		15	17									D-5a
LEFT SIDE ELEVATIONS - SIDING OR SIDINGS/STONE		19	21	22	24	26.1	26.2			19	21	22	24	26.1	26.2							D-6
LEFT SIDE ELEVATIONS - BRICK		20		23	25					20		23	25									D-7
REAR ELEVATIONS - SIDING		27	29	30	32	34.1	34.2			27	29	30	32	34.1	34.2							D-8c
REAR ELEVATIONS - BRICK		28		31	33					28		31	33									D-11
FOUNDATION		35	36	37.1	37.2	37.1	41.2			35	36	37.1	37.2	37.1	41.2			38	38	38		D-12
HOLD DOWN DETAILS		43								43												D-12b
PLUMBING GROUND WORKS		44								45												D-12c
BASEMENT PLAN		46.1	46.1	46.1	46.2	46.2	46.3			47		48	48	44.1	44.1	44.2						D-13
FIRST FLOOR PLAN		47		48	48	44.1	44.1	44.2			48	48	44.1	44.1	44.2							D-14
FIRST FLOOR PLAN PARTIALS		50								50							51	51	52			D-15
SECOND FLOOR PLAN		54		56	56	56	56			54		56	56	56	56				55			D-15a
SECOND FLOOR PLAN PARTIALS		57								57												D-16
BUILDING SECTION AT FOYER		58								58							61					D-16a
BUILDING SECTION AT GARAGE		60								60									60			D-17
STAIR SECTION (FRONT STAIR) - STANDARD		62								62												D-17a
STAIR SECTION (FRONT STAIR) - UPGRADE		64								64												D-18c
STAIR SECTION (FRONT STAIR) - UPGRADE w/ METAL		66, 67.1								66, 67.1												D-20
STAIR SECTION (FRONT STAIR) - UPGRADE w/ CRAFTSMAN		67.2, 67.3								67.2, 67.3												D-21
STAIR SECTION (REAR STAIR) - STANDARD		68								68												D-22
STAIR SECTION (REAR STAIR) - UPGRADE		69.1								69.1												D-22a
STAIR SECTION (REAR STAIR) - UPGRADE w/ CRAFTSMAN		69.2								69.2												D-27
KITCHEN PLANS - CABINET HOOD 'B'		70								70								71				D-28
KITCHEN PLANS - CABINET HOOD 'C'		72								72									73			D-28a
KITCHEN PLANS - GOURMET		74								74									75			D-29
KITCHEN PLANS - ISL '113		76								76												D-30
WET BAR, LAUNDRY, CHARGING CENTER		77.1								77.1												D-34
INTERIOR DETAILS - BATH ELEVATIONS		78								78												D-35
INTERIOR DETAILS - COLUMNS / BULKHEAD		79								79												D-36
INTERIOR DETAILS - FOYER AND FAMILY ROOM WINDOWS		80	80	80	80	80	81			80	80	80	80	80	81							D-37
INTERIOR DETAILS - FIREPLACE DETAILS		82								82												D-40
INTERIOR DETAILS - FIREPLACE DETAILS w/ BONUS RM.		83								83												D-40a
INTERIOR MISC. DETAILS		84								84												D-44
EXTERIOR ELEVATION DETAILS				85	85	86.1	86.2					85	85	86.1	86.2							D-45
EXTERIOR MISC. DETAILS		87								87												WB-1
BASEMENT ELECTRICAL		88.1	88.1	88.2	88.2	88.3	88.3															WB-2
FIRST FLOOR ELECTRICAL		89	90	90	91.1	91.1	91.2			89	90	90	91.1	91.1	91.2							F-1
FIRST FLOOR ELECTRICAL PARTIALS		92								92							93	93	94			
SECOND FLOOR ELECTRICAL		96	98	98	98	98	98			96	98	98	98	98	98							
SECOND FLOOR ELECTRICAL PARTIALS		99								99												
FIRST FLOOR JOIST LAYOUT		100	101	101	102	102	102			103	104	104	105	105	105							SP-1
SECOND FLOOR JOIST LAYOUT		106	108	108	109	109	109			106	108	108	109	109	109							SP-2
ROOF FRAMING		110	111	112	113	114.1	114.2			110	111	112	113	114.1	114.2							SEP-1
TRUSS BRACING		119					120.2			119					120.2							SEP-2
BRACED WALL		121								121												SEP-3
ROOF VENTILATION		123	124	125	126	127.1	127.2			123	124	125	126	127.1	127.2							SEP-4
BASEMENT HVAC PLAN		128.1	128.2																			
CRAWL SPACE HVAC PLAN										129												
FIRST FLOOR HVAC PLAN		130								131												
SECOND FLOOR HVAC PLAN		131								132												

BASE SQUARE FOOTAGE

FIRST FLOOR	GROSS SQ. FT.	2480
SECOND FLOOR	GROSS SQ. FT.	1987
HOUSE TOTAL	GROSS SQ. FT.	4467

ELEVATIONS SQ. FT.

ELEVATION 'A'	GROSS SQ. FT.	+0
ELEVATION 'B'	GROSS SQ. FT.	+20
ELEVATION 'C'	GROSS SQ. FT.	+120
ELEVATION 'D'	GROSS SQ. FT.	+219
ELEVATION 'K'	GROSS SQ. FT.	+32
ELEVATION 'L'	GROSS SQ. FT.	-146

ADDITIONAL SQ. FT.

MORNING ROOM	GROSS SQ. FT.	+160
CONSERVATORY OR SUITE FIRST FLOOR	GROSS SQ. FT.	+352
SIDE ATTACHED GARAGE	GROSS SQ. FT.	+137
SIDE ATTACHED GARAGE w/ FAMILY OFFICE	GROSS SQ. FT.	+233
5TH BEDROOM LAYOUT	GROSS SQ. FT.	+352
SITTING AREA	GROSS SQ. FT.	+165
BONUS ROOM / BEDROOM	GROSS SQ. FT.	+348
2ND FLOOR LAUNDRY		
- ELEVATION 'A'	GROSS SQ. FT.	+105
- ELEVATION 'B'	GROSS SQ. FT.	+125
- ELEVATION 'C'	GROSS SQ. FT.	+123
- ELEVATION 'D'	GROSS SQ. FT.	+141
- ELEVATION 'K'	GROSS SQ. FT.	+82
- ELEVATION 'L'	GROSS SQ. FT.	+82

MAXIMUM FINISHED SQ. FT.

HOUSE TOTAL	GROSS SQ. FT.	6349
**MAXIMUM SQ. FT. DOES NOT INCLUDE BASEMENT		

FINISHED BASEMENT SQ. FT.

RECREATION ROOM	GROSS SQ. FT.	+1244
MEDIA ROOM	GROSS SQ. FT.	+317
HOME OFFICE	GROSS SQ. FT.	+233
BASEMENT BATH	GROSS SQ. FT.	+68
BASEMENT CLOSET	GROSS SQ. FT.	+44
EXERCISE ROOM	GROSS SQ. FT.	+219

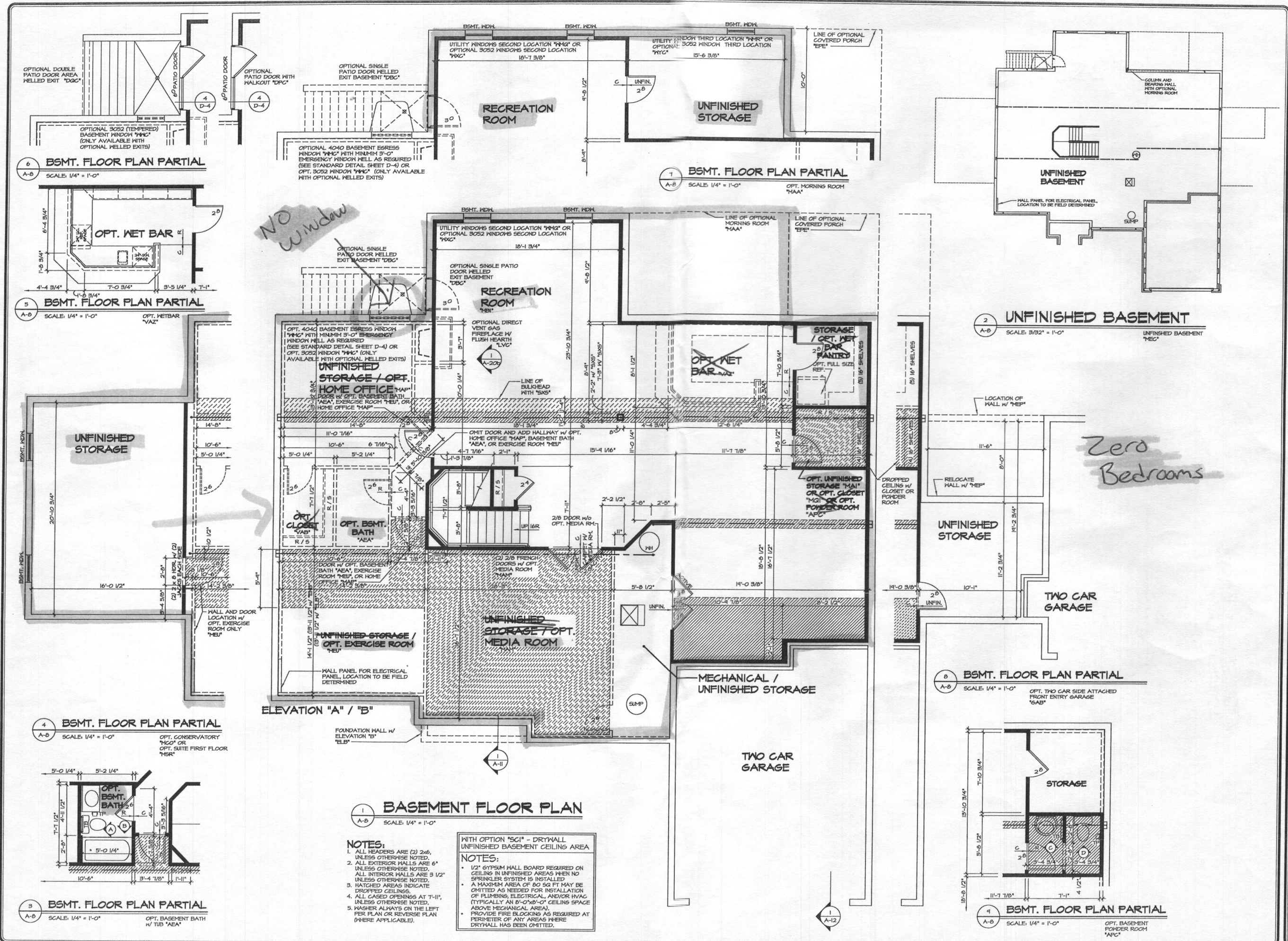
FOOTPRINT

BASE HOUSE:	
WIDTH:	60'-4"
DEPTH:	68'-4"
MAXIMUM:	
WIDTH:	110'-8"
DEPTH:	78'-8"

