

LAYOUT 12/27/07 (KW) INSP 4 \_\_\_\_\_  
INSP 2 \_\_\_\_\_ INSP 5 \_\_\_\_\_  
INSP 3 \_\_\_\_\_ INSP 6 \_\_\_\_\_

ISSUE DATE: 12/26/06

P 528419

APPROVAL DATE: 1/3/08

A 518543

# PERMIT

TAX ID # 05-445221

## ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

Stormwater Facilities \_\_\_\_\_ IS PERMITTED TO INSTALL  ALTER

ADDRESS: 848 Swift Road, Pasadena, 21122 PHONE NUMBER: 410-439-9496

SUBDIVISION: Clarksville Overlook (Macbeth Farm) LOT NUMBER: 29

ADDRESS: 6309 Kerne Court PROPERTY OWNER: NVR Inc

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): N/A COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4

SQUARE FEET PER BEDROOM: \_\_\_\_\_

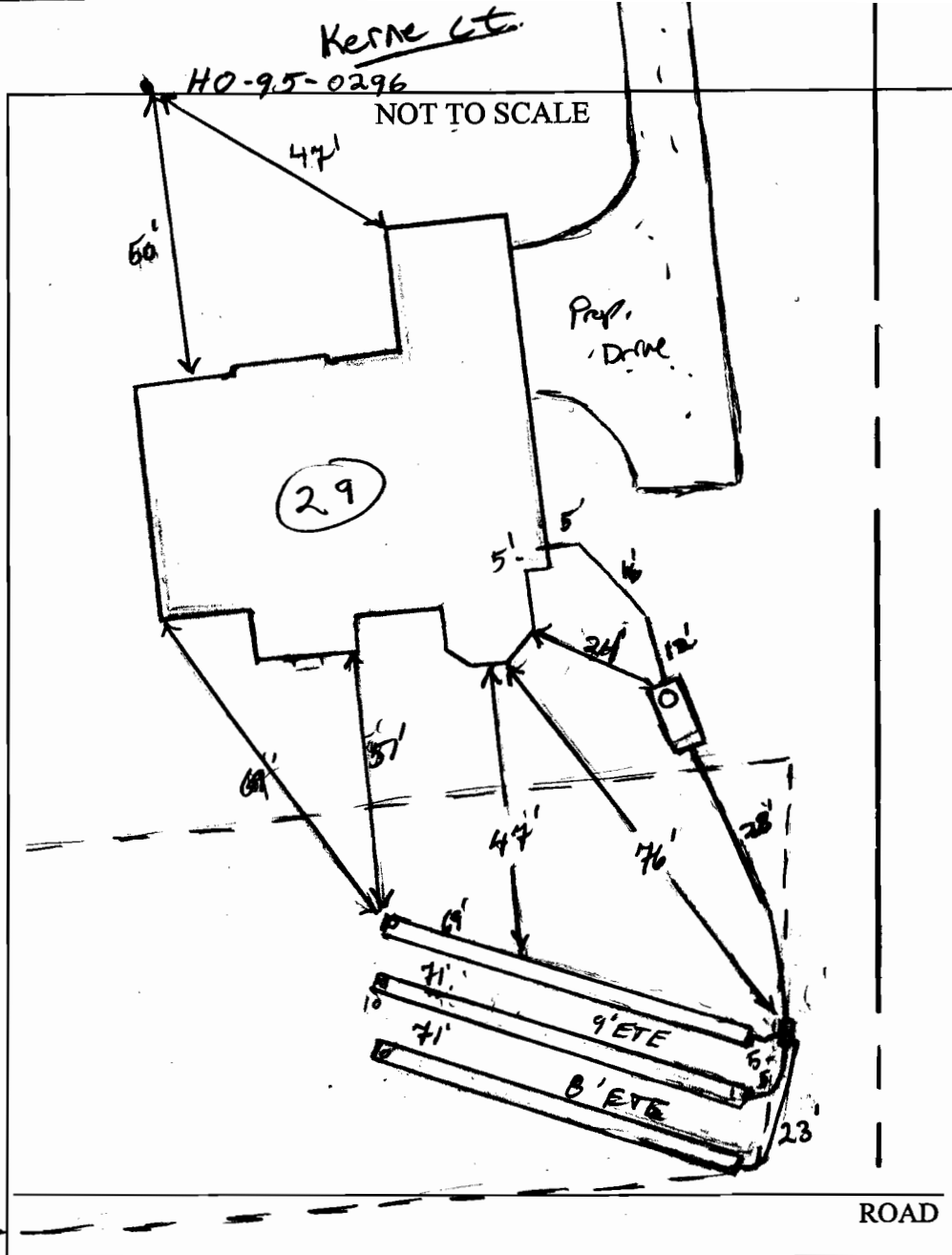
LINEAR FEET OF TRENCH REQUIRED: 210

TRENCHES:	Trench to be 3.0 feet wide. Inlet 3.0 feet below original grade. Bottom maximum depth 5.0 feet below original grade. Effective area begins at 4.0 feet below original grade. 2.0. feet of stone below distribution pipe.
LOCATION:	
NOTES:	Set distribution box at top center of easement (or easement corner near Sewer Out). Install 3 x 70' trenches on contour. Call for Layout Inspection.

PLANS APPROVED: Robert Bricker DATE: 8/29/2007

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM**



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3	3-4'	5'-6'
NUMBER OF TRENCHES		3
TOTAL LENGTH		211'
ABSORPTION AREA		633' ± SW
DISTRIBUTION BOX LEVEL		Under
DISTRIBUTION BOX BAFFLE		NO
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	Yes
CAPACITY	2000 GAL
SEAM LOC	Top
TANK LID DEPTH	2-3'
BAFFLES	Yes
