

Bureau of Environmental Health
 7178 Gateway Drive Columbia, MD 21046
 (410) 313-2640 Fax (410) 313-2648
 TDD (410) 313-2323 Toll Free 1-866-313-6300
 website: www.hchealth.org

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 12-5-13 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 546209

INSTALLATION APPROVAL DATE: 7/11/2014

**PERMIT
CONSTRUCTION**

A 516084

PROPERTY ADDRESS: 11216 Kinsale Court

SUBDIVISION: Riverwood LOT: 33 TAX ID: 03-345394

CONTRACTOR: _____ EMAIL: _____

CONTRACTOR ADDRESS: _____ PHONE: _____

PROPERTY OWNER: Rosemarie Bell EMAIL: _____

OWNER ADDRESS: 11640 Long Jump Trail PHONE: _____

BAT UNIT MODEL: HOOT BNR 600 BAT UNIT SIZE: 750 GPD

PUMP CHAMBER CAPACITY (GALLONS): _____ PUMP SIZE: _____

NUMBER OF BEDROOMS: 5 HOUSE SQ. FT. 3,530 APPLICATION RATE: 1.2

DISTRIBUTION SYSTEM: GRAVITY FED LOW PRESSURE DOSED

TRENCHES:	LINEAR FEET REQUIRED: <u>150'</u>	INLET DEPTH: <u>3</u>
	TRENCH WIDTH: <u>2</u> ✓	MAXIMUM BOTTOM DEPTH: <u>7</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>8'</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>3</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND BAT UNIT LOCATION MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	Set BAT unit per layout inspection. Set distribution box per layout inspection. Install 129.1 feet of trench on contour. <u>3 x 50'</u> <u>~75 for stone</u>	

ISSUED BY: Dana Bernard ISSUE DATE: _____ EXPIRATION DATE: _____

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

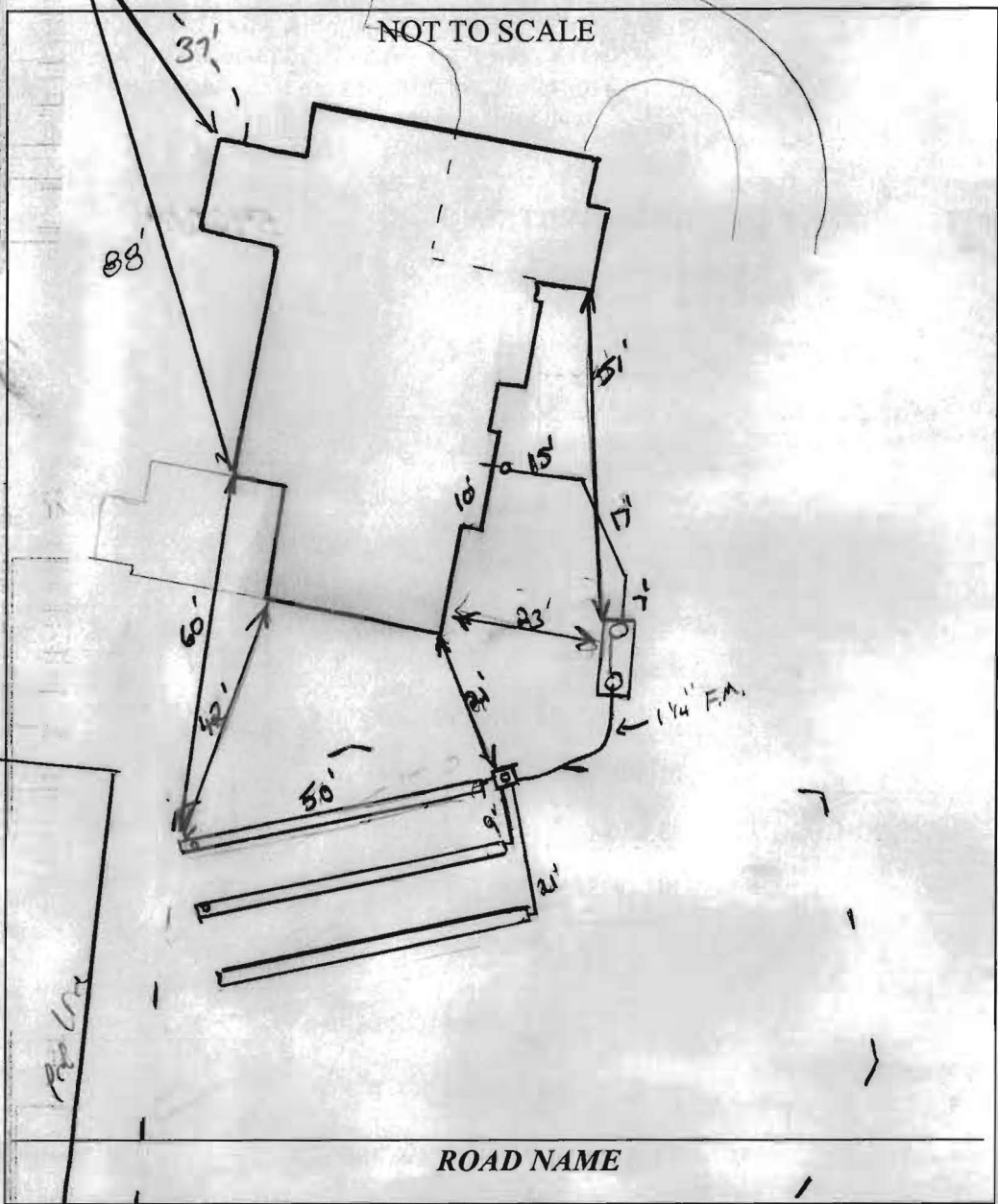
NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

