

LAYOUT 4/25/08 INSP 4 \_\_\_\_\_  
INSP 2 4/30/08 INSP 5 \_\_\_\_\_  
INSP 3 \_\_\_\_\_ INSP 6 \_\_\_\_\_

ISSUE DATE: 4/23/08

P 528906

APPROVAL DATE: 5/15/08

A 518543

# PERMIT

TAX ID # 05445248

## ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

South Carroll Backhoe IS PERMITTED TO INSTALL  ALTER

ADDRESS: 4410 Salem Bottom Road PHONE NUMBER: 410-875-4197

SUBDIVISION: Clarksville Overlook LOT NUMBER: 30

ADDRESS: 6305 Kerne Court PROPERTY OWNER: NVR INC

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): \_\_\_\_\_ COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4

SQUARE FEET PER BEDROOM: \_\_\_\_\_

LINEAR FEET OF TRENCH REQUIRED: 78'

*Inlet @ 4'  
Bottom @ 7'*

TRENCHES:	Trench to be 3.0 feet wide. Inlet <u>4.0</u> feet below original grade. Bottom maximum depth 6.5 feet below original grade. Effective area begins at 5.0 feet below original grade. 3.5 feet of stone below distribution pipe.
LOCATION:	<i>* Future repair system will need to be pumped</i>
NOTES:	Basement will not sewer by gravity. Layout inspection required prior to installation. Install as noted unless otherwise directed by HCHD.

PLANS APPROVED: Heidi Scott DATE: 2/12/08

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM**

NOT TO SCALE

See separate sheet for As-built

TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	5'-5.5'	7.5'-9'
NUMBER OF TRENCHES		2
TOTAL LENGTH		~99
ABSORPTION AREA		297+Sidewalk
DISTRIBUTION BOX LEVEL		Levelers?
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	Yes
CAPACITY	2000 GAL
SEAM LOC	Top
TANK LID DEPTH	2-3'
BAFFLES	Yes
BAFFLE FILTER	No
MANHOLE LOC	Front+Rear
6" PORT LOC	none
WATERTIGHT TEST	No
<del>SEPTIC TANK 2 LEVEL</del>	
<del>CAPACITY</del>	<del>_____ GAL</del>
<del>SEAM LOC</del>	<del>_____</del>
<del>TANK LID DEPTH</del>	<del>_____</del>
<del>BAFFLES</del>	<del>_____</del>
<del>BAFFLE FILTER</del>	<del>_____</del>
<del>MANHOLE LOC</del>	<del>_____</del>
<del>6" PORT LOC</del>	<del>_____</del>
<del>WATERTIGHT TEST</del>	<del>_____</del>

Babylon 2-comp 5'x4'

Installer supposed to put levelers in distribution box (BB) and tank  
5/15/08 Tank reset and plumbing partially redone. Got new measurements for tank location. ROAD (BB)