BAFFLE FILTER	No
MANHOLE LOC	Front
6" PORT LOC	
WATERTIGHT TEST	NO
SEPTIC TANK 2 LEVEL	N/A
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	

PRE-CONSTRUCTION 12/27/07 OK to install trenches (3x70') @ bottom right - most part of cement due to contours and easiest

INSTALLATION swale; do keep trenches out of swale. (KW)

1/2/08 No use stone. Trenches completed and covered. concerned about stone used in trenches. (KW) 1/3/08 Asked contractor to dig up 10' end of trench #1 to verify spec's and soil. OK. 1/4" - 3/4" size stone used. Told contractor to not to use that stone again. should be 3/4" - 2" size stone. Tank set, all plumbing installed via to back fill (KW)

FINAL INSPECTOR J. Wall DATE OF APPROVAL 1/3/08

SEPTIC SPECIFICATIONS WORKSHEET

Subdivision Clarksville Overlook (Macbeth Farm) A \_\_\_\_\_  
 Street Name 6309 Kerue Ct. Lot Number 29 (5)  
 Average Percolation Rate(min./in.) 5.5 min Application Rate (GPD/sq. ft.) 0.8  
 Number of Bedrooms 4 Design Flow (BRx150) 600  
 Square Footage (of House) 4000 - 5000 Septic Tank Capacity (gal.) 2000  
 Sidewall Credit / % Reduction 1', 8.3 Total Length of Trench (ft.) 210

\*All Septic/Pump tanks must be top seamed unless otherwise approved by this agency.

\*All Septic tanks must be compartmented unless otherwise approved by this agency.

Baffle Filter Required? Yes  No

TRENCH DIMENSIONS: Trench to 3 feet wide. Inlet at 3 feet below original grade. Bottom maximum depth 5 feet below original grade. Effective area begins at 4 feet below original grade. 2 feet of stone below the distribution pipe.