SET - VERSION
10300-01

CS-1

A:\DWG\10300\10300-01\CLIFTON PARK II\10300-01\SET.DWG 12/29/14 - 8:38 AM



NO WINDOW

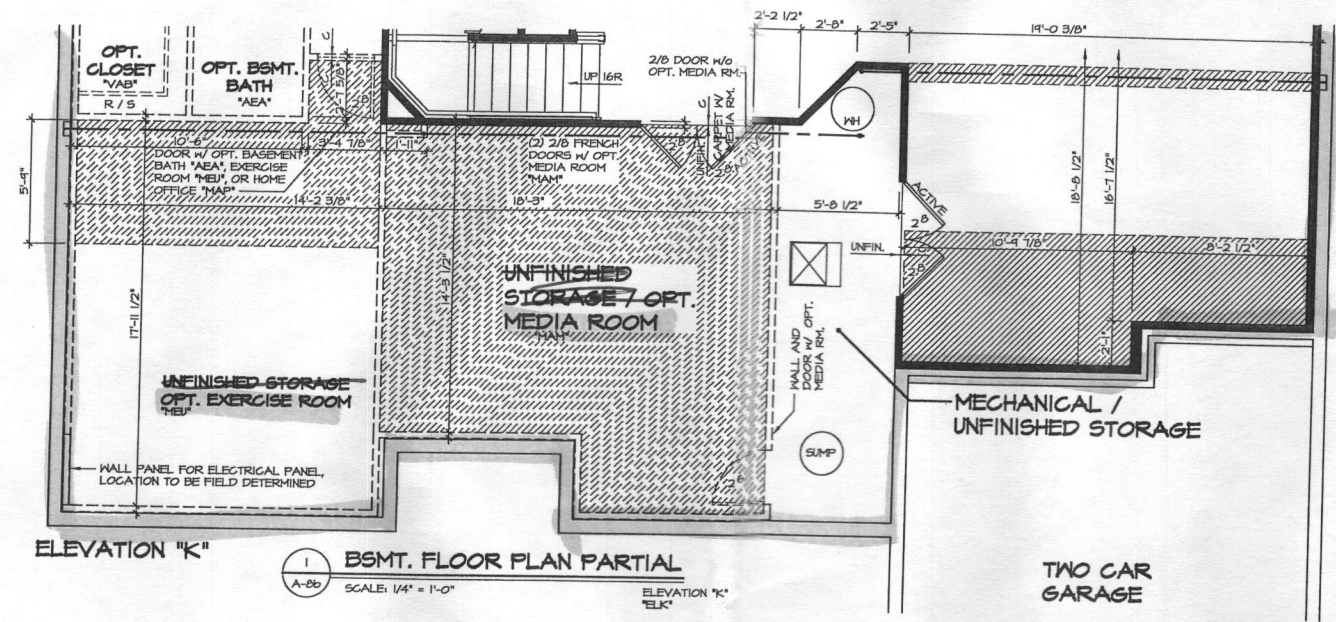
Zero Bedrooms

BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

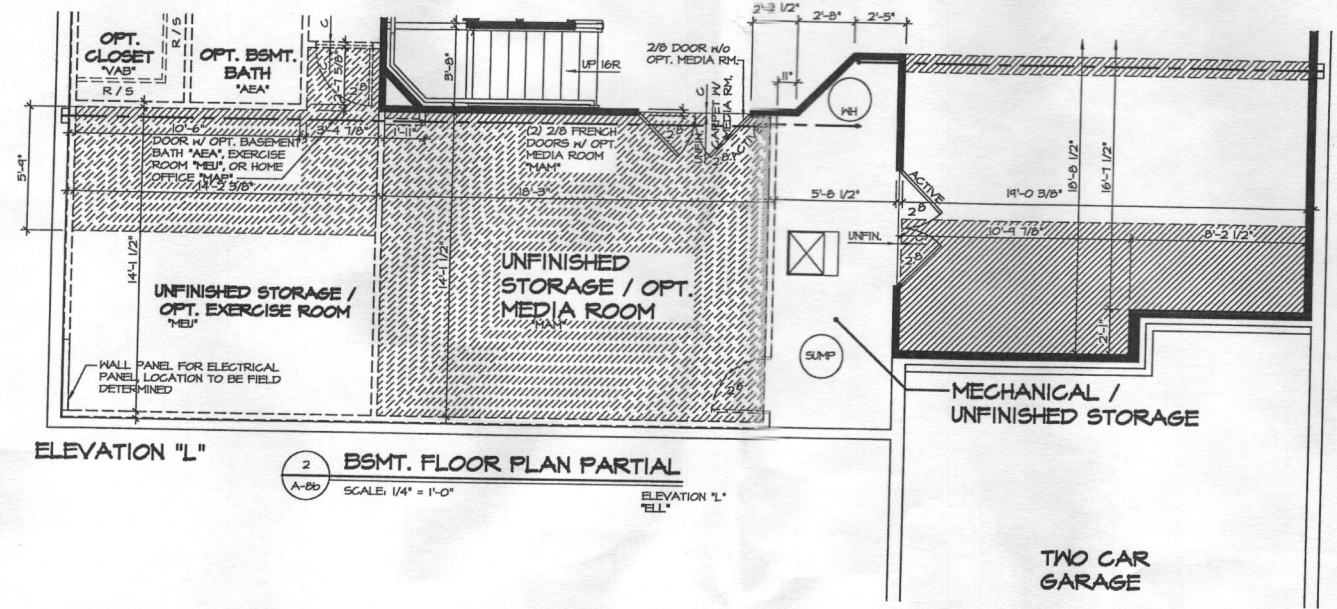
- NOTES:**
1. ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILINGS.
 4. ALL GASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

- WITH OPTION *SC1* - DRYWALL UNFINISHED BASEMENT CEILING AREA**
- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

SHEET NO.	A-8	MODEL	CLIFTON PARK II	SET NO.	10300																																																																		
DRAWING TITLE	BASEMENT PLAN	VERSION 01		DRAWN BY	AJH																																																																		
OPTION	FULL BASEMENT	DATE	1/10/15	DATE	1/10/15																																																																		
		OPTION DESCRIPTION		DATE	FBA																																																																		
46.1																																																																							
<p>REVISIONS</p> <table border="1"> <tr> <th>REV. NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>10</td> <td>10/20/14</td> <td>CEL - REVISED GRAPHICAL ERROR</td> </tr> <tr> <td>11</td> <td>10/20/14</td> <td>USA - ADDIT. REVISIONS</td> </tr> <tr> <td>12</td> <td>10/20/14</td> <td>SPK - ADDED THE NOTES OR TO (B) OPTIONS AT POWDER ROOM PAK 20166</td> </tr> <tr> <td>13</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>14</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>15</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>16</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>17</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>18</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>19</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>20</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>21</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>22</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>23</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>24</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>25</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>26</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>27</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>28</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>29</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> <tr> <td>30</td> <td>10/20/14</td> <td>USA - ADDIT. REV. 2X-001</td> </tr> </table>						REV. NO.	DATE	DESCRIPTION	10	10/20/14	CEL - REVISED GRAPHICAL ERROR	11	10/20/14	USA - ADDIT. REVISIONS	12	10/20/14	SPK - ADDED THE NOTES OR TO (B) OPTIONS AT POWDER ROOM PAK 20166	13	10/20/14	USA - ADDIT. REV. 2X-001	14	10/20/14	USA - ADDIT. REV. 2X-001	15	10/20/14	USA - ADDIT. REV. 2X-001	16	10/20/14	USA - ADDIT. REV. 2X-001	17	10/20/14	USA - ADDIT. REV. 2X-001	18	10/20/14	USA - ADDIT. REV. 2X-001	19	10/20/14	USA - ADDIT. REV. 2X-001	20	10/20/14	USA - ADDIT. REV. 2X-001	21	10/20/14	USA - ADDIT. REV. 2X-001	22	10/20/14	USA - ADDIT. REV. 2X-001	23	10/20/14	USA - ADDIT. REV. 2X-001	24	10/20/14	USA - ADDIT. REV. 2X-001	25	10/20/14	USA - ADDIT. REV. 2X-001	26	10/20/14	USA - ADDIT. REV. 2X-001	27	10/20/14	USA - ADDIT. REV. 2X-001	28	10/20/14	USA - ADDIT. REV. 2X-001	29	10/20/14	USA - ADDIT. REV. 2X-001	30	10/20/14	USA - ADDIT. REV. 2X-001
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<p>REMARKS</p> <p>NVR, Inc. hereby certifies that the information contained herein is true and correct to the best of our knowledge and belief, and that the same has been prepared by or on behalf of NVR, Inc. or its duly authorized representatives. NVR, Inc. does not warrant, represent or guarantee the accuracy, completeness or reliability of the information contained herein, and the user of the information shall be responsible for its own interpretation and use. NVR, Inc. shall not be liable for any damages, including reasonable attorneys' fees, arising out of the use of the information contained herein, whether or not such damages were foreseeable. This disclaimer shall survive the termination or expiration of any agreement between the parties.</p>																																																																							
<p>PROJECT: CLIFTON PARK II, 10300 01A BSMT.DWG, 01/15/15, 16 - 10x33.0m</p>																																																																							



ELEVATION "K"
 1 BSMT. FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0"
 ELEVATION "K"
 ELK



ELEVATION "L"
 2 BSMT. FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0"
 ELEVATION "L"
 ELL

NOTE:
 FOR ADDITIONAL BASEMENT INFORMATION AND AVAILABLE OPTIONS, SEE SHEET A-8

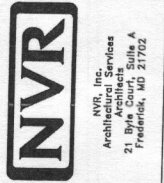
- NOTES:**
- ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 8 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 - 5. WASHERS ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

WITH OPTION "SGI" - DRYWALL UNFINISHED BASEMENT CEILING AREA

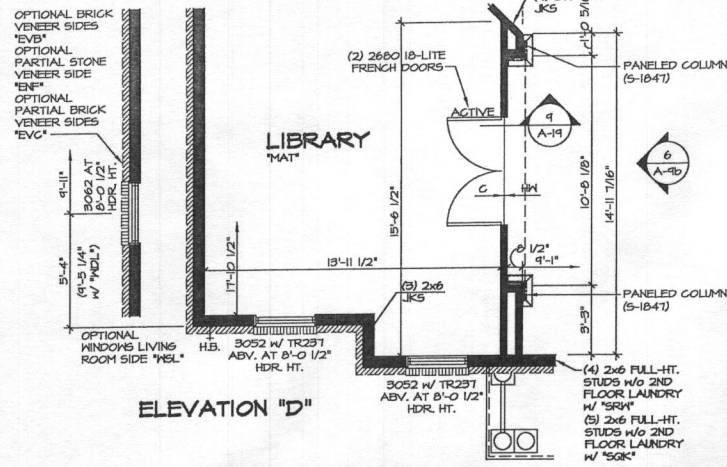
NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA)
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

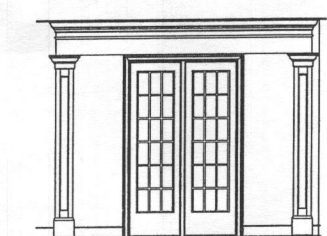
SHEET NO. A-8b	MODEL CLIFTON PARK II	SET NO. 10300	REV. NO. 1	DATE 11/28/14	56A - ALBT REVISIONS	REMARKS
	DRAWING TITLE BASEMENT PARTIAL PLANS	VERSION C1	DRAWN BY AJH	DATE 5/2/14	OPTION FBA ELK ELL	
46.3	OPTION DESCRIPTION FULL BASEMENT ELEVATION "K" ELEVATION "L"					



NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MDL" INFORMATION, SEE SHEET A-1
FOR OPTIONAL BOOKCASE "VST" INFORMATION, SEE SHEET A-1C