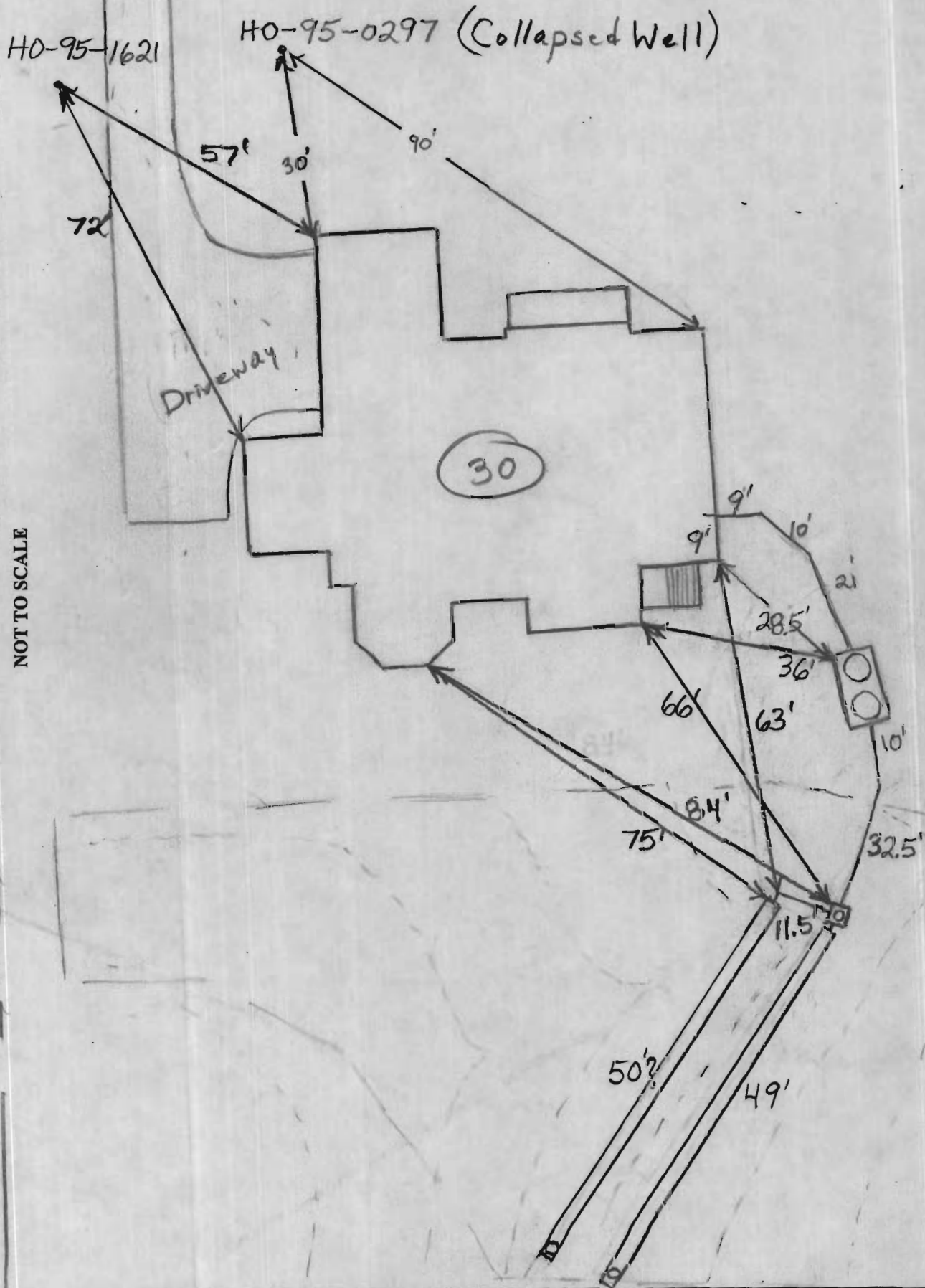
PRE-CONSTRUCTION 4/25/08 Contractor to set Dbox according to BP plan on high side of sink. SDA should have been

INSTALLATION appeared. This will make use of area as much as possible. Future repair will need pump. Trench peels changed as indicated on permit. (KW) 4/30/08 Tank floated. Will have to reset. Top 49' trench had an inlet of 5.5' and a bottom of 7.5. Told installer to make second trench with an inlet of 5' and a bottom of 9' to make up the difference. Observed first half of lower trench and inlet was 5' and bottom was 9'.