PUMP SYSTEM PROPOSED? YES  NO

Pump system details: \_\_\_\_\_ gallon pump chamber

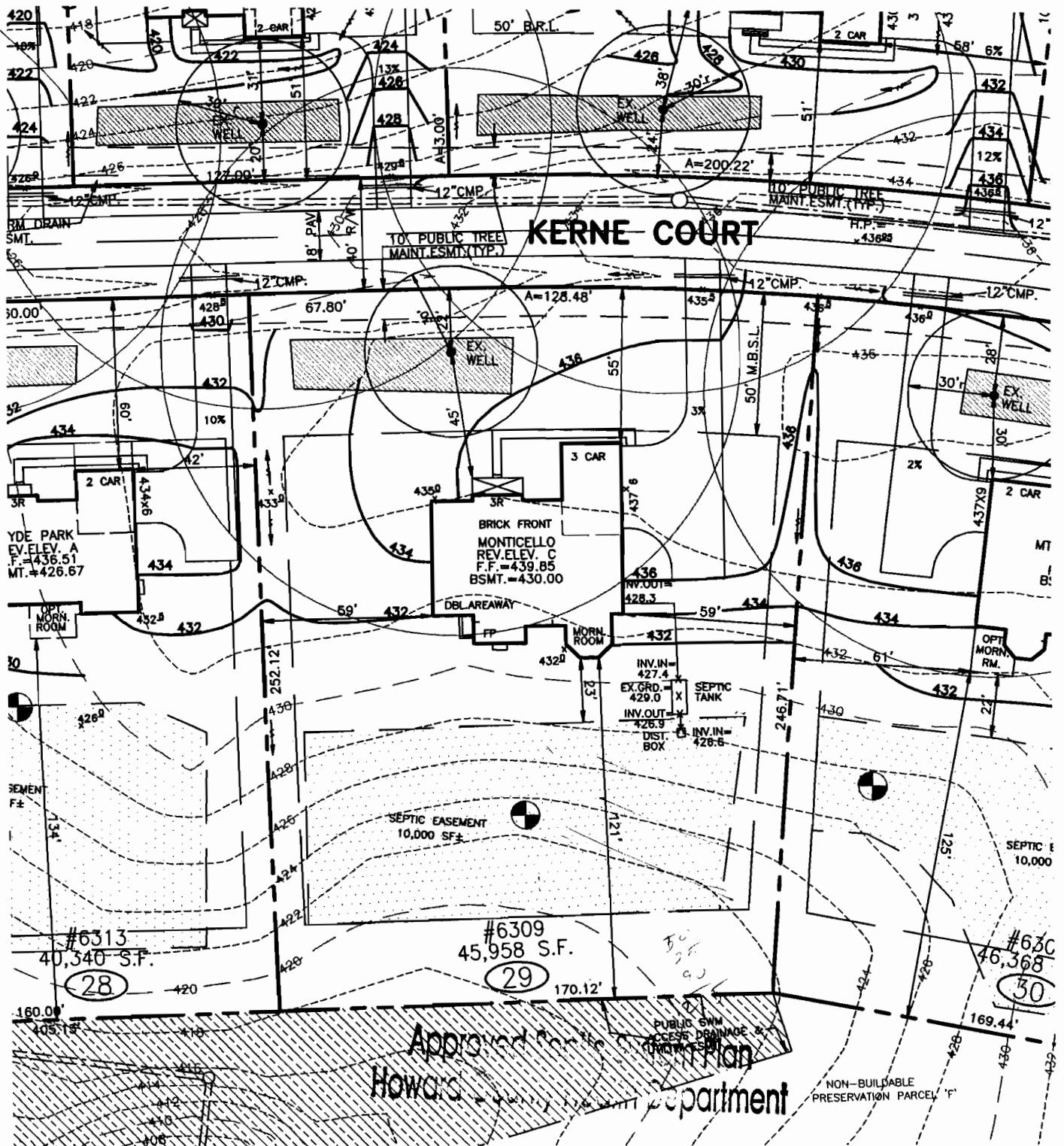
Note 1: Septic pump detail to be provided by installer prior to issuance of septic permit.

Note 2: Pump performance test required prior to Health Department approval of pumped septic system.

LOCATION: Set distribution box at top center of easement (or easement corner near sewer out).  
Install 3 x 70' trenches on contour.

ADDITIONAL NOTES: Call for layout inspection.

