



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 2017 FEB 27 AM 10:0

Permit No.: B17000765

Building Address: 3388 Jennings Chapel Rd.
 City: Woodbine State: MD Zip Code: 21797
 Suite/Apt. # _____ SDP/WP/BA #: N/A
 Census Tract: _____ Subdivision: Marjorie's Green
 Section: _____ Area: _____ Lot: 3
 Tax Map: 20 Parcel: 125 Grid: 4
 Zoning: RC-DEO Map Coordinates: _____ Lot Size: 3.0 acres

Property Owner's Name: Daniel R. Ellis; Karen L. Ellis
 Address: 14108 Barbara Circle
 City: Cooksville State: MD Zip Code: 21723
 Phone: 240-672-1634 Fax: _____
 Email: DEllis@MitchellBest.com

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Same as above
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Existing Use: Vacant
 Proposed Use: Single Family Dwelling
 Estimated Construction Cost: \$ 260,000
 Description of Work: 2 story structure w 2 car detached garage;
11R; 4BR; 2FB; 1HB; fp
 Un-Finished Basement - Areaway
 Occupant or Tenant: Occupant
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: Same as above/Owner
 Contact Person: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 License No.: _____
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor: 44'	36'
	2 nd floor: 44'	36'
Area of construction (sq. ft.):	Basement: 44'	36'
Use group:	<input type="checkbox"/> Finished Basement	
	<input checked="" type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<u>Water Supply</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<u>Heating System</u>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<u>Sprinkler System:</u>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	<u>GP17-054</u>
Building Shell Permit Number:	<u>B17000067</u>

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]
 Email Address: dellis@matchellbest.com
 Title/Company: _____

Print Name: Daniel R. Ellis
 Date: 2/27/17

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>3/3/17</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>3690</u>

Name: DANIEL ELLIS
Street Address: 14108 BARBARA CIRCLE
City, State, Zip: COOKSVILLE MD 21723
Date: 10/17/17

Amendment, Permit # B17000765

RECEIVED
OCT 17 2017
LICENSES & PERMITS
DIVISION

Ms. Debbie Whalen
Division of Plan Review
Department of Inspections, Licenses and Permits
Howard County Government
3430 Court House Dr
Ellicott City, MD 21043

Dear Ms. Whalen:

I am requesting to amend Permit # B17000765 at
3388 JENNINGS CHAPEL ROAD WOODBONE MD 21797 to
ADD 6'x6' Porch to SIDE Entrance

OK: REB
10/17/17

Enclosed:

Fee: 25.00 - CK# 1042
 2 Plot Plans
 Sets of Construction Drawings
 Other: _____

If there is anything we can do to assist you, please let me know.

Sincerely,



CC: DPZ
DED
Health

Name: Daniel Ellis
Title: Owner
Phone: 240-672-1634
Email: dellis@mitchellbest.com



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *Daniel Ellis, Mitchell & Best Homes, Inc*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: *3388 Jennings Chapel Road, Potential Basement Bedroom*

DATE: *March 2, 2017*

I have reviewed the floor plans in support of Building Permit *B17000765* for a new home at *3388 Jennings Chapel Road* and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the basement to finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing 4-bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

'OK' reB 3/2/2017

ELLIS RESIDENCE



LINE	LEVEL	LOAD	HEAD	LOAD	ACTUAL
ROOF DEAD	00	10	10	10	10
ROOF LIVE	00	20	20	20	20
ROOF WIND	00	20	20	20	20
ROOF TOTAL	00	50	50	50	50
FLOOR DEAD	01	10	10	10	10
FLOOR LIVE	01	40	40	40	40
FLOOR TOTAL	01	50	50	50	50
CEILING DEAD	02	10	10	10	10
CEILING LIVE	02	10	10	10	10
CEILING TOTAL	02	20	20	20	20
WALL DEAD	03	10	10	10	10
WALL LIVE	03	10	10	10	10
WALL TOTAL	03	20	20	20	20
WIND	04	10	10	10	10
WIND TOTAL	04	10	10	10	10

4. WALLS SHALL BE CONSIDERED UNFINISHED UNLESS OTHERWISE SPECIFIED. LIVE LOADS IN ROOMS FOR STORAGE SHALL BE CONSIDERED TO BE AS FOLLOWS:

ASSUMED WALL BEARING CAPACITY: 2000 PSF

4. Elevated garage floors shall be capable of supporting a 2000-pound load applied over a 20-square-foot area.

5. Unfinished attic without storage are those where the maximum clear height between joists and rafters is less than 42 inches, or where there are not two or more adjacent bays with web configurations capable of accommodating an assumed rectangular 42 inches high by 24 inches wide, or greater, with the plane of the truss. The bay dimension will be assumed to not consistently align with the bay dimensions.