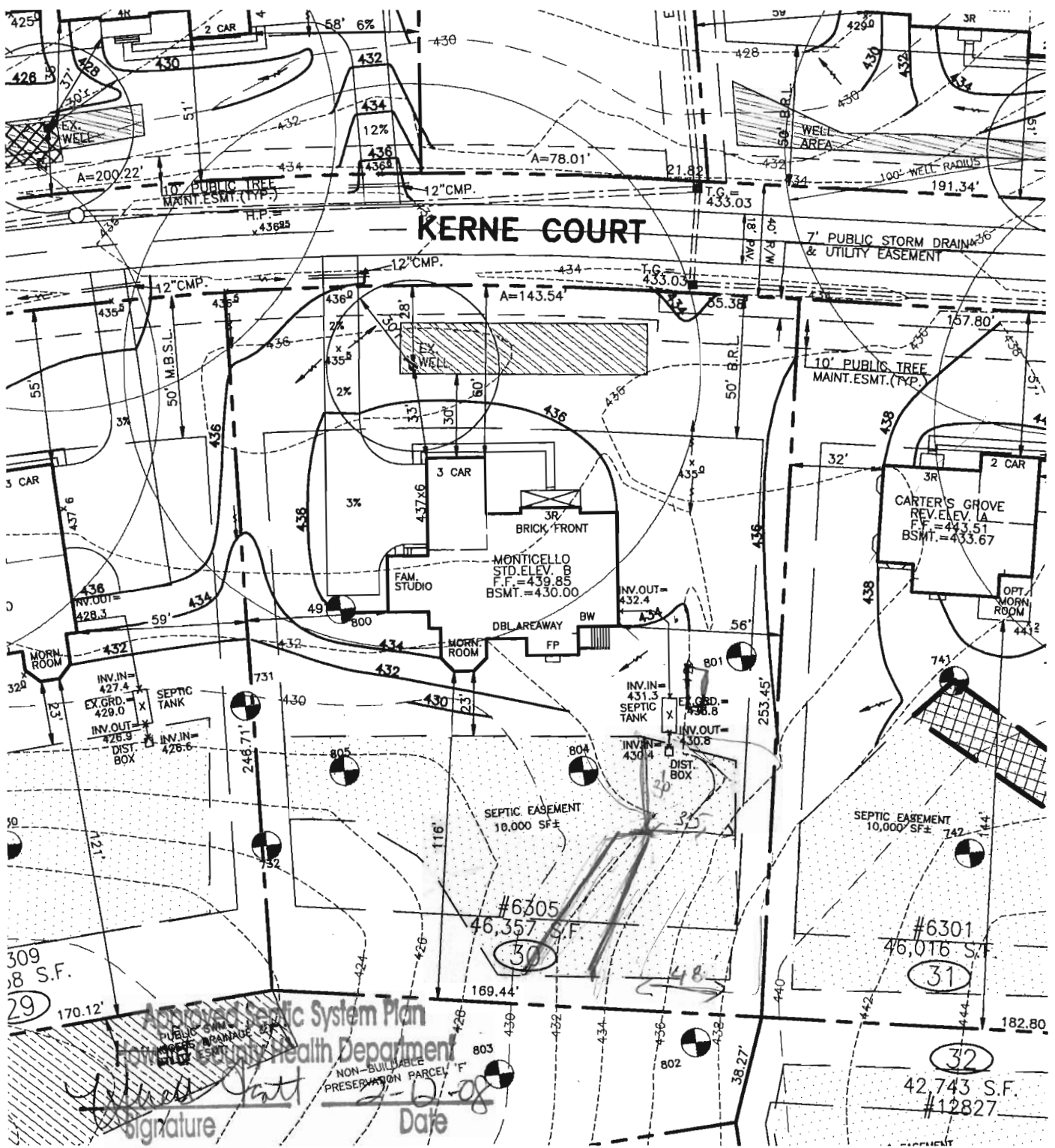
FINAL INSPECTOR Brian Baker DATE OF APPROVAL 5/15/08

Installer had to leave site for a few days so I told him he could cover the bottom trench when finished. ↑

6305 Kerne Court



NOT TO SCALE



Approved Septic System Plan  
 Howard County Health Department  
*[Signature]*  
 Date 12-10-07

B.W. = BASEMENT WINDOW (WZC)

THE EXISTING WELL SHOWN ON THIS PLAN, WELL TAG #HO-95-0267 HAS BEEN FIELD LOCATED BY MORRIS & RITCHE ASSOC. INC, PROFESSIONAL LAND SURVEYORS, AND IS ACCURATELY SHOWN.

DIRT IMPORT REQUIRED: 000 CYS.±  
 DIRT EXPORT REQUIRED: 000 CYS.±

SETBACKS: RR-DEO

FRONT YARD: 50' MIN.  
 SIDE YARD: 10' MIN.  
 REAR YARD: 30' MIN.

EJECTOR REQUIRED TO SEWER BASEMENT.