Reviewed by: \_\_\_\_\_ MOB 8/29/07 Date: \_\_\_\_\_



*R. Bach*

*8/29/2007*

Date

THE EXISTING WELL SHOWN ON THIS PLAN, WELL TAG #HO-95-0296 HAS BEEN FIELD LOCATED BY MORRIS & RITCHE ASSOC. INC, PROFESSIONAL LAND SURVEYORS, AND IS ACCURATELY SHOWN.

DIRT IMPORT REQUIRED: 240 CYS.±  
DIRT EXPORT REQUIRED: 000 CYS.±

**SETBACKS: RR-DEO**

FRONT YARD: 50' MIN.  
SIDE YARD: 10' MIN.  
REAR YARD: 30' MIN.

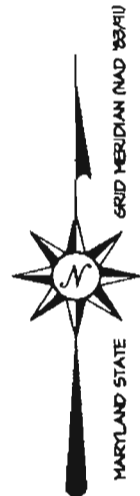
**BUILDER**  
N.V.HOMES  
6085 MARSHALEE DRIVE, SUITE 130  
ELKRIDGE, MARYLAND 21075  
PH.:410-379-5956

*J. P. ... 8/2/07*

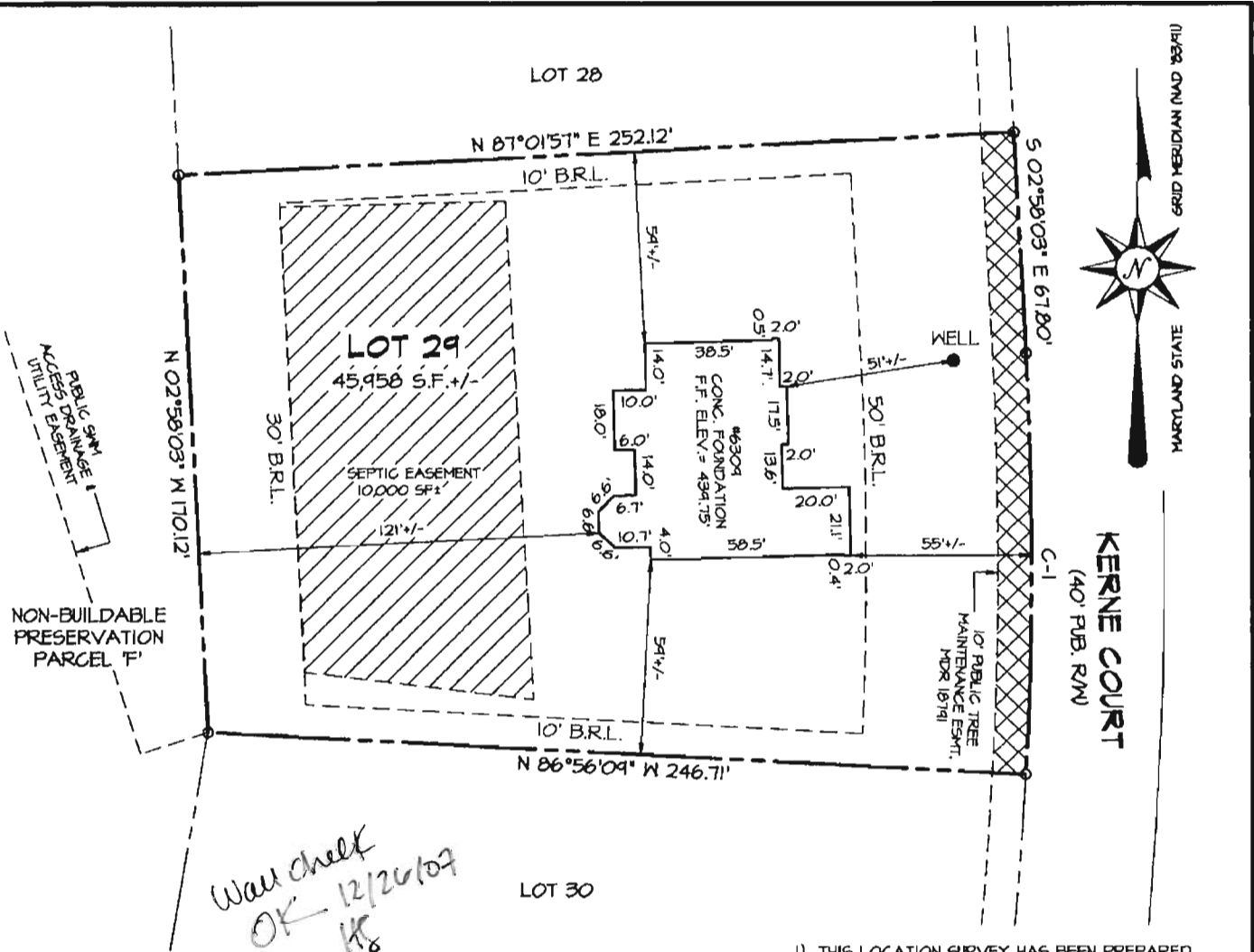


**MORRIS & RITCHE ASSOCIATES, INC.**  
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS, & LANDSCAPE ARCHITECTS  
3445-A Box Hill Corporate Center Drive  
Abingdon, Maryland 21009  
(410) 515-9000  
Fax: (410) 515-9002

**SITE & GRADING PLAN**  
FOR  
**CLARKSVILLE OVERLOOK**  
(A.K.A. MACBETH FARMS)  
**LOT 29 #6309 KERNE COURT**  
4TH ELECTION DISTRICT HOWARD CO., MARYLAND



**KERNE COURT**  
(40' PUB. R/W)



*Wall check  
OK 12/26/07  
KLE*

**ACCURACY LIMITATIONS**

LOT BOUNDARY - AS CALLED  
BUILDING DIMENSIONS - +/- 0.2'  