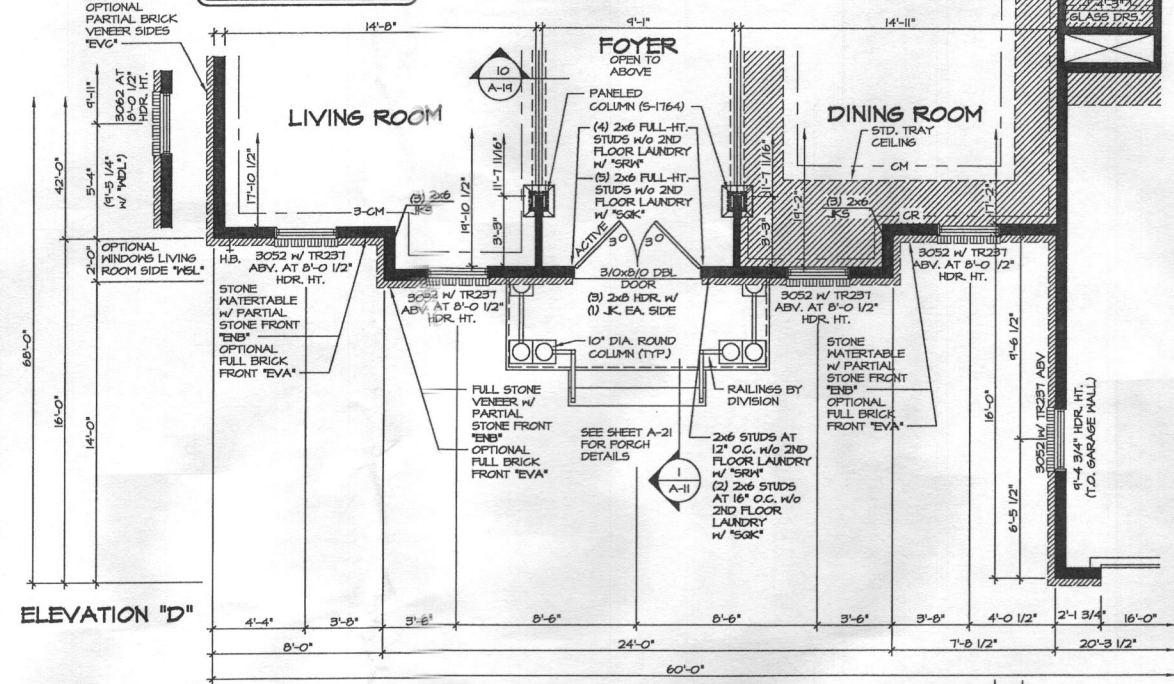


5 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"



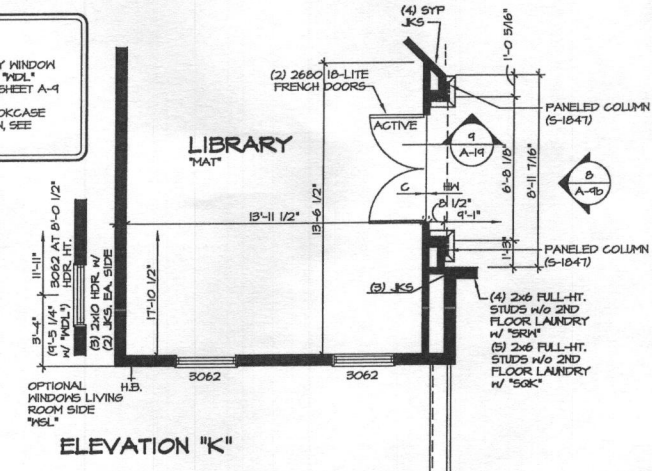
6 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"
LIBRARY "MAT" ELEVATION "D"

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MDL" INFORMATION, SEE SHEET A-1

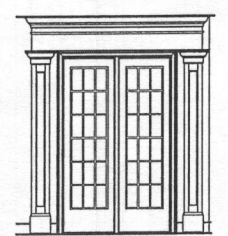


1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "D"

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MDL" INFORMATION, SEE SHEET A-1
FOR OPTIONAL BOOKCASE "VST" INFORMATION, SEE SHEET A-1C

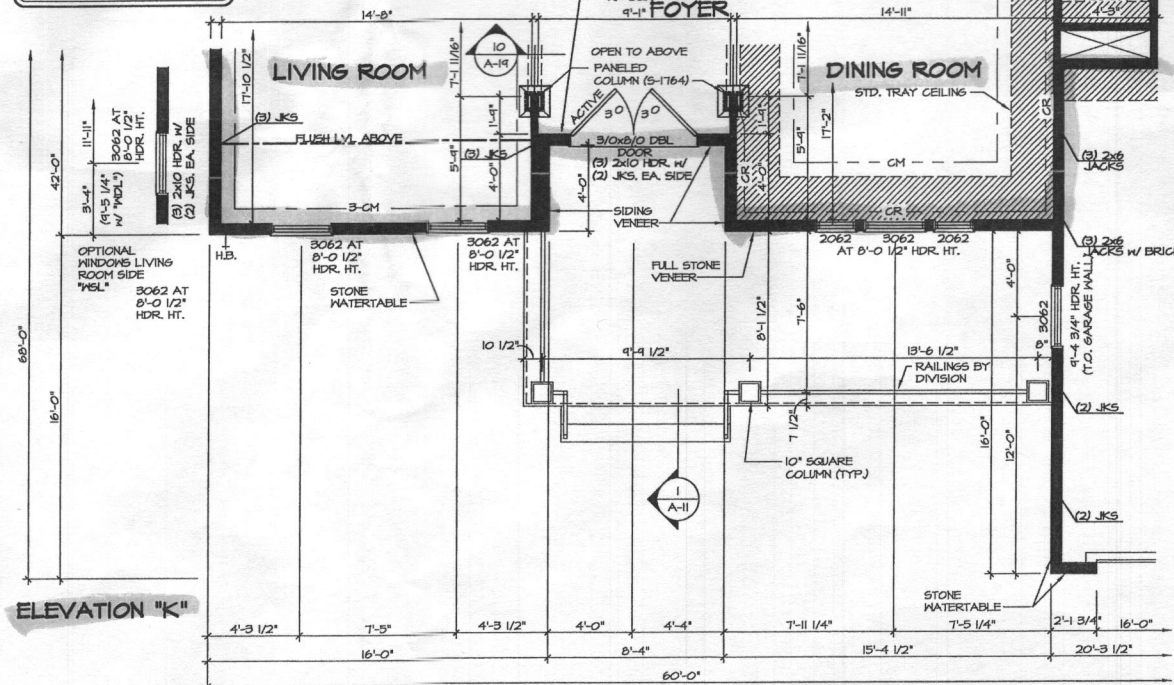


7 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"



8 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"
LIBRARY "MAT" ELEVATION "K"

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MDL" INFORMATION, SEE SHEET A-1



2 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "K"

NOTE:
FOR ADDITIONAL GARAGE AND FIRST FLOOR INFORMATION, SEE SHEET A-1

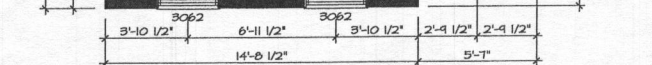
4 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
TWO CAR SIDE ENTRY GARAGE "GCC"



- NOTES:**
- ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL GATED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

3 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
TWO CAR SIDE ENTRY GARAGE "GCC"



REVISIONS

REV. NO.	DATE	DESCRIPTION
10	12/17/19	585 - PAR #66984 - REVISED GARAGE SLAB HEIGHT
11	1/26/20	585 - ADDED VENEER NOTES TO ELK (PAR #57393)
12	4/16/20	585 - ADDED JACKS FOR ELK GARAGE SIDERS (PAR #14603)
13	6/26/20	585 - REVISED ELEVATION "D" PORCH
14	10/21/20	585 - ADDED JACKS AT ELK PORCH BEAM
15	11/19/20	585 - REVISED WINDOW LOCATION FOR "ELK" LEFT SIDE WINDOW "VSL" (PAR. 5029)
16	5/7/21	585 - ADDED ACTIVE TO LEFT FRONT DOOR ELEVATION B PAR #2694
17	8/16/21	585 - REVISED CHASE BRIND BUTLER PAINTY TO BE 9" DEEPER (P#4999)
18	4/16/21	585 - FIELD AUDIT REVISIONS

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Frederick, MD 21702

SET NO. 10500
VERSION 01
DRAWN BY A-JH
DATE: 12/21/12
OPTION ELD
ELEVATION ELK

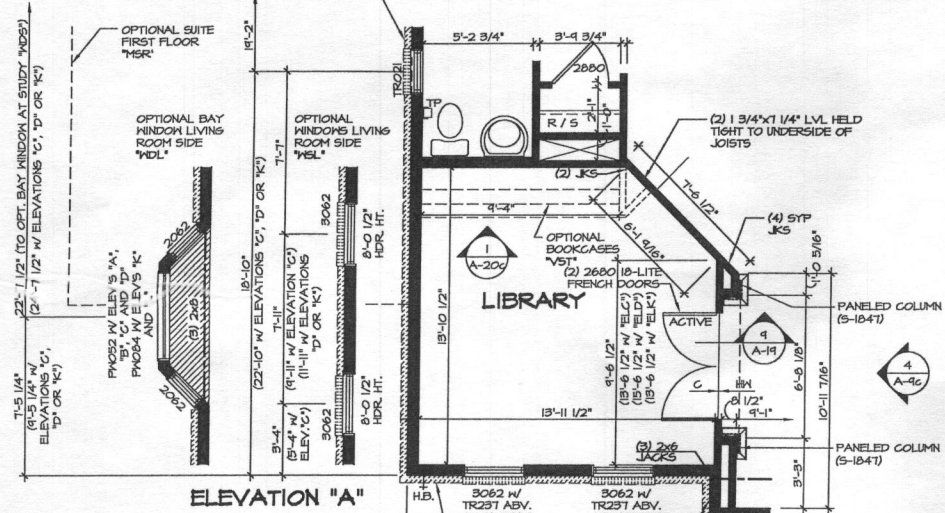
SHEET NO. **A-9b**
MODEL **CLIFTON PARK II**
DRAWING TITLE **FIRST FLOOR PARTIAL PLANS**
OPTION DESCRIPTION **ELEVATION "D" ELEVATION "K"**
49.1



PARTIAL ELEVATION

SCALE: 1/4" = 1'-0" LIBRARY "MAT"

OPT. BRICK VENEER SIDES "EVB"
OPT. PARTIAL STONE VENEER SIDES "EVF"
OPT. PARTIAL BRICK VENEER SIDES "EVC"



ELEVATION "A"