6. Unfinished attic truss shall be designed for the uniformly distributed live load of a 200-pound concentrated load acting over an area of 4 square inches, unless proven the greater amount.

7. A single unanchored load applied to any direction of any joist shall be the top or bottom flanges for deck slabs for exterior walls.

8. Ceilings in all components (but floor joists) shall be designed for the uniformly distributed live load of a 20-pound uniformly applied over an area of 50 square feet or an area equal to 10 square feet. The load shall not be assumed to act concurrently with any other live load requirement.

9. Unfinished attics with finished storage are those where the maximum clear height between joists and rafters is 42 inches or greater, or where:

There are two or more adjacent bays with web configurations capable of accommodating an assumed rectangular 42 inches high by 24 inches wide, or greater, with the plane of the truss.

The live load shall not be applied to those portions of the joists or truss below deck slabs at all of the following conditions are met:

- The attic area is accessible from an opening not less than 30 inches in width by 20 inches in length that is located above the clear height in the attic. It is a minimum of 30 inches.
- The slope of the joists or truss below deck slabs are greater than 7 inches vertical to 12 inches horizontal.
- Roofed trusses depth is less than 12 inches below deck slabs.

The remaining portions of the joists or truss below deck slabs shall be designed for a uniformly distributed unanchored live load of not less than 10 psf.

10. Decking and a base of maximum 60 pounds shall be designed with a safety factor of 4. The safety factor shall be applied to each of the unanchored loads applied to the top of the joist, and to the load on the joist components. These loads shall be determined independent of one another, and each are assumed not to occur with any other live load.

ADOPTED CODES

International Building Code, 2006 Edition
 International Residential Code for One and Two Family Dwellings, 2006 Edition
 International Mechanical Code, 2006 Edition
 International Energy Conservation Code, 2006 Edition
 The City of Baltimore, Code, 2006 Edition
 2004 National Electrical Code with Local Amendments, NFPA 70E
 2004 National Standard Plumbing Code, International
 2004 National Fuel Gas Code, NFPA 54
 International Property Maintenance Code, 2008

PERMIT/PRICING SET
 JANUARY 23, 2017

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

REGIONS	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGING FROST		WATER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
	Speed (mph)	Exposure	Direction	Return Period		Freezing	Depth						
2b	143	NO	NO	NO	A	Severe	30"	Medium-heavy	30°	Yes	any flood maps	1200	15°

DRAWING INDEX

ARCHITECTURAL	SHEET	STRUCTURAL	SHEET
COVER SHEET	CS	GEN. STRUCTURAL NOTES AND SCHEDULES	SN1
CONSTRUCTION NOTES	CN	GEN. STRUCTURAL NOTES AND SCHEDULES	SN2
ELEVATIONS	A-1	GEN. STRUCTURAL NOTES AND SCHEDULES	SN3
FOUNDATION PLAN	A-2	FOUNDATION PLANS AND NOTES	S-100
FIRST FLOOR AND SECOND FLOOR PLANS	A-3	FIRST FLOOR FRAMING PLAN AND NOTES	S-200
SECTIONS A-B AND DETAILS	A-4	SECOND FLOOR FRAMING PLAN AND NOTES	S-300
DECC NOTES AND CHARTS	A-5	ROOF FRAMING PLAN AND NOTES	S-400
DETACHED GARAGE PLANS/ELEVATIONS	G-1	1st FLR. WALL BRACING PLAN AND CHARTS	WB1
		2nd FLR. WALL BRACING PLAN AND CHARTS	WB2
		STRUCTURAL DETAILS AND NOTES	SD1
		STRUCTURAL DETAILS AND NOTES	SD2
		STRUCTURAL DETAILS AND NOTES	SD3