BUILDING TO LOT LINE - +/- 1'

**SURVEYORS CERTIFICATE**

I HEREBY CERTIFY THAT THE ELEVATIONS SHOWN HEREON ARE CORRECT AND ACCURATE TO + or - 0.05' OF VALUES SHOWN AND WERE DETERMINED FROM A FIELD RUN SURVEY UTILIZING THE PROJECT VERTICAL DATUM AND PERFORMED UNDER MY DIRECT SUPERVISION ON NOVEMBER 30, 2007.

*Kenneth L. Evans Jr. 12/14/2007*  
KENNETH L. EVANS JR.  
PROFESSIONAL LAND SURVEYOR  
MD. REG. NO. 21085



- 1) THIS LOCATION SURVEY HAS BEEN PREPARED UTILIZING DEEDS, PLATS OF RECORD AND FIELD INSPECTION OF THE SUBJECT PROPERTY ONLY.
- 2) THIS PROPERTY MAY BE SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD THAT MAY OR MAY NOT BE SHOWN HEREON.
- 3) THIS IS A LOCATION SURVEY ONLY AND DOES NOT CONSTITUTE AND IS NOT INTENDED TO BE A BOUNDARY SURVEY. THIS PLAT SHOULD NOT BE RELIED UPON FOR ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER PHYSICAL IMPROVEMENTS.
- 4) THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER, OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR RE-FINANCING.

CURVE	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C-1	6°03'14"	1216.00'	128.48'	S00°03'34"W	128.42'