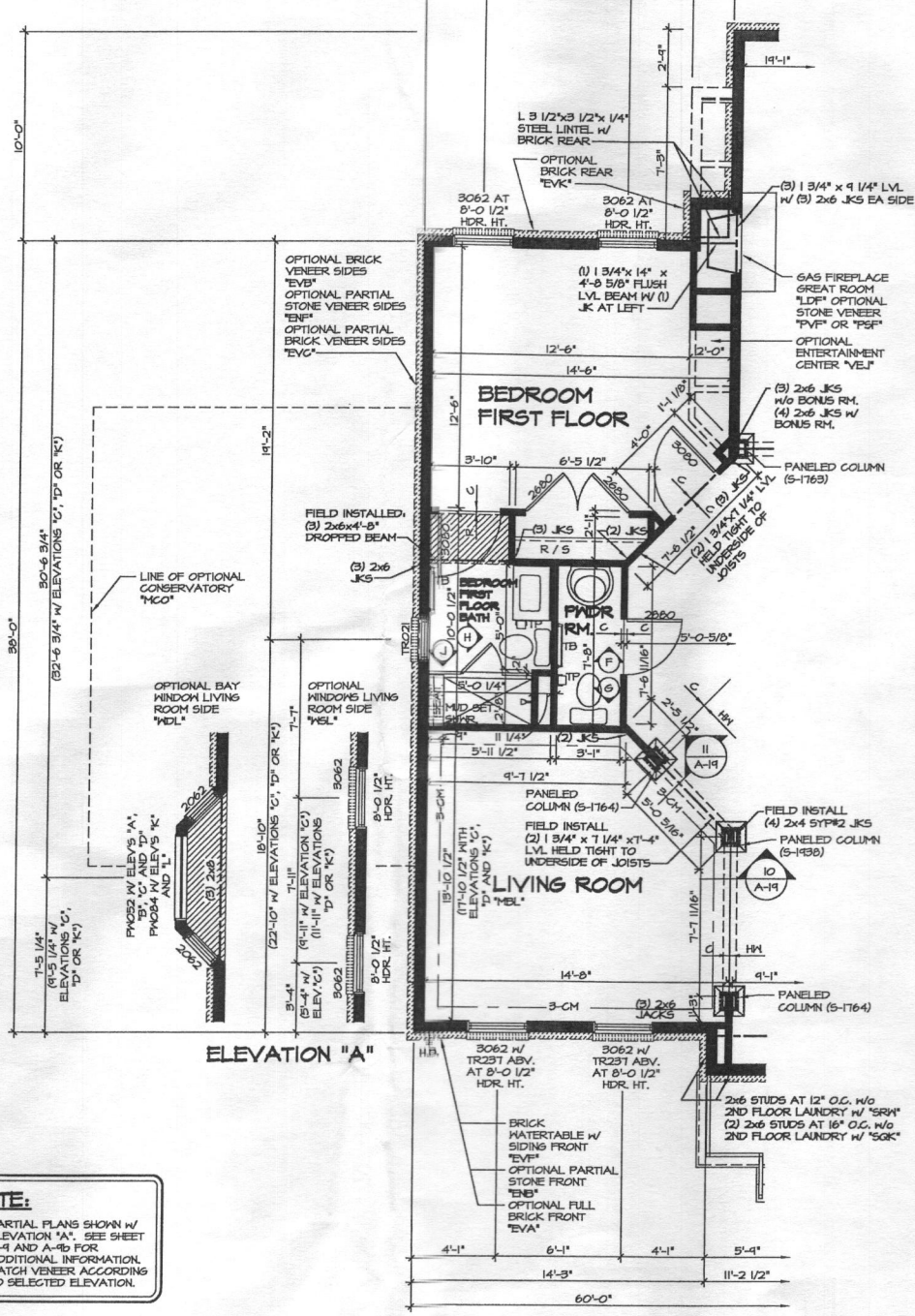
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASED OPENINGS AT 7'-11" UNLESS OTHERWISE NOTED.
 5. MASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

PARTIAL FLOOR PLAN

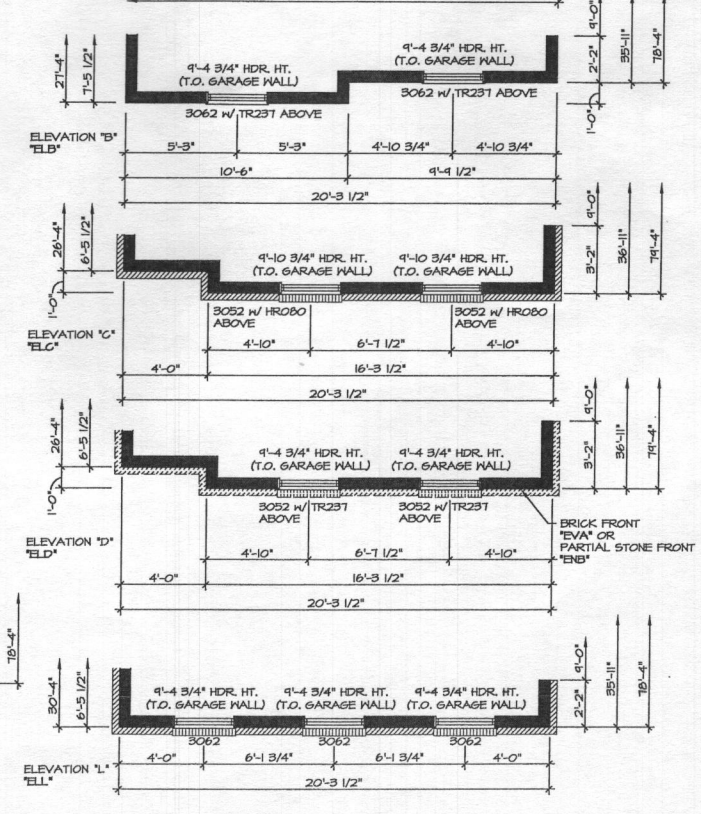
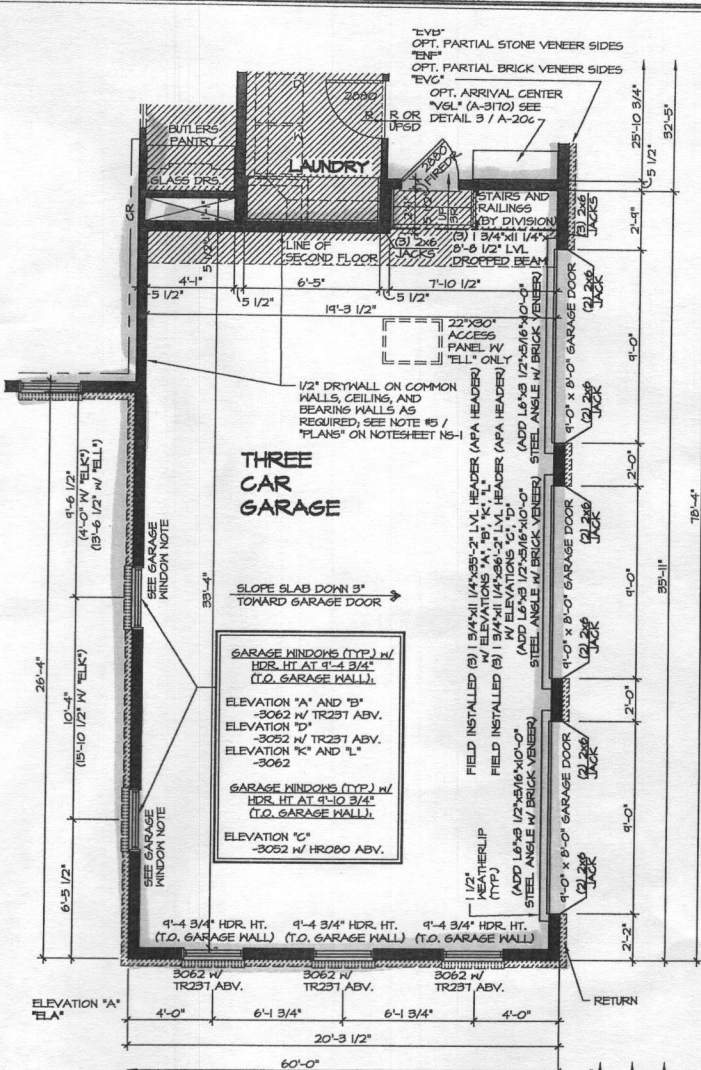
SCALE: 1/4" = 1'-0" LIBRARY "MAT"
NOTE: N/A W/ OPT. CONSERVATORY "MCO"

- NOTE:**
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-4 AND A-5 FOR ADDITIONAL INFORMATION.
 2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.



PARTIAL FLOOR PLAN

SCALE: 1/4" = 1'-0" BEDROOM FIRST FLOOR "SAR"
NOTE: N/A W/ OPT. SUITE FIRST FLOOR "MSR"

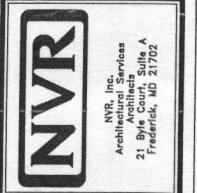


PARTIAL FLOOR PLAN

SCALE: 1/4" = 1'-0" THREE CAR GARAGE SIDE ENTRY "GCE"

REVISIONS

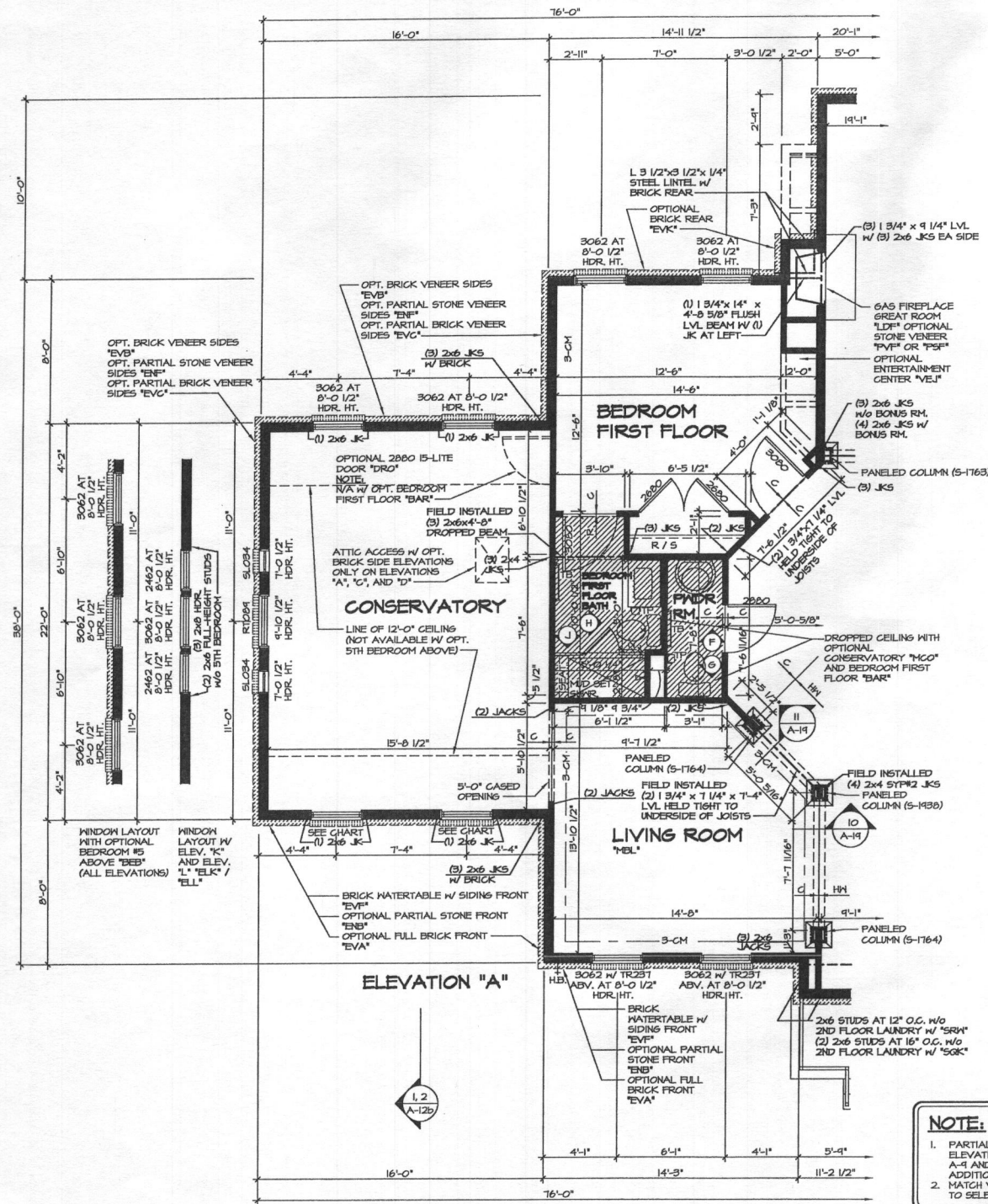
REV. NO.	DATE	DESCRIPTION
10	1/22/14	E.S. - REVISED SHOWER WIDTH IN BEDROOM FIRST FLOOR BATH (PAR 202020)
11	1/22/14	50A - AUDIT REVISIONS
12	4/28/15	1905 - PAR 190476 - ROTATED JACES IN POTER COLUMNS & REVISED TO FIELD INSTALLED
13	6/26/15	60E - PLANT BUILT ARRIVAL CENTER PROJECTIONS
14	6/26/15	60E - PLANT BUILT ARRIVAL CENTER PROJECTIONS
15	6/26/15	60E - REVISED FIREDOOR INTO GARAGE TO A 2000 (PAR ID 34829)
16	10/21/15	60E - 2012 VA CODE UPDATE
17	12/15/15	60E - PAR 190364 - REVISED GARAGE 9' AS HEIGHT
18	2/21/16	1500 - PROJECT #185 - ADDED COUNTERTOP LAYOUTS FOR OWNERS PATH