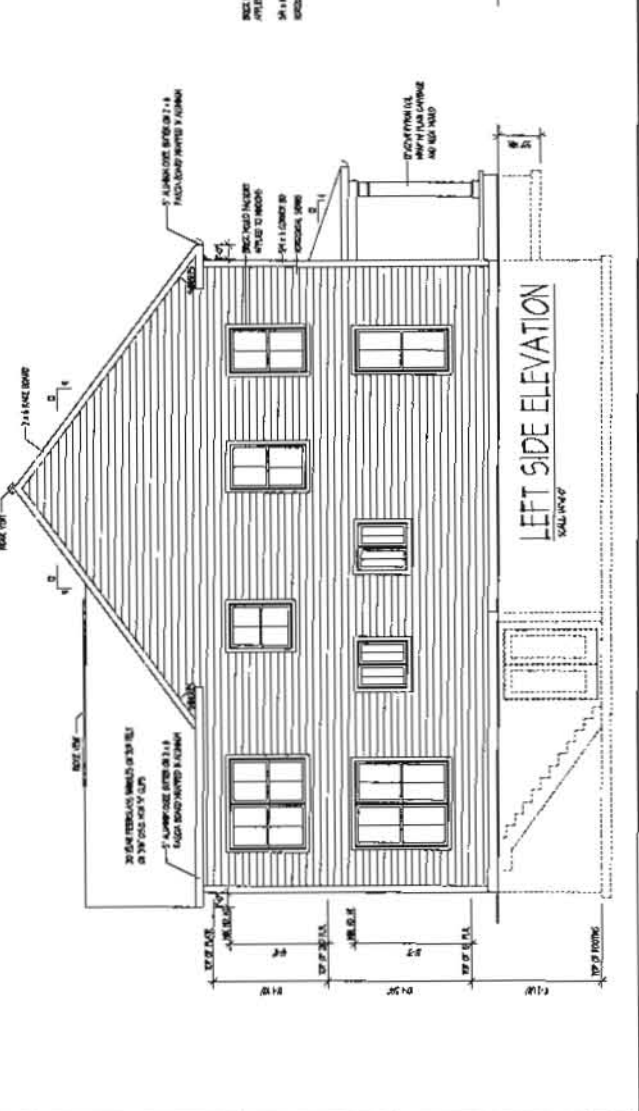
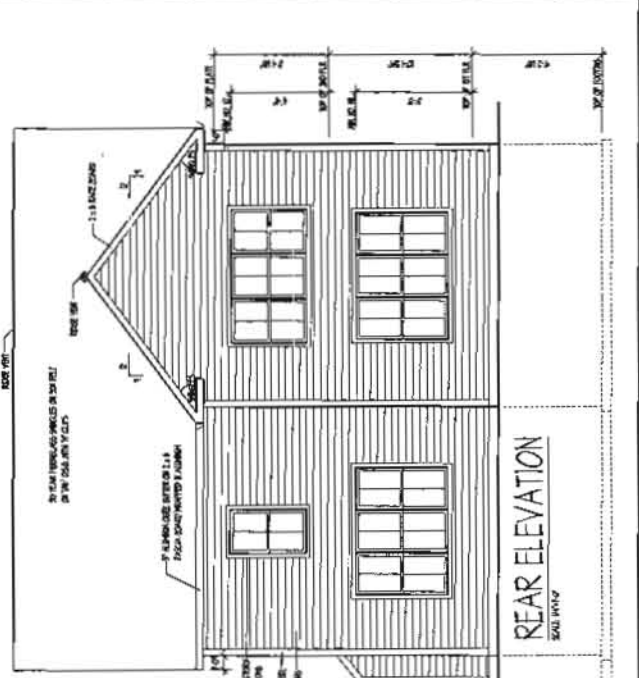
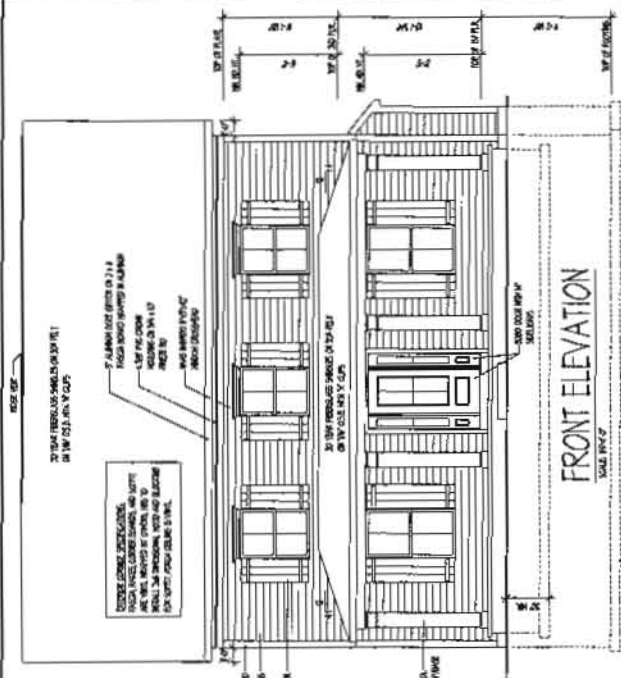
SQ. FOOTAGE