HO-94-4198

NOT TO SCALE



TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
2'	3'	7'
NUMBER OF TRENCHES		3
TOTAL LENGTH		150'
ABSORPTION AREA		600
DISTRIBUTION BOX LEVEL		Yes
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA

SEPTIC TANK I LEVEL	Yes
MANUFACTURER	Mayer Bros
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	2'
BAFFLES	Yes
BAFFLE FILTER	-
MANHOLE LOC	Front / Rear
6" PORT LOC	-
WATERTIGHT TEST	-
SLOTTED	Yes
DATE ON LID	-
PUMP/SEPTIC TANK LEVEL	N/A

MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

12/6/13 Tank location given. No laser on-site. No Truck kept @ the site (K)
 12/10/13 Tank to be set 20' from house. Site coming out front of house. Set per Hoot specifications shot contour for top trench. Install 3x50' trench on contour running towards back lot (K)

INSTALLATION: 12/16/13 Contractor calling for map. Could not make it out to site. Too busy... Will email contractor tomorrow for map. (K)
 12/18/13 Trenches completed. BAT inst installed and connected. Contractor verified that representative has been out to site to verify install. OK to cover all work. Need start-up construction from installer prior to final (K) 7/11/2014 Pump and alarm working. Received approval paper from Hoot representative. (BB)

FINAL INSPECTOR B. Baker

DATE OF APPROVAL 7/11/2014

11/18 Kinsale Ct.
Fleetwood, MD
Clerk of the Circuit Court for
Howard County
Land Records/Licensing

The Thomas Dorsey Building
9250 Bendix Road
Columbia, MD 21045
410-313-5850

LR - Agreement Recording Fee
1x 20.00 20.00

Grantor/Grantee Name: Bell
Reference/Control #: 143

LR - Agreement Surcharge
1x 40.00 40.00

SubTotal: 60.00
Total: 60.00

REV-Check-BOA 60.00
Number : 1029

07/22/2014 12:36 CC13-CH
#3071060 /495/109

~ Thank you for visiting us today ~



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046-2147
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

**OPERATION AND MAINTENANCE AGREEMENT
FOR AN ON-SITE SEWAGE DISPOSAL SYSTEM
HAVING AN ADVANCED PRE-TREATMENT SYSTEM**

THIS AGREEMENT is made this 18th day of July 2014, among Rosemarie C. Bell, hereinafter collectively referred to as "Owner", and the Howard County Health Department hereinafter referred to as the "County".