CLIFTON PARK II

SHEET NO.	A-9c
MODEL	CLIFTON PARK II
DRAWING TITLE	FIRST FLOOR PARTIAL PLANS
OPTION DESCRIPTION	LIBRARY BEDROOM FIRST FLOOR THREE CAR SIDE ENTRY GARAGE
SHEET NO.	50

J:\DWG\DATA\CLIFTON PARK II\10350_01A\PLN1_MAT_SAR.dwg 02/14/17 - 4:38 PM

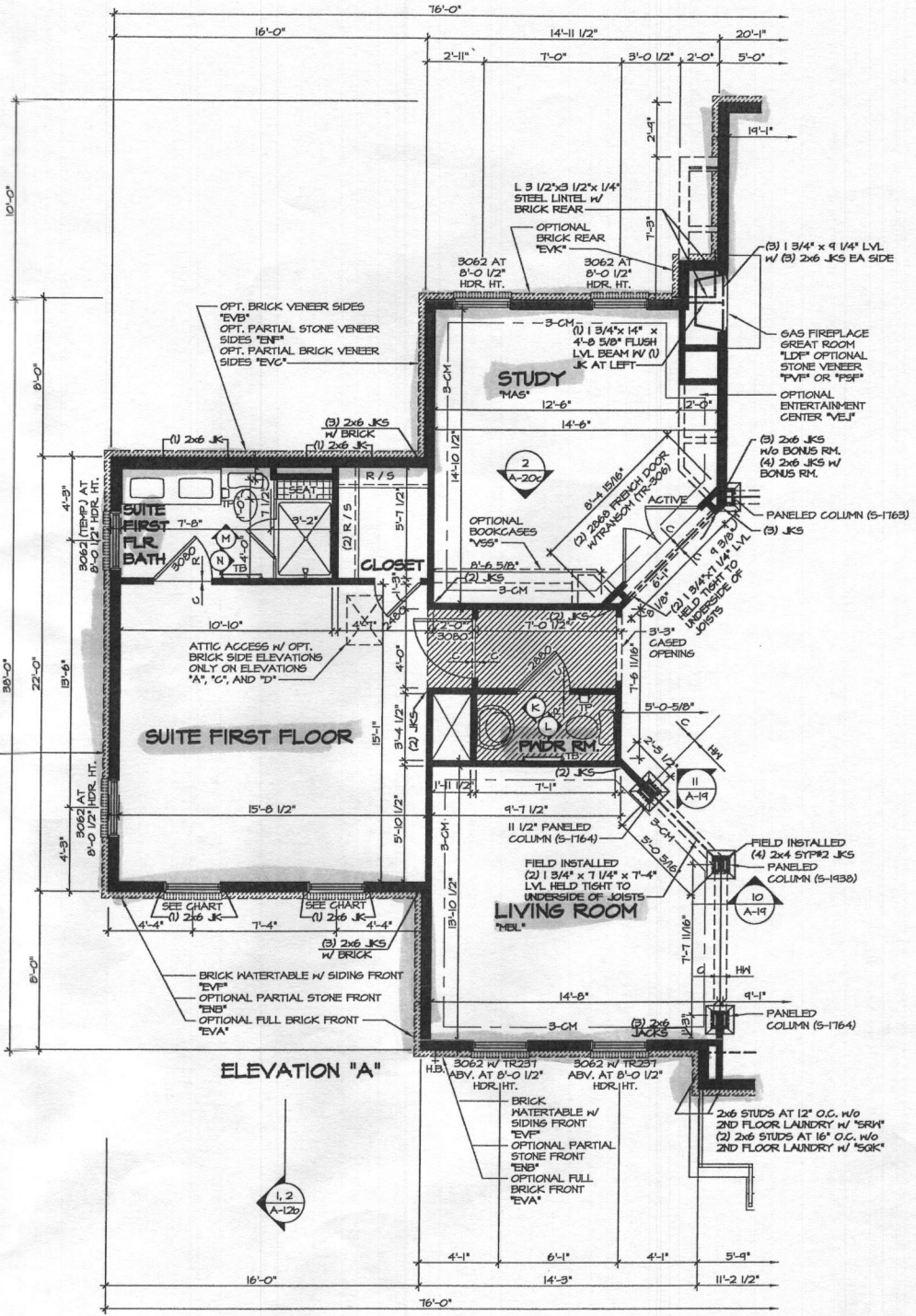


1 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONSERVATORY
MCO
SHOWN WITH FIRST
FLOOR BEDROOM
"BAR"
NOTE:
CONSERVATORY
N/A W/ OPT.
LIBRARY "MAT"

FRONT WINDOWS OF CONSERVATORY OR SUITE FIRST FLOOR (TYP) W/ STANDARD FOUR BEDROOM PLAN AT 7'-0 1/2" HDR. HT.	FRONT WINDOWS OF CONSERVATORY OR SUITE FIRST FLOOR (TYP) W/ OPTIONAL FIVE BEDROOM PLAN AT 8'-0 1/2" HDR. HT.
ELEVATION "A" AND "B" -3062	ELEVATION "A" AND "B" -3062 W/ TR231 ABV.
ELEVATION "C", "D", "K", AND "L" -3052	ELEVATION "C", "K" AND "L" -3062
ELEVATION "D" -3052 W/ TR231 ABV.	

NOTE:
1. PARTIAL PLANS SHOWN W/
ELEVATION "A". SEE SHEET
A-9 AND A-46 FOR
ADDITIONAL INFORMATION.
2. MATCH VENEER ACCORDING
TO SELECTED ELEVATION.



2 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

SUITE FIRST FLOOR
"MGR"
NOTE: N/A W/ BEDROOM
FIRST FLOOR "BAR"

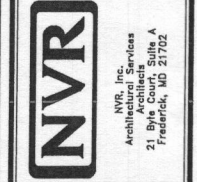
NOTES:
1. ALL HEADERS ARE (3) 2x6,
UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 8"
UNLESS OTHERWISE NOTED.
ALL INTERIOR WALLS ARE 5 1/2"
UNLESS OTHERWISE NOTED.
3. HATCHED AREAS INDICATE
DROPPED CEILING.
4. ALL CASED OPENINGS AT 7'-11",
UNLESS OTHERWISE NOTED.
5. WASHER ALWAYS ON THE LEFT
PER PLAN OR REVERSE PLAN
(WHERE APPLICABLE).