BASEMENT	0
FIRST FLOOR	1383
SECOND FLOOR	1248
TOTAL	2631
GARAGE	421



JB HOME DESIGN, LLC

9416 CONCORD COURT
 BALTIMORE, MARYLAND 21234
 OFFICE (410) 594-4551
 FAX (410) 663-4064
 EMAIL: JON@JBHOMEDSIGN.COM



ROOF FINISH
 Finish shall be installed over sheathing with 1/2\"/>

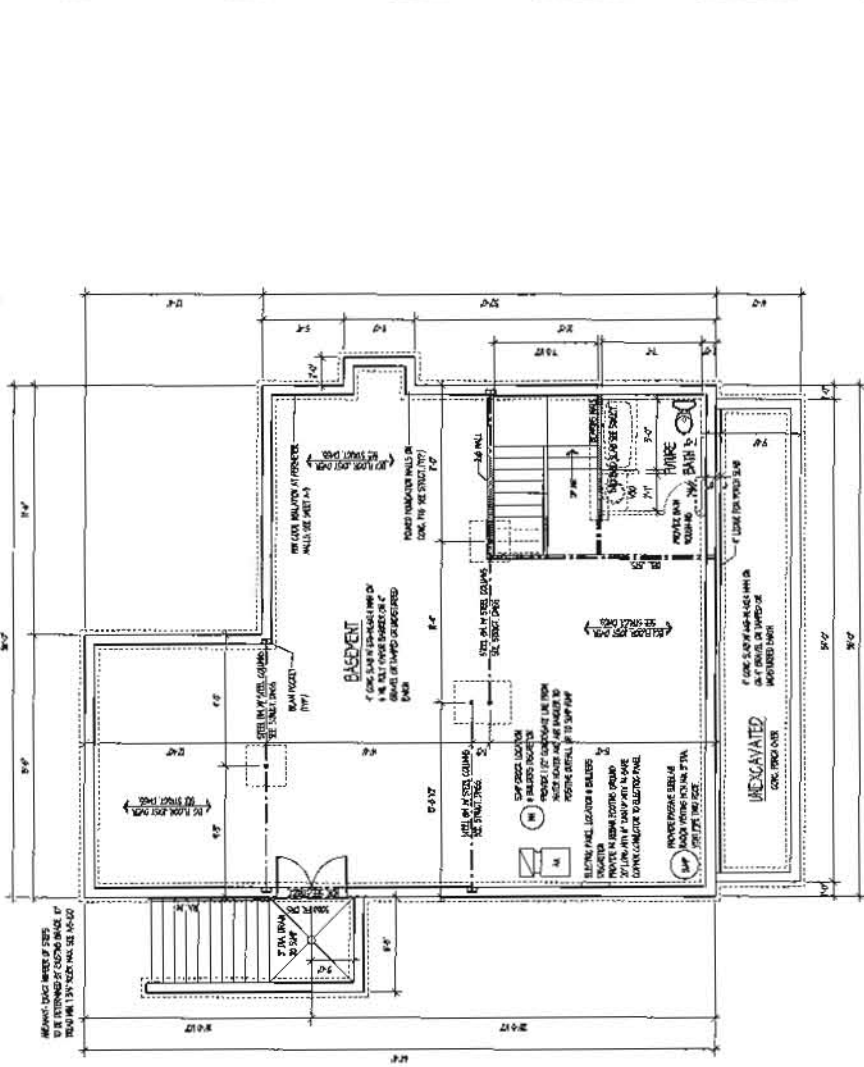
WALL FINISH
 Finish shall be installed over sheathing with 1/2\"/>

FLOOR FINISH
 Finish shall be installed over subfloor with 1/2\"/>

CEILING FINISH
 Finish shall be installed over joists with 1/2\"/>

PAINT
 All exterior surfaces shall be painted with a high quality exterior paint.

3 bedrooms
 4 windows
 Bath rough-in



FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

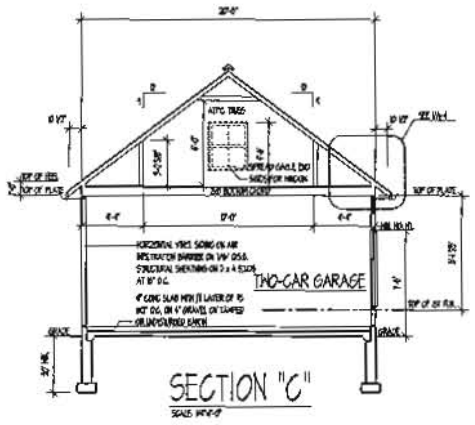
STAIR NOTES:
 1. The stairs shall be constructed in accordance with the International Residential Code (IRC) and the applicable local codes.
 2. The stairs shall be supported by a foundation in accordance with the International Building Code (IBC) and the applicable local codes.
 3. The stairs shall be finished with a slip-resistant material.
 4. The stairs shall be installed in a location that provides clear access to the restrooms.
 5. The stairs shall be installed in a location that provides clear access to the bedrooms.
 6. The stairs shall be installed in a location that provides clear access to the living area.
 7. The stairs shall be installed in a location that provides clear access to the kitchen.
 8. The stairs shall be installed in a location that provides clear access to the dining area.
 9. The stairs shall be installed in a location that provides clear access to the living area.
 10. The stairs shall be installed in a location that provides clear access to the living area.