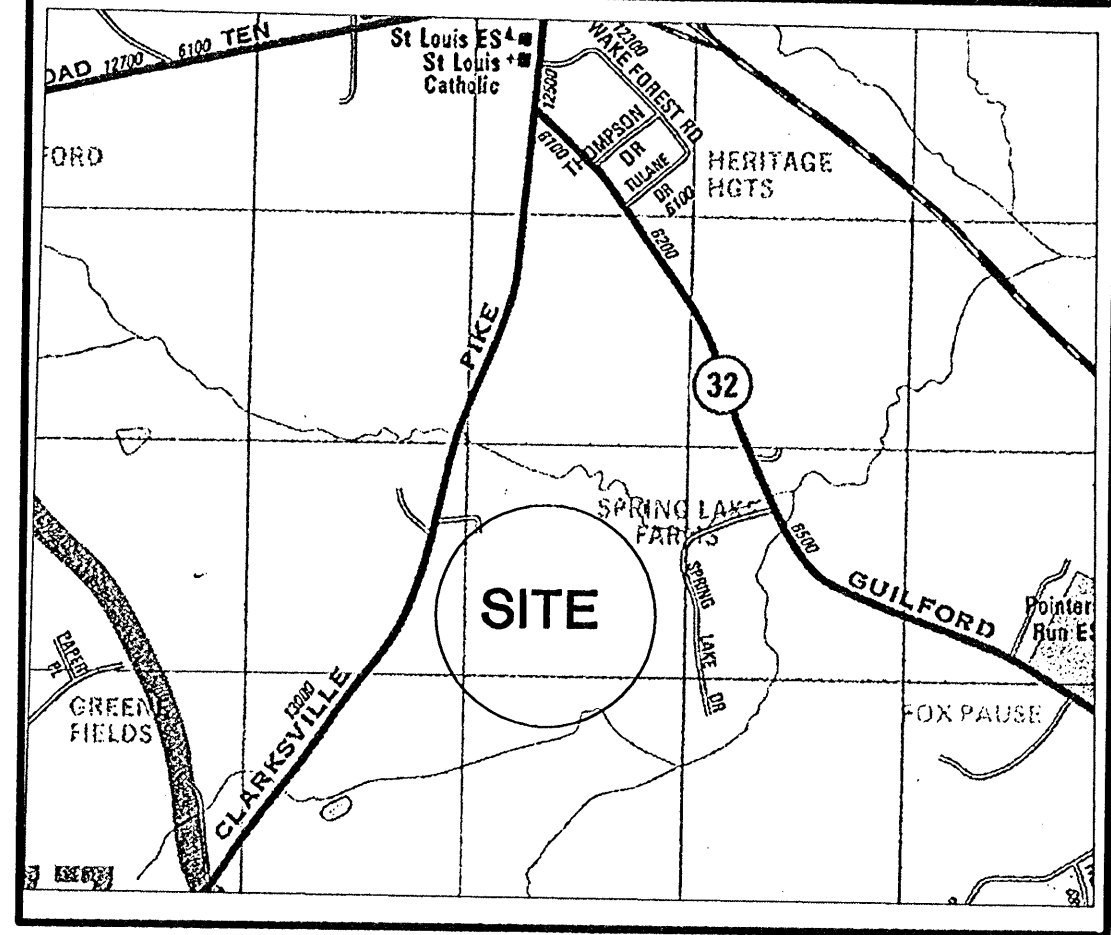
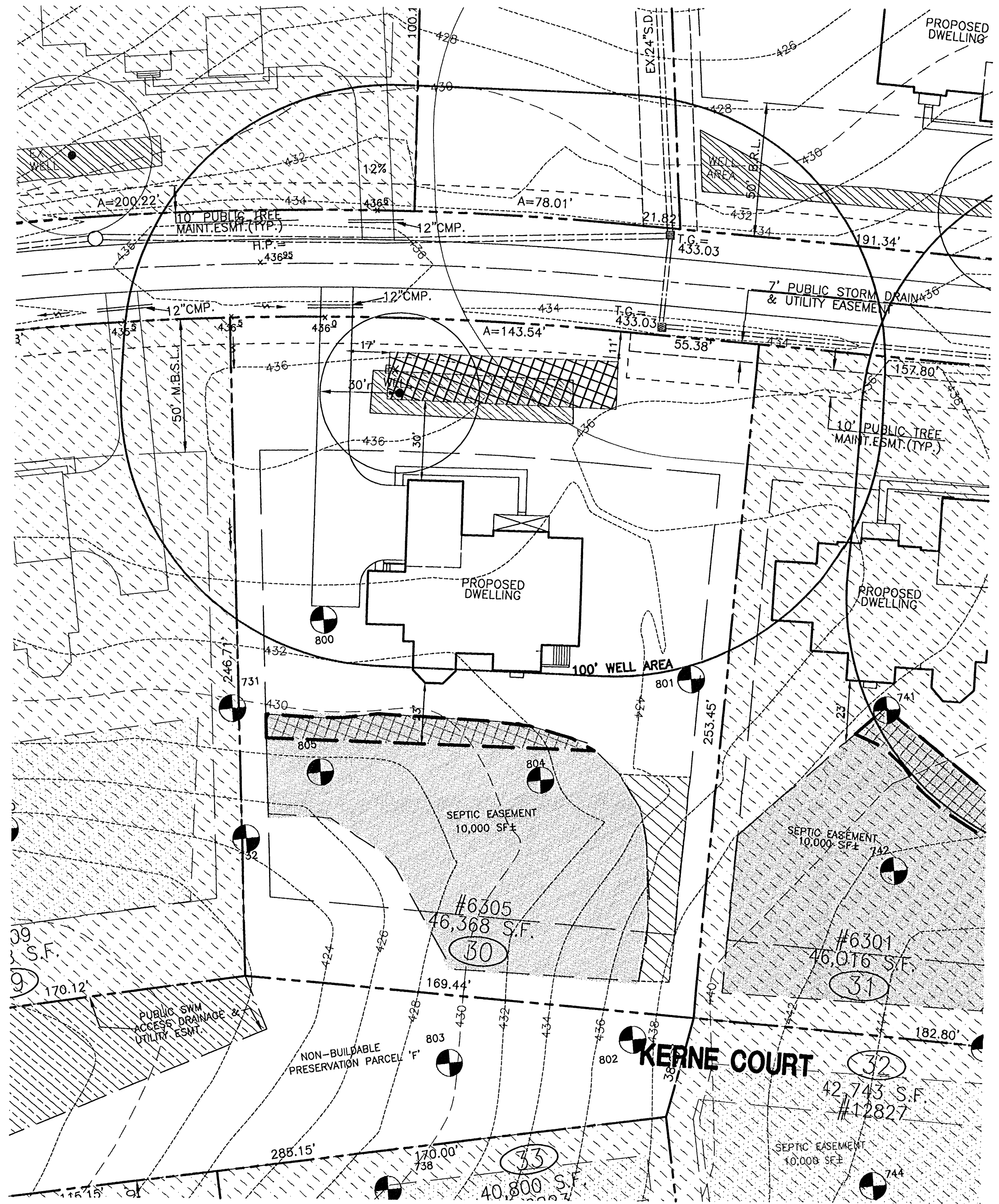
BUILDER  
 N.V.HOMES  
 6085 MARSHALEE DRIVE, SUITE 130  
 ELKRIDGE, MARYLAND 21075  
 PH: 410-379-5956