NOTE:
SEE SHEET S-6 FOR BRACED
WALL PANEL LOCATIONS

REMARKS

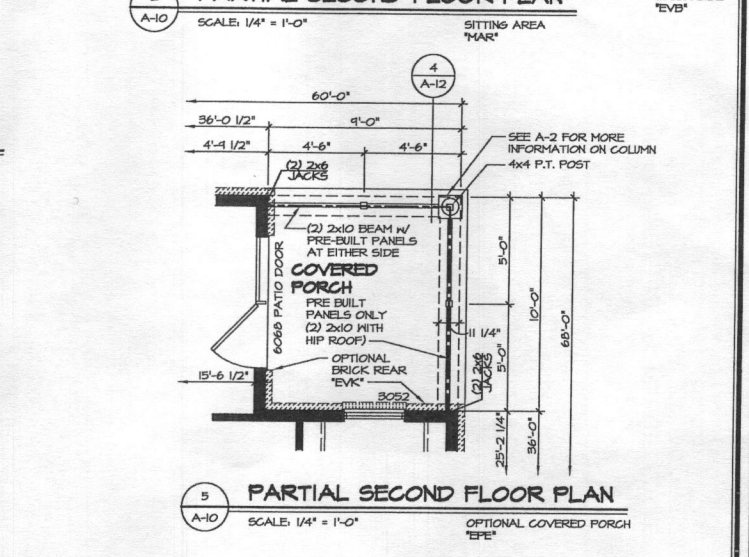
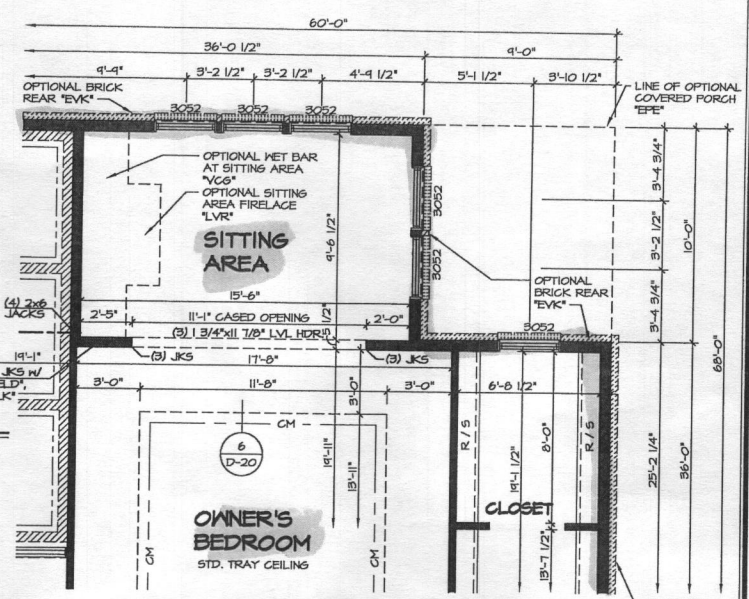
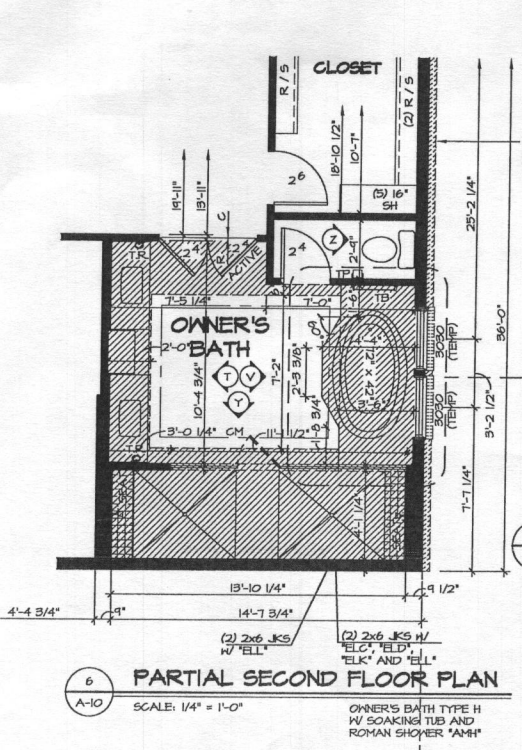
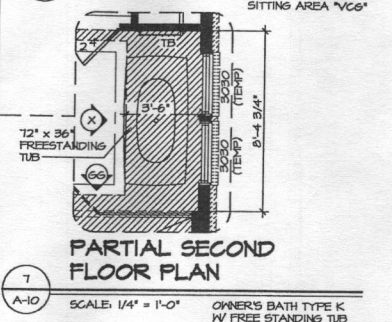
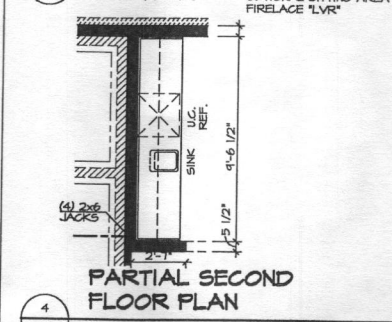
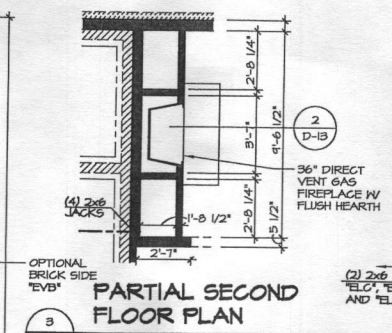
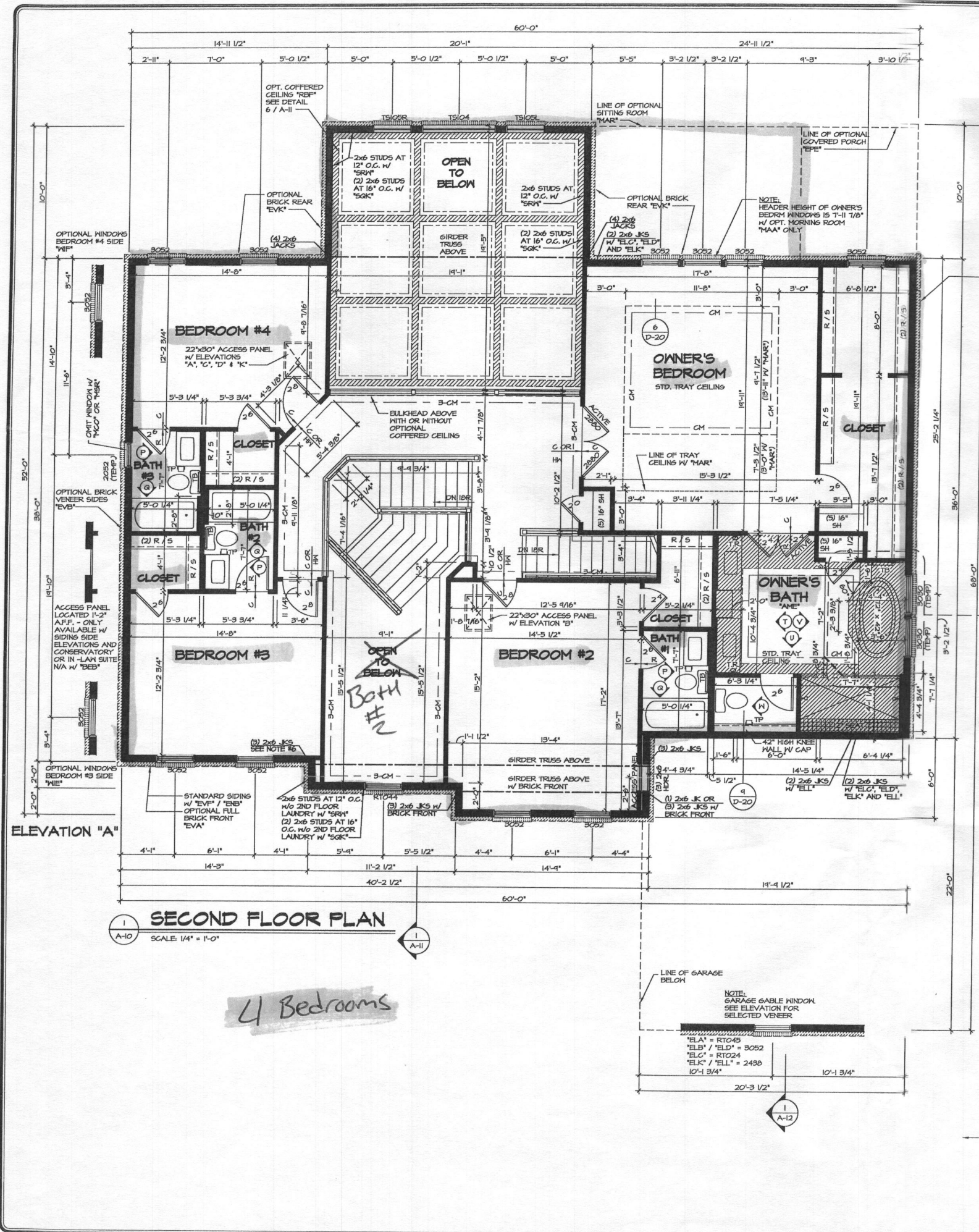
DATE	REV. NO.	DESCRIPTION
1/14/15	10	5004 - SHIFTED WINDOWS FOR SUITE FIRST FLOOR "MGR" 3" PAR 3017
4/26/15	11	585 - PAR #2474 - ROTATED JACKS IN FOTER COLUMNS & REVISED TO FIELD INSTALLED
10/26/15	12	585 - PAR #2474 - ROTATED JACKS IN FOTER COLUMNS & REVISED TO FIELD INSTALLED
12/26/15	13	585 - PAR #2474 - ROTATED JACKS IN FOTER COLUMNS & REVISED TO FIELD INSTALLED
2/27/16	14	KAD - PROJECT #1959 - ADDED CENTER TOP LAYOUT FOR OWNERS BATH
4/24/16	15	ADULTERATED MALLS AT STUDY BOOKCASE AREA
5/1/16	16	ALH - PAR # 22849 (ADDED ATTIC ACCESS)
8/8/16	17	ALH - ADDED ELEVATION "L" TO SET
8/8/16	18	J.R. - REVISED FULL COLUMN FROM 9'-11/2" TO 9'-10" (PAR #24674)

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SET NO. 0200	VERSION C1
DRAWN BY A-JH	DATE: 1/2/15
OPTION MCO	OPTION NBR

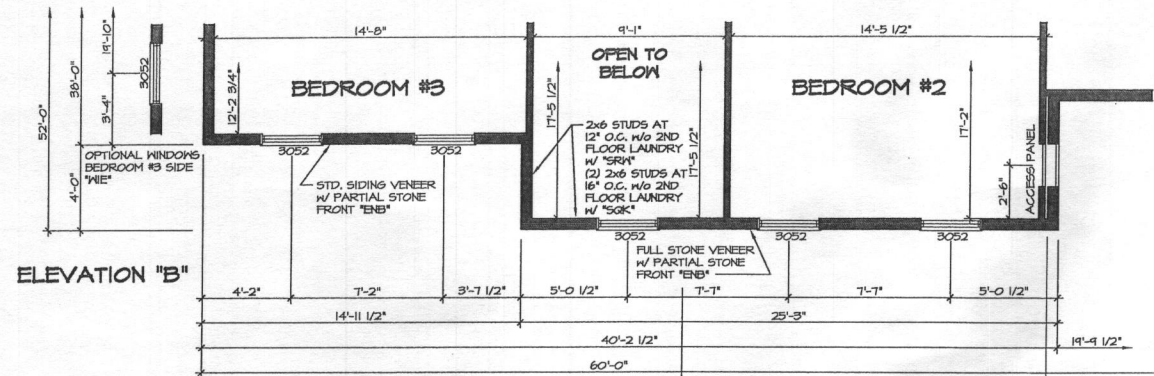
SHEET NO. A-9d	MODEL CLIFTON PARK II	DESCRIPTION FIRST FLOOR PARTIAL PLANS
51	OPTION DESCRIPTION	CONSERVATORY SUITE FIRST FLOOR



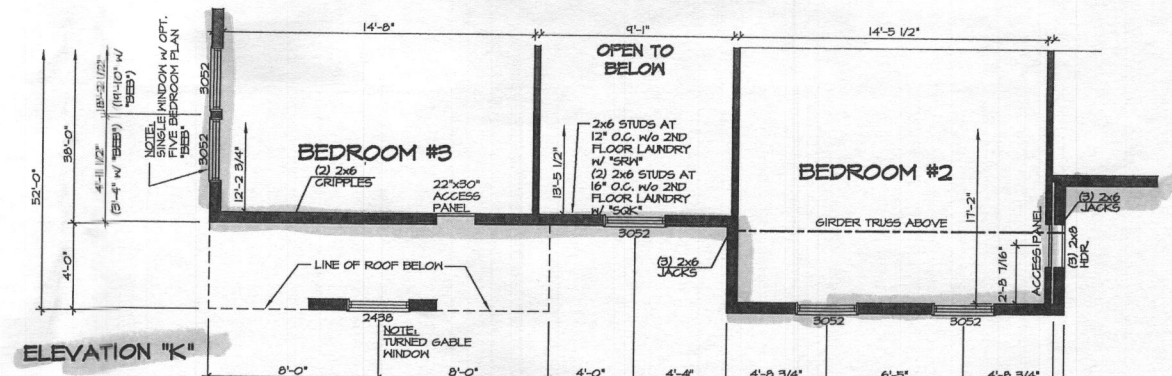
- NOTES:**
- ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 - HASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 - JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED

NOTE:
SEE SHEET S-7 FOR BRACED HALL PANEL LOCATIONS

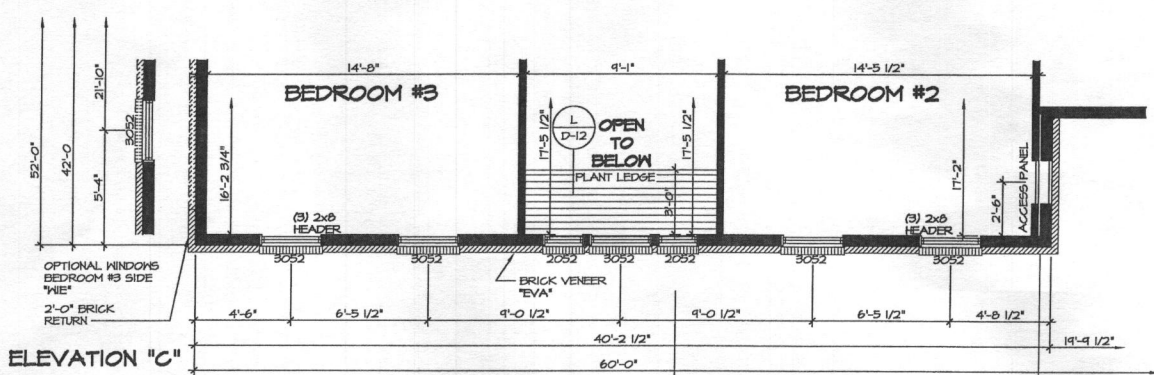
SHEET NO. A-10	MODEL CLIFTON PARK II	SET NO. 10300	DATE: 12/2/12
		VERSION C1	OPTION
DRAWN BY: AJH	DRAWING TITLE SECOND FLOOR PLAN	REVISIONS	
		DATE: 12/2/12	OPTION
OPTION DESCRIPTION		NVR, Inc. is not responsible for any errors or omissions in this drawing. It is the responsibility of the user to verify all information and dimensions. No liability is assumed for any errors or omissions. This drawing is the property of NVR, Inc. and is not to be reproduced, copied, or used in any form or by any means without the written consent of NVR, Inc.	
NVR, Inc. Architects 21 Byle Court, Suite A Frederick, MD 21702		PROJECT #959 - ADDED GABLETOP LAYOUTS FOR OWNERS BATH 12/14/12 GLE - REVISED TRAY CEILING IN 'MAR' TO MATCH ROOF DRAINING (PAR ID 28210) 12/25/12 SEA - REVISED REAR PORCH 1/9/13 SEA - REVISED HANDRAIL IN REAR STAIR (PAR 28185) 1/22/13 J.K. - ADDED BULKHEAD NOTE AT OVERLOOK INTO FAMILY ROOM (PAR #0410) 2/22/13 J.K. - REVISED REAR PORCH COLUMN NOTES 3/22/13 J.K. - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 33529) 3/22/13 J.K. - ADDED TOILET RINGS OWNERS BATH VANITY (PAR 33111) 4/22/13 J.K. - MODIFIED HEADERS HEIGHT OF OWNERS BEDROOM WINDOWS (PAR 41110)	