DR WHEREAS, Owner is the owner or contract owner of a parcel of land located at 11216 Kinsale Court, Ellicott City, Md. in the 3rd Election District of Howard County, Maryland, and the deed to same is recorded or shall be recorded among the Land Records of Howard County, Maryland in Liber 14806 Folio 348.

WHEREAS, The Lot is suitable for the installation of a conventional on-site sewage disposal system with an advanced pre-treatment system, utilizing best available technology to perform nitrogen reduction, in accordance with the Code of Maryland Regulations 26.04.02.07, effective January 1, 2013.

NOW, THEREFORE, the parties hereto agree as follows:

- A. Owner hereby grants to the County the right to enter upon the Lot at any reasonable time for access to the system to make periodic inspections and the Owner agrees to provide any information and data in Owner's possession reasonably requested and needed by the County to develop accurate and thorough test results.
- B. Owner acknowledges and agrees that neither the County nor any of its agents or employees, either officially or individually, underwrites the operation of any system approved by them.
- C. The Owner will devote reasonable care and effort to the operation and maintenance of the system in perpetuity or until a public sewer connection is made so that a system malfunction is not the result of poor maintenance, faulty operation, or neglect.
- D. The Owner agrees to enter into a contract reasonably acceptable to the Owner and the County with a private entity to operate and maintain on a regularly scheduled basis an approved advanced pre-treatment system. The owner shall supply a copy of the contract to the County when it is renewed or altered.
- E. This agreement shall run with the land and upon Owner's taking title to the Lot shall bind the Owner, their heirs, successors, and assigns to the provisions of the agreement as

long as the property is in existence and after installation of the system. Owner further agrees that they shall inform in writing any subsequent purchaser or lessee of the Lot that the system shall require maintenance or other attention. Upon taking title to the Lot, the Owner agrees to cause this agreement to be recorded in the Land Records of Howard County and assure that it becomes part of the Deed for the subject property in order that prospective buyers may be aware of the special conditions affecting this property.

F. This agreement shall not be construed to limit any authority of the County to protect the public health, safety or comfort or to issue any other orders to take any other action which is now or may hereafter be within its authority.

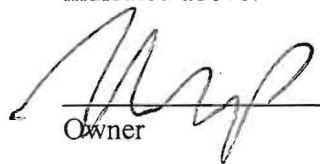
G. This agreement may be voided at any time at the discretion of the County.

H. This agreement contains the entire agreement and understanding between the County and the Owner. There are no additional terms other than as contained in this agreement. This agreement may not be modified, except in writing signed by each of the parties or by their authorized representatives.

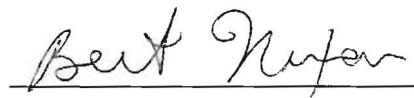
I. The laws of the State of Maryland govern the provisions of all transactions pursuant to this agreement.

J. Owner acknowledges and agrees that interior renovations to increase the number of bedrooms or an increase in living space shall not be permitted without approval from the County.

IN WITNESS WHEREOF, the parties have signed and sealed this agreement on the date indicated above.

 7/18/14
Owner Date

Owner Date

 7/22/14
Howard County Health Department

;:00

313001457

LDE INC.

Planning • Engineering • Surveying

November 4, 2013

Mr. Mike Davis, Assistant Director
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd.
Columbia, MD 21046

Re: 11216 Kinsale Court
Waiver Request / B

Dear Mr. Davis,

On behalf of our client, Keswick Homes, LDE requests a Waiver reducing the required 20' minimum setback distance between the building foundation and sewage disposal easement to 16'. The 10.4' x 3.8' foundation extension serves as a window well for an emergency exit from the dwelling's lower level. The easement area impacted by the window well represents an approximate reduction of 100 square feet. The loss of this easement will not affect the 10,000 square feet area requirement nor the design of the proposed septic system.

Please grant our request.

Should you have any questions regarding the above, please contact our office.

Very truly yours,



Bruce D. Burton, P.E.
Vice President
LDE Inc.

CC: *Keswick Homes*