*[Signature]* 12/10/07



**MORRIS & RITCHE ASSOCIATES, INC.**  
 ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS, & LANDSCAPE ARCHITECTS  
 3445-A Box Hill Corporate Center Drive  
 Abingdon, Maryland 21009  
 (410) 515-9000  
 Fax: (410) 515-9002

SITE & GRADING PLAN  
 FOR  
**CLARKSVILLE OVERLOOK**  
 (A.K.A. MACBETH FARMS)  
 LOT 30 #6305 KERNE COURT  
 4TH ELECTION DISTRICT HOWARD CO., MARYLAND



COPYRIGHT ADC THE MAP PEOPLE  
PERMITTED USE NO. 20706143

### VICINITY MAP

### LEGEND

- F.F. 00.00 FINISHED TOP OF FIRST FLOOR ELEVATION.
- BSMT. 00.00 FINISHED TOP OF BASEMENT FLOOR SLAB.
- 000X0 W.O. PROPOSED GROUND ELEVATION AT WALKOUT CONDITIONS.
- 00X0 GROUND SPOT ELEVATION.
- STD. OR REV. STANDARD OR REVISED "UNIT DESIGNATION FROM ARCHITECTURAL PLANS."
- 5R NUMBER OF RISERS - 7 1/2" EACH (INCLUDING 3 RISERS INTO HOUSE)
- W/W WINDOW WELL REQUIRED FOR BASEMENT WINDOWS IN REAR.
- 000 PROPOSED 2 FT. CONTOUR.
- 000--- EXISTING 2 FT. GROUND CONTOUR.
- 000- EXISTING 10 FT. GROUND CONTOUR.
- - - - - DRAINAGE FLOW IN SWALE
- - - - - PROPERTY LINE
- - - - - RIGHT-OF-WAY LINE
- ==== CURB AND GUTTER.
- ==== EXISTING STORM DRAINS.
- ==== EASEMENT LINE
- ==== MINIMUM BUILDING SETBACK LINE
- ==== NON-TIDAL WETLANDS LINE
- ==== 25 FT. WETLANDS BUFFER LINE
- ==== 75 FT. WETLANDS BUFFER LINE
- ==== EXISTING STORM DRAIN INLET.
- ==== STORM DRAIN OUTFALL (W/ AGGREGATE)
- ==== DENOTES EXISTING SEPTIC EASEMENT
- ==== DENOTES AREA OF PROPOSED SEPTIC EASEMENT TO BE ADDED.
- ==== DENOTES AREA OF EXISTING SEPTIC EASEMENT TO BE ABANDONED.
- ==== DENOTES EXISTING WELL AREA
- ==== DENOTES PROPOSED WELL AREA
- ⊕ PERCOLATION TEST PIT-PASSED
- ⊕ PERCOLATION TEST PIT-FAILED

### NOTES:

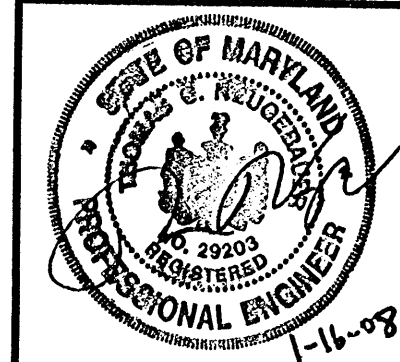
1. THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A REVISED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
2. EXISTING GRADING SHOWN IS FIELD RUN TOPO BY MRA ON 04/02/07
3. PERCOLATION TEST FEE RECEIPT NUMBER - A518543
4. ANY CHANGES TO A PRIVATE SEWAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
5. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT.
6. ALL EXISTING WELLS, SEPTIC SYSTEMS AND SEPTIC RESERVE AREAS ON AND WITHIN 100 FEET OF THE PROPERTY AND 200 FEET DOWNSLOPE HAVE BEEN SHOWN.

**OWNER**  
**NVR, INC.**  
 6085 MARSHALEE DRIVE, SUITE 130  
 ELKRIDGE, MARYLAND 21075  
 PH: 410-379-5956

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29203, EXPIRATION DATE: 06/16/2009.  
*Thomas C. Neugebauer* 1-16-08  
 THOMAS C. NEUGEBAUER, P.E. DATE



**MORRIS & RITCHIE ASSOCIATES, INC.**  
 ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS & LANDSCAPE ARCHITECTS  
 3446-A BOX HILL CORPORATE CENTER DRIVE  
 ABINGDON, MARYLAND 21009  
 (410) 515-9000  
 FAX (410) 515-9002



**REVISED PERCOLATION CERTIFICATION PLAN FOR**  
**MACBETH FARMS**  
**LOT 30 #6322 KERNE COURT**  
 TAX MAP 34 GRIDS 18 & 24 PARCEL 90  
 4TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

APPROVED: FOR PRIVATE WATER AND SEWERAGE SYSTEMS  
*B. Wilson for Peter Zilemon, MD* 2/12/2008  
 COUNTY HEALTH OFFICER GAC DATE  
 HOWARD COUNTY HEALTH DEPARTMENT

DATE	REVISIONS	JOB NO.:
1-16-08	REVISE PER HOWARD COUNTY HEALTH DEPT. COMMENTS.	14948
		SCALE: 1"=30'
		DATE: 01-15-08
		DRAWN BY: TB
		DESIGN BY: TB
		REVIEW BY:
		SHEET: 1 OF 1



MARYLAND STATE GRID MERIDIAN (NAD 83/NA)

NON-BUILDABLE PRESERVATION PARCEL F MDR 18790

LOT 29

S 86°56'09" E 246.71'

10' B.R.L.

30' B.R.L.

N 01°51'02" E 169.44'

LOT 30

46,351 SF +/-

SEPTIC BASIN 10,000 SF +/-

40' +/-

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