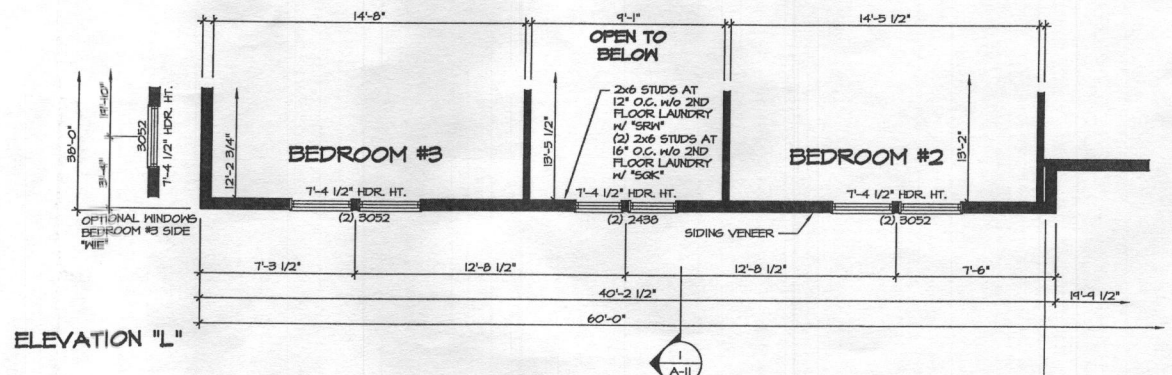
1 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "B"
"ELB"



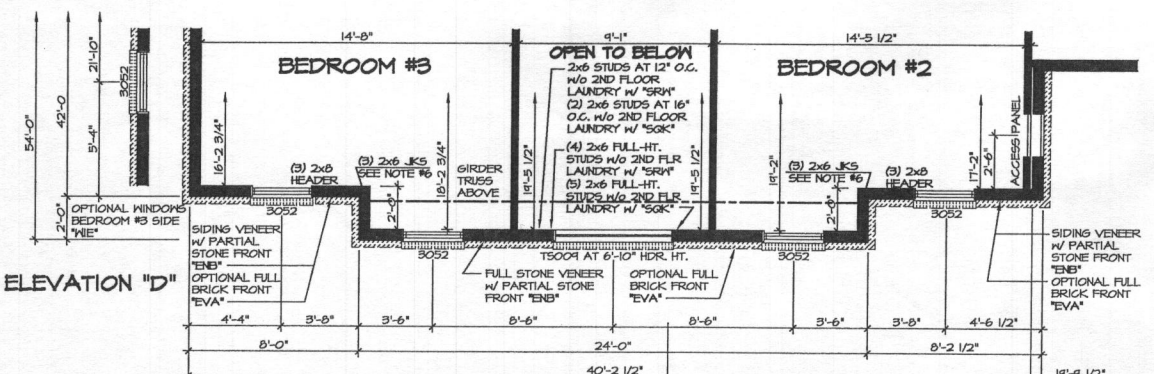
4 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "K"
"ELK"



2 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "C"
"ELC"



5 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "L"
"ELL"



3 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "D"
"ELD"

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASED OPENINGS AT "T-II", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
FOR GARAGE GABLE WINDOW AND ADDITIONAL INFORMATION, SEE SHEET A-10

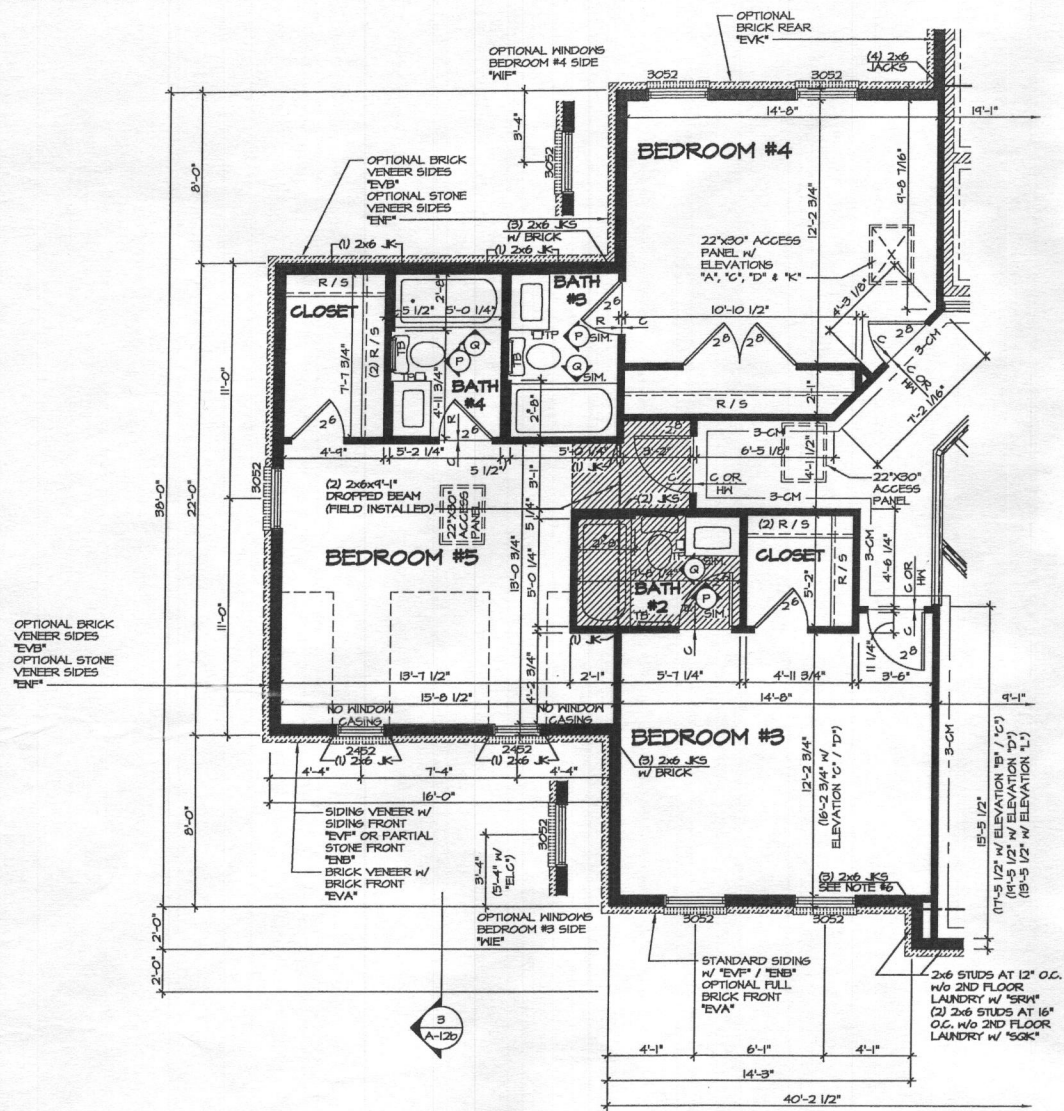
NOTE:
SEE SHEET S-7 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
1	7/17/19	SKM - ADDED PLANT LEDGE DETAIL
2	5/16/14	A/JH - ADDED ELEVATION "L", ADDED ATTIC ACCESS PANEL
3	10/21/14	GLS - REVISED GRAPHICAL ERROR WITH SIDE WINDOWS
4	10/28/14	GLS - ADDED ATTIC ACCESS TO FRONT HALL OF BEDROOM #3 WITH TELK (10/28/14)
5	1/15/15	GLK - REVISED WINDOW LOCATION FOR "ELD", LEFT SIDE WINDOW "NIE", (PASS. 30150)

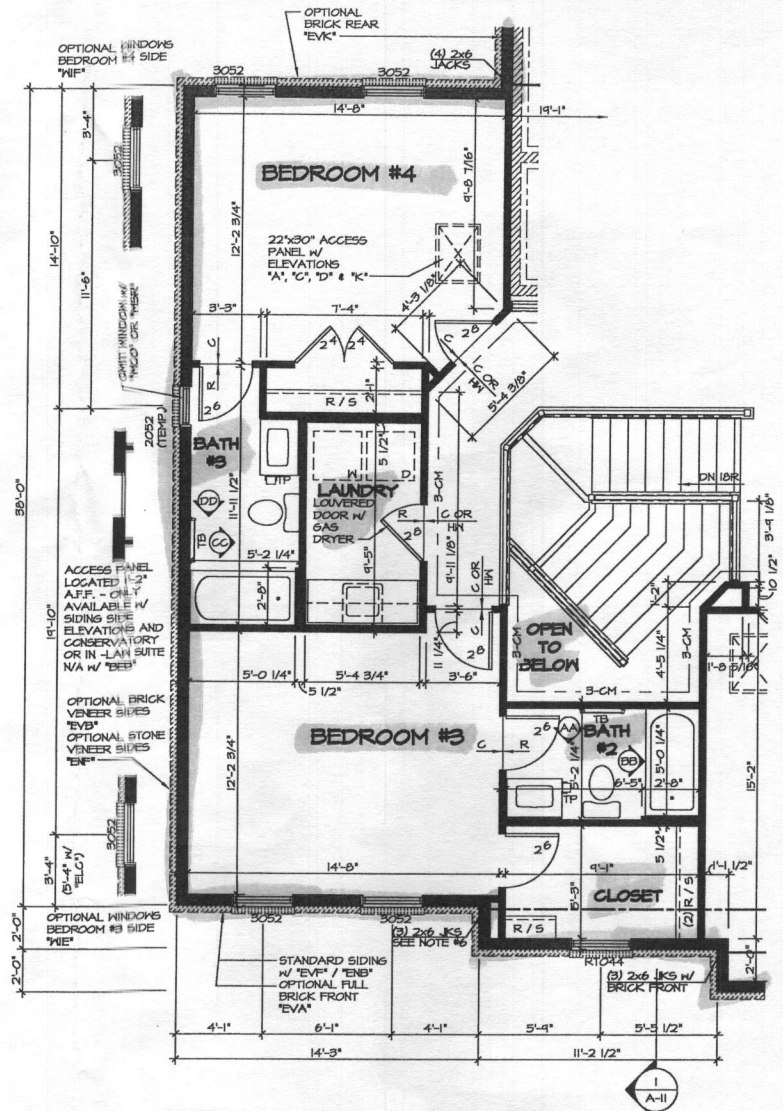
SET NO.	10300
VERSION	01
DRAWN BY	A/JH
DATE	12/27/12
OPTION	ELB, ELC, ELD, ELK, ELL

SHEET NO.	MODEL	CLIFTON PARK II
A-10b	DRAWING TITLE	SECOND FLOOR PARTIAL PLANS
56	OPTION DESCRIPTION	ELEVATION "B", ELEVATION "C", ELEVATION "D", ELEVATION "K", ELEVATION "L"