GUARD NOTES:
 1. The guard shall be constructed in accordance with the International Residential Code (IRC) and the applicable local codes.
 2. The guard shall be supported by a foundation in accordance with the International Building Code (IBC) and the applicable local codes.
 3. The guard shall be finished with a slip-resistant material.
 4. The guard shall be installed in a location that provides clear access to the restrooms.
 5. The guard shall be installed in a location that provides clear access to the bedrooms.
 6. The guard shall be installed in a location that provides clear access to the living area.
 7. The guard shall be installed in a location that provides clear access to the kitchen.
 8. The guard shall be installed in a location that provides clear access to the dining area.
 9. The guard shall be installed in a location that provides clear access to the living area.
 10. The guard shall be installed in a location that provides clear access to the living area.

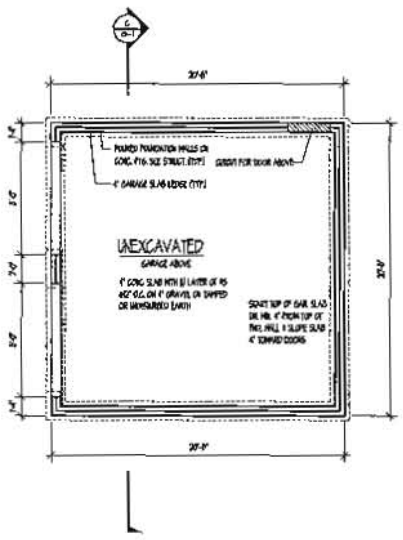
SPRINKLER NOTE:
 1. A sprinkler system shall be installed in accordance with the International Fire Code (IFC) and the applicable local codes.
 2. The sprinkler system shall be supported by a foundation in accordance with the International Building Code (IBC) and the applicable local codes.
 3. The sprinkler system shall be finished with a slip-resistant material.
 4. The sprinkler system shall be installed in a location that provides clear access to the restrooms.
 5. The sprinkler system shall be installed in a location that provides clear access to the bedrooms.
 6. The sprinkler system shall be installed in a location that provides clear access to the living area.
 7. The sprinkler system shall be installed in a location that provides clear access to the kitchen.
 8. The sprinkler system shall be installed in a location that provides clear access to the dining area.
 9. The sprinkler system shall be installed in a location that provides clear access to the living area.
 10. The sprinkler system shall be installed in a location that provides clear access to the living area.

OK' reB

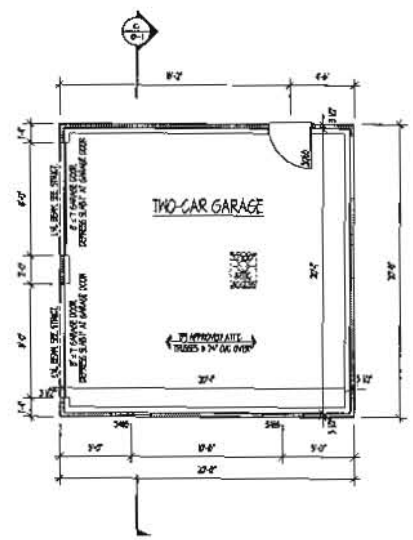
SEE SECTION 'A' FOR TYPICAL CONSTRUCTION NOTES



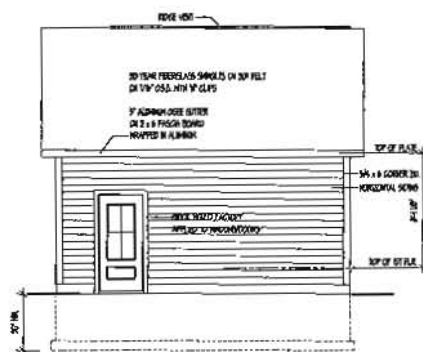
SECTION "C"
SCALE 1/4"=1'-0"



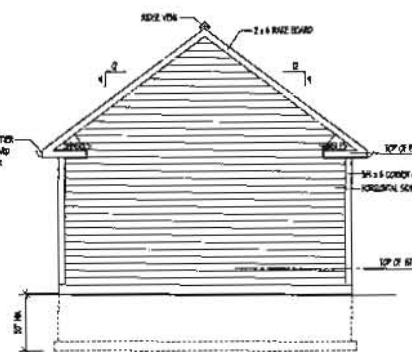
FOUNDATION PLAN
SCALE 1/4"=1'-0"



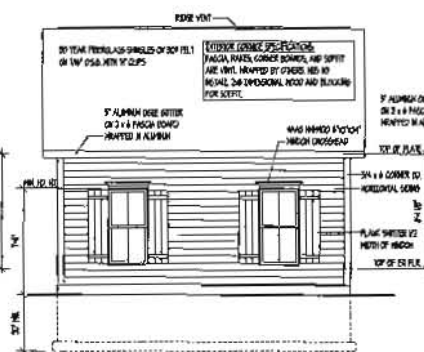
FIRST FLOOR PLAN
SCALE 1/4"=1'-0"
427 SF.