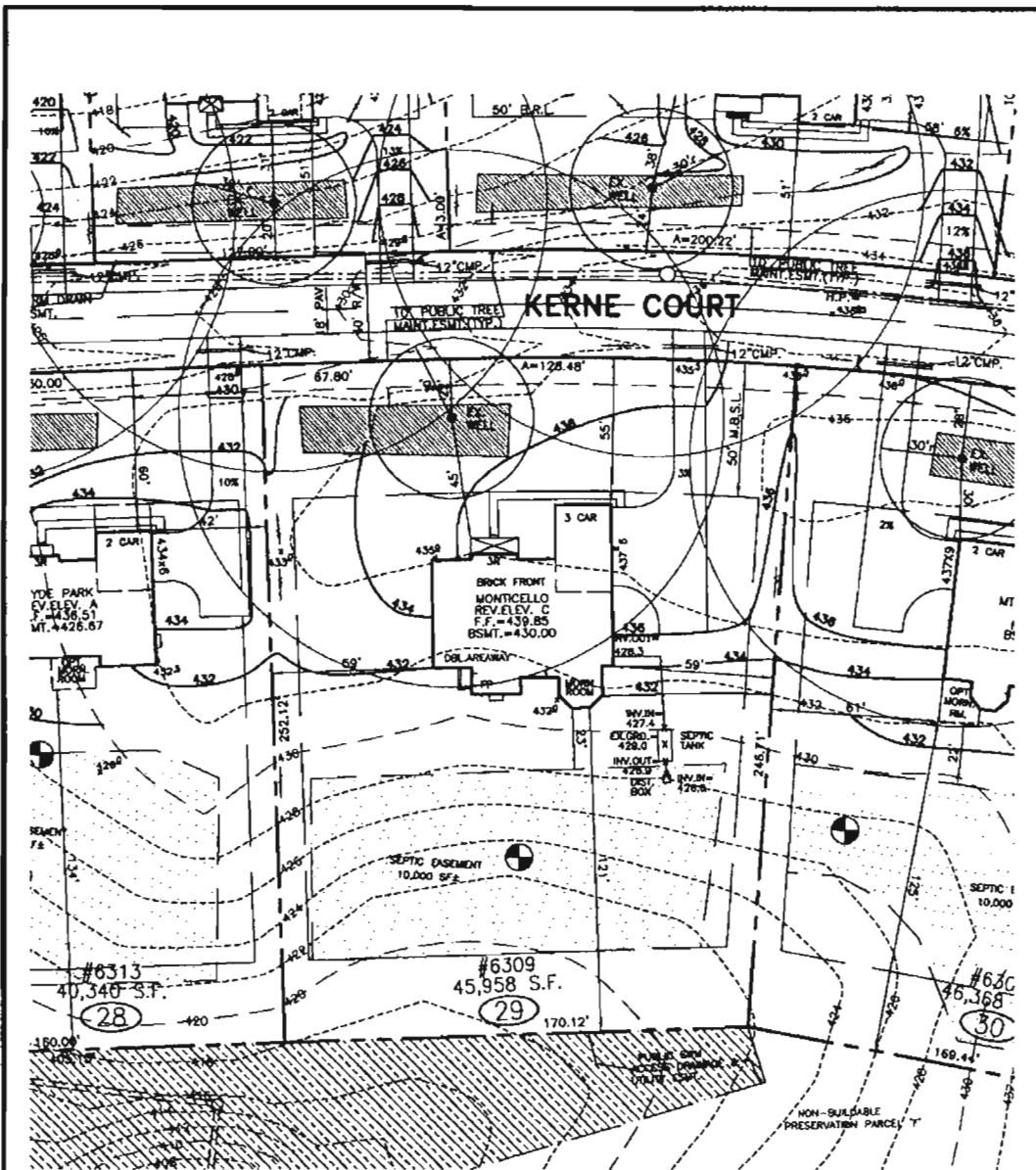


**MORRIS & RITCHIE ASSOCIATES, INC.**  
ENGINEERS, PLANNERS, SURVEYORS, AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A  
LAUREL, MD 20707  
(410) 792-9792  
FAX: (410) 792-7395

**AS-BUILT FOUNDATION PLAN**  
MACBETH FARMS  
6309 KERNE COURT  
LOT #29  
PLAT M.D.R. NO. 18792  
5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
FOR: N.V. HOMES

SCALE: 1" = 50'	DATE: 12/13/2007	DRAWN BY: AHB	REVIEW BY: KLE	JOB NO. 14480
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	SCALE: 1"=50' DATE: AUGUST 1, 2007 DRAWN BY: TB	DESIGN BY: TB REVIEW BY: DA JOB NO. 14948	