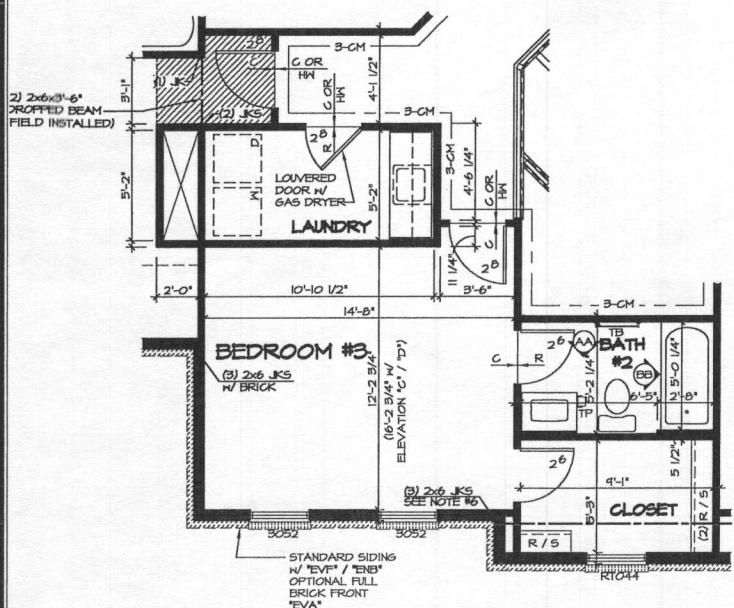
NVR
Architectural Services
21 E. Archibald
Frederick, MD 21702



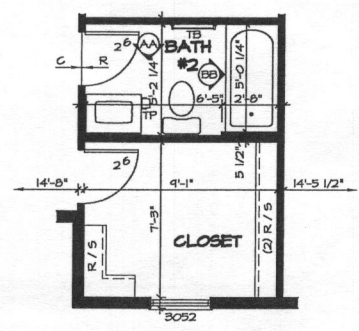
1 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



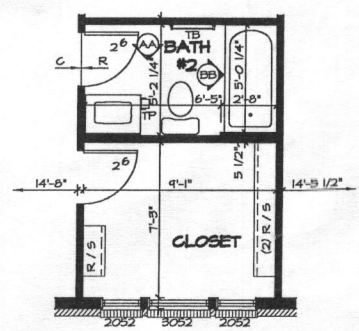
2 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



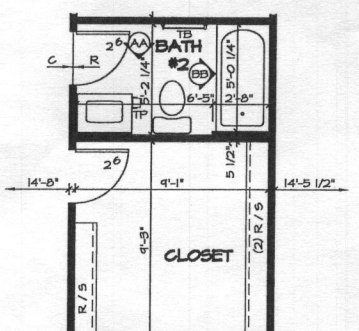
3 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



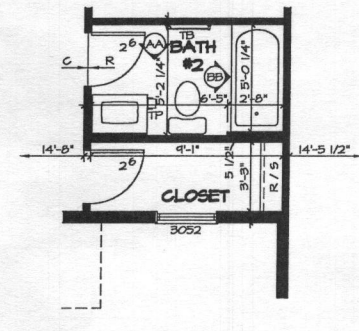
4 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



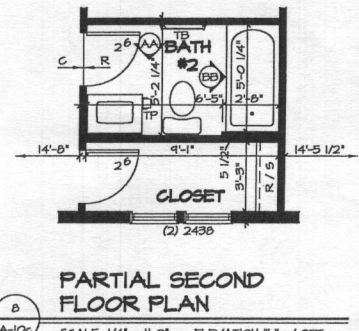
5 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



6 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



7 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



8 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- NOTES:**
- ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL CASED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.
 - HASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 - JACKS MUST EXTEND THROUGH TOP PLATES OF HALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
1. PARTIAL PLANS SHOWN W/ ELEVATION "A", SEE SHEET A-10 AND A-10B FOR ADDITIONAL INFORMATION.
2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.

NOTE:
SEE SHEET S-7 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
1	6/12/25	DLR - REV. STAIR RISER PLATFORM TO ACCOMMODATE (PASE 2800)
2	2/21/27	DLR - PROJECT #1000 - ADDED COUNTERTOP LAYOUTS FOR OWNERS BATH
3	5/11/24	A.H. - PAR & 2854B - ADDED NOTE FOR WINDOW AT BATH #5 / ACCESS PANEL
4	5/11/24	A.H. - ADDED ELEVATION 1.1 TO SET
5	5/11/24	DRN - TRIMWORK PROJECT
6	6/12/24	DLR - ADDED TRIM TO THE TRUSS/ROOF WINDOW (ELEV) PER PAR & 2467B
7	6/27/24	E.L. - RELOCATED TOILET BAR (BATH #1) (PASE2502)
8	10/21/24	CL. - ADD NOTE, NO WINDOW CASING BORDER WINDOW BEDROOM #5 (PASE 2800)
9	11/26/24	SSA - ADR - REVISIONS

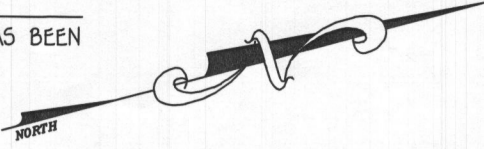
NVR
NVR, Inc.
Architectural Services
21 Bayview Drive, Suite A
Frederick, MD 21702

SHEET NO.	A-10C
MODEL	CLIFTON PARK II
DRAWING TITLE	SECOND FLOOR PARTIAL PLANS
OPTION DESCRIPTION	5TH BEDROOM SECOND FLOOR LAUNDRY
SET NO.	10300
VERSION	01
DRAWN BY	A.J.H.
DATE	12/21/12
OPTION	BEB VAN
SHEET NO.	57

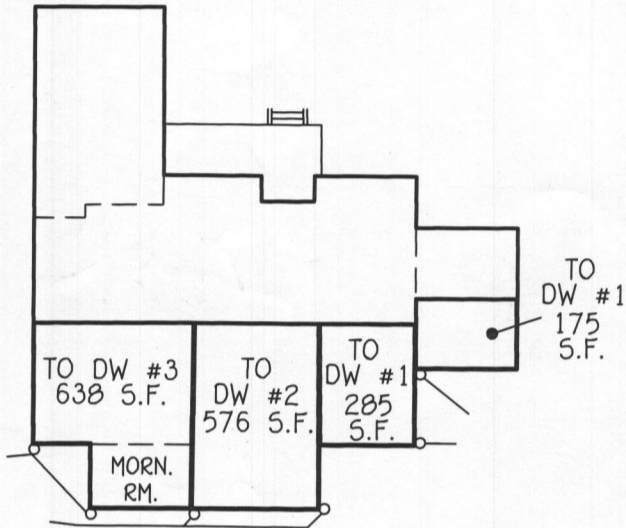
J:\DWG\CLIFTON\CLIFTON PARK II\10300_01A.PLAN_2.BEB_VAN.dwg 07/17/17 = 4:37 pm

WELL CERTIFICATION:

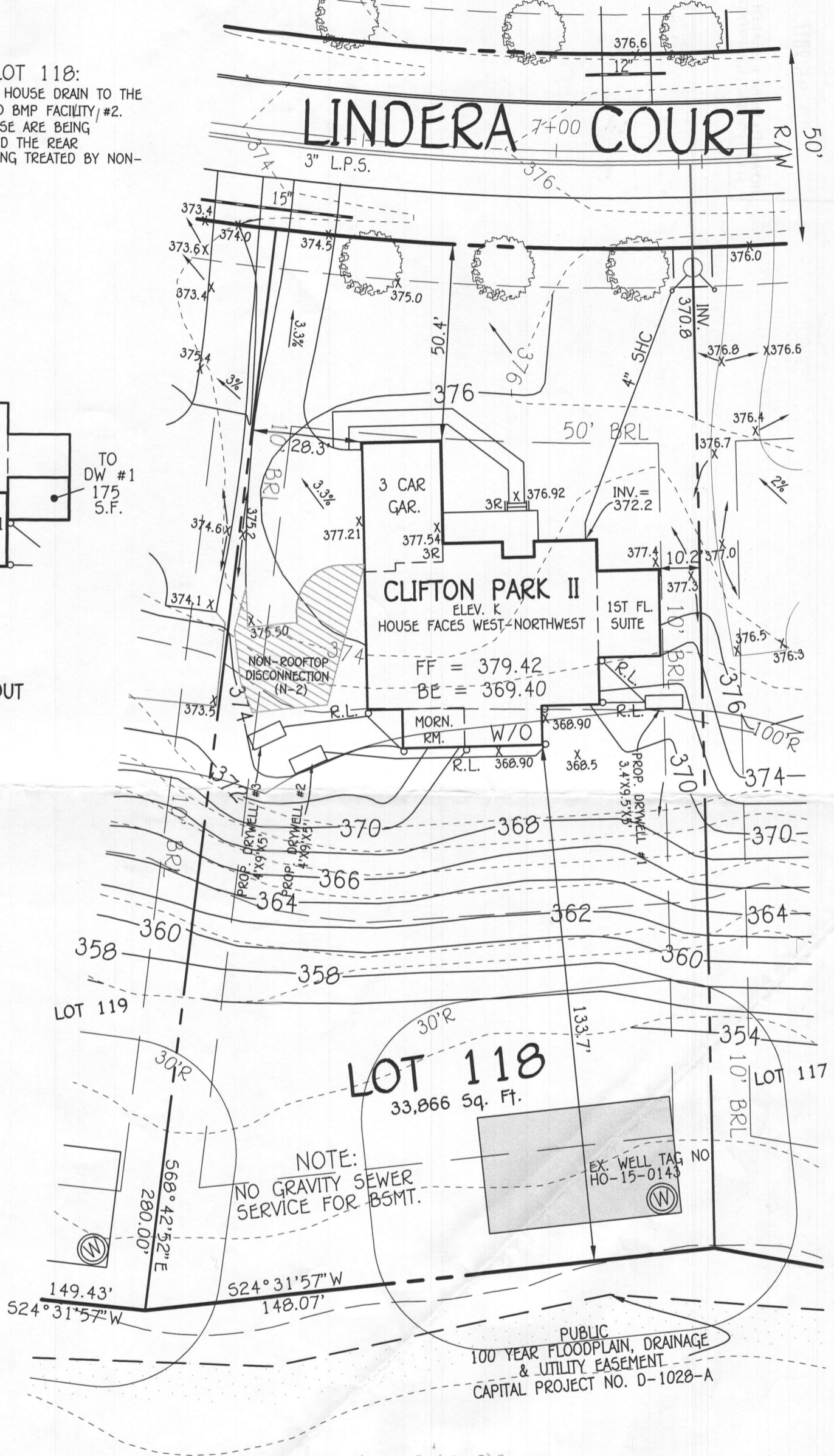
THE EXISTING WELL, TAG NO. HO-15-0143, HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.



SWM NOTE FOR LOT 118:
 THE FRONT DOWNSPOUTS OF THE HOUSE DRAIN TO THE PUBLIC STORMDRAIN SYSTEM & TO BMP FACILITY #2. THE REAR PORTIONS OF THE HOUSE ARE BEING TREATED BY THREE DRYWELLS, AND THE REAR PORTION OF THE DRIVEWAY IS BEING TREATED BY NON-ROOFTOP DISCONNECTION.



HOUSE REAR DOWNSPOUT DRAINAGE AREAS
 SCALE: 1"=30'



NOTE:
 NO GRAVITY SEWER SERVICE FOR BSMT.

PUBLIC 100 YEAR FLOODPLAIN, DRAINAGE & UTILITY EASEMENT
 CAPITAL PROJECT NO. D-1028-A

7125117- Site plan approved for B17002678 (SFD) - H.O.

BUILDER
 NV HOMES INC.
 9720 PATUXENT WOODS
 COLUMBIA, MARYLAND 21046

OWNER
 BV BUSINESS TRUST
 P.O. BOX 482
 LISBON, MARYLAND 21765-0482

PERMIT SITE PLAN
 LOT 118
 5025 LINDERA COURT
WALNUT CREEK

ZONED: RC-DEO
 TAX MAP NO.: 28 PARCEL NO. 49 GRID NO.: 17 & 18
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JULY 7, 2017

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2855

PLAN

SCALE: 1"=30'