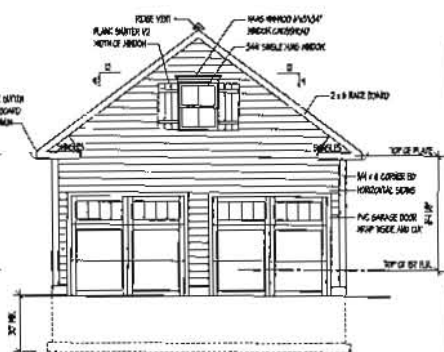
REAR ELEVATION
SCALE 1/4"=1'-0"



RIGHT ELEVATION
SCALE 1/4"=1'-0"



FRONT ELEVATION
SCALE 1/4"=1'-0"



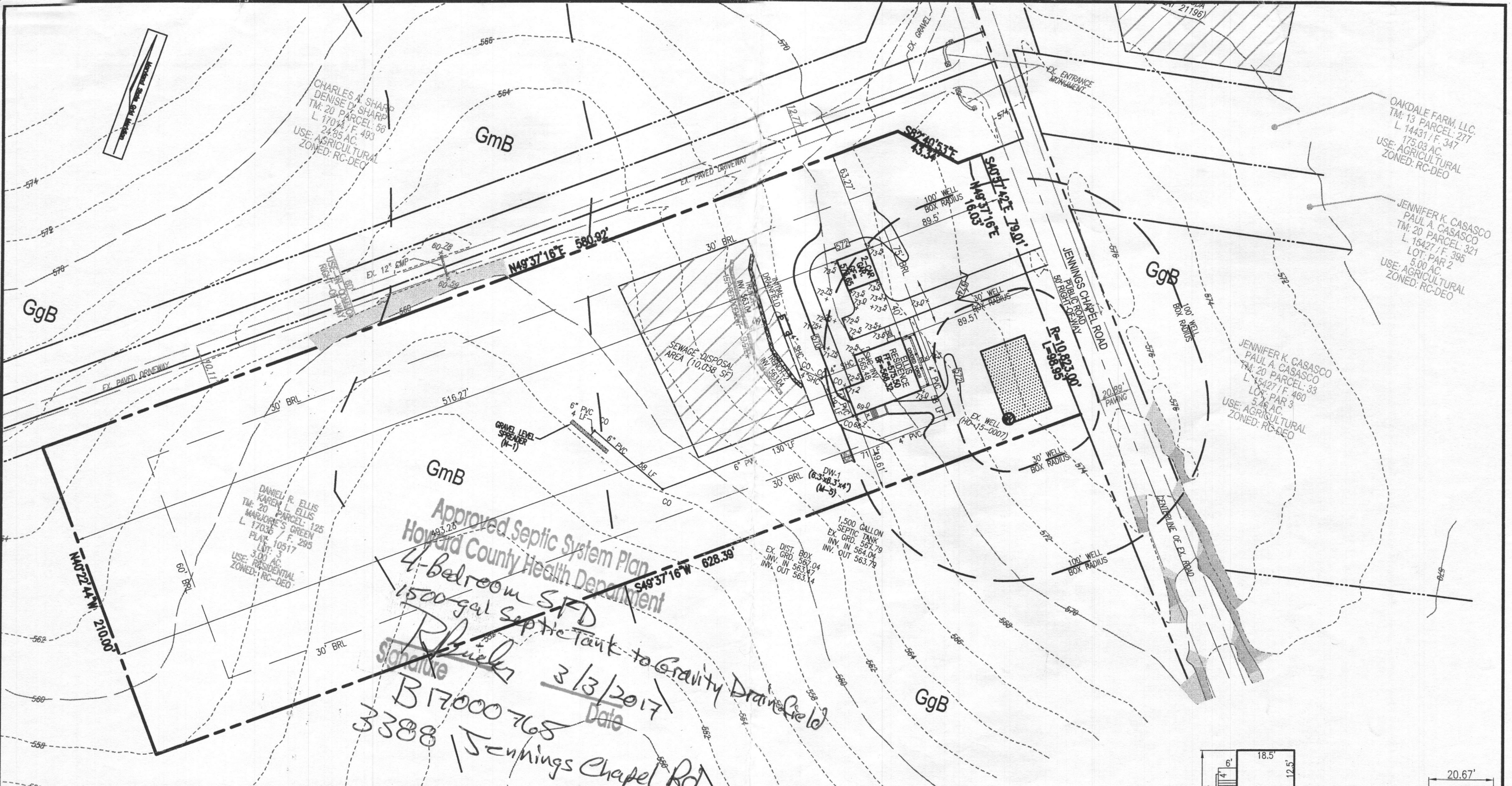
LEFT ELEVATION
SCALE 1/4"=1'-0"

JB HOME DESIGN, LLC
44 LOCUST CREEK DRIVE, SUITE 200
MILLSBORO, DE 19966
TEL: 302.426.1111
WWW.JBHOMEDESIGN.COM

170
Home Design

DETACHED GARAGE PLANS AND ELEVATIONS
DATE: 10/15/15
SCALE: 1/4"=1'-0"
PROJECT TITLE: ELLIS RESIDENCE
DRAWN BY: JBD

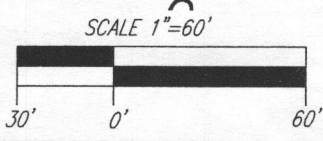
G-1



Approved Septic System Plan
 Howard County Health Department
 4-bedroom SFD
 1500 gal septic tank to Gravity Drain Field
 Schaefer
 B17000765
 3388 Jennings Chapel Rd.
 Date 3/3/2017

SCALE: AS SHOWN
 DRAWN BY: JMR
 CHECKED BY: EDS
 DATE: FEBRUARY 2017
 PROJECT #: 16-52
 SHEET#: 1 OF 2

PLOT PLAN
ELLIS PROPERTY
MARJORIE'S GREEN SUBDIVISION
LOT 3
 REF: GP-17-054
 PARCEL: 125
 TAX MAP: 20 BLOCK: 4
 4TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

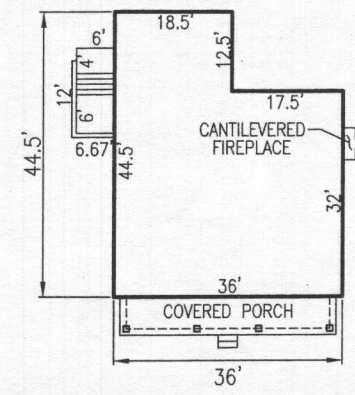


ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

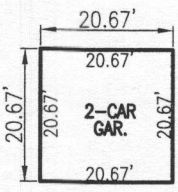
PLOT PLAN
 SCALE: 1"=60'

ADDRESS
 3388 JENNINGS CHAPEL ROAD
 WOODBINE, MD 21797
 GP: 17-054

OWNER/BUILDER
 DANIEL R. LEWIS
 KAREN L. ELLIS
 14108 BARBARA CIRCLE
 COOKSVILLE, MD 21723
 (240) 672-1634

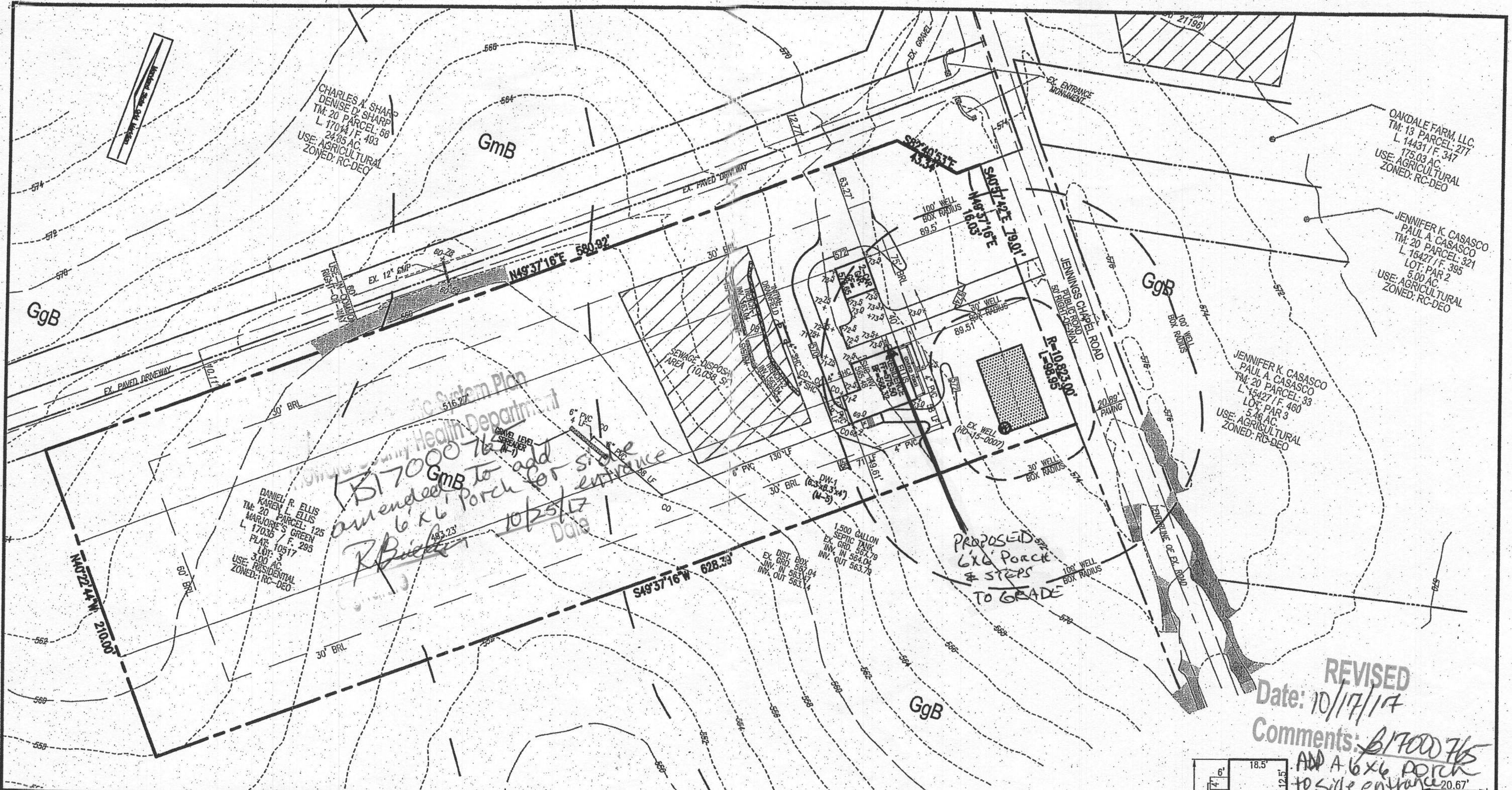


ELLIS RESIDENC
 W/ SIDING VENEER
 SCALE: 1"=30'



K:\Projects\16-52\ENGR\dwg\PLOT PLAN\PLOT PLAN.dwg, 2/22/2017 8:37:45 AM

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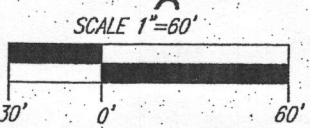


Handwritten notes:
B17000765 amended to add 6x6 porch for side entrance
R. Bieffer
10/25/17
Date

REVISED
Date: 10/17/17
Comments: B17000765
ADD A 6x6 PORCH to side entrance

SCALE: AS SHOWN
DRAWN BY: JMR
CHECKED BY: EDS
DATE: FEBRUARY 2017
PROJECT #: 16-52
SHEET #: 1 OF 2

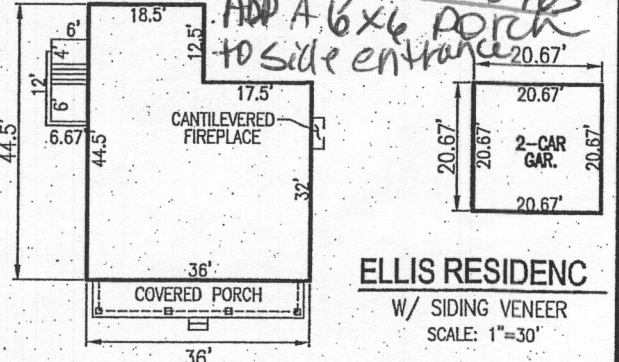
PLOT PLAN
ELLIS PROPERTY
MARJORIE'S GREEN SUBDIVISION
LOT 3
REF: GP-17-054
PARCEL: 125
TAX MAP: 20 BLOCK: 4
4TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND



ROBERT H. VOGEL
ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLIGOTT CITY, MD 21043
TEL: 410.481.7666 FAX: 410.481.8961

ADDRESS
3388 JENNINGS CHAPEL ROAD
WOODBINE, MD 21797
GP: 17-054

OWNER/BUILDER
DANIEL R. LEWIS
KAREN L. ELLIS
14108 BARBARA CIRCLE
COOKVILLE, MD 21723
(240) 672-1634



ELLIS RESIDENC
W/ SIDING VENEER
SCALE: 1"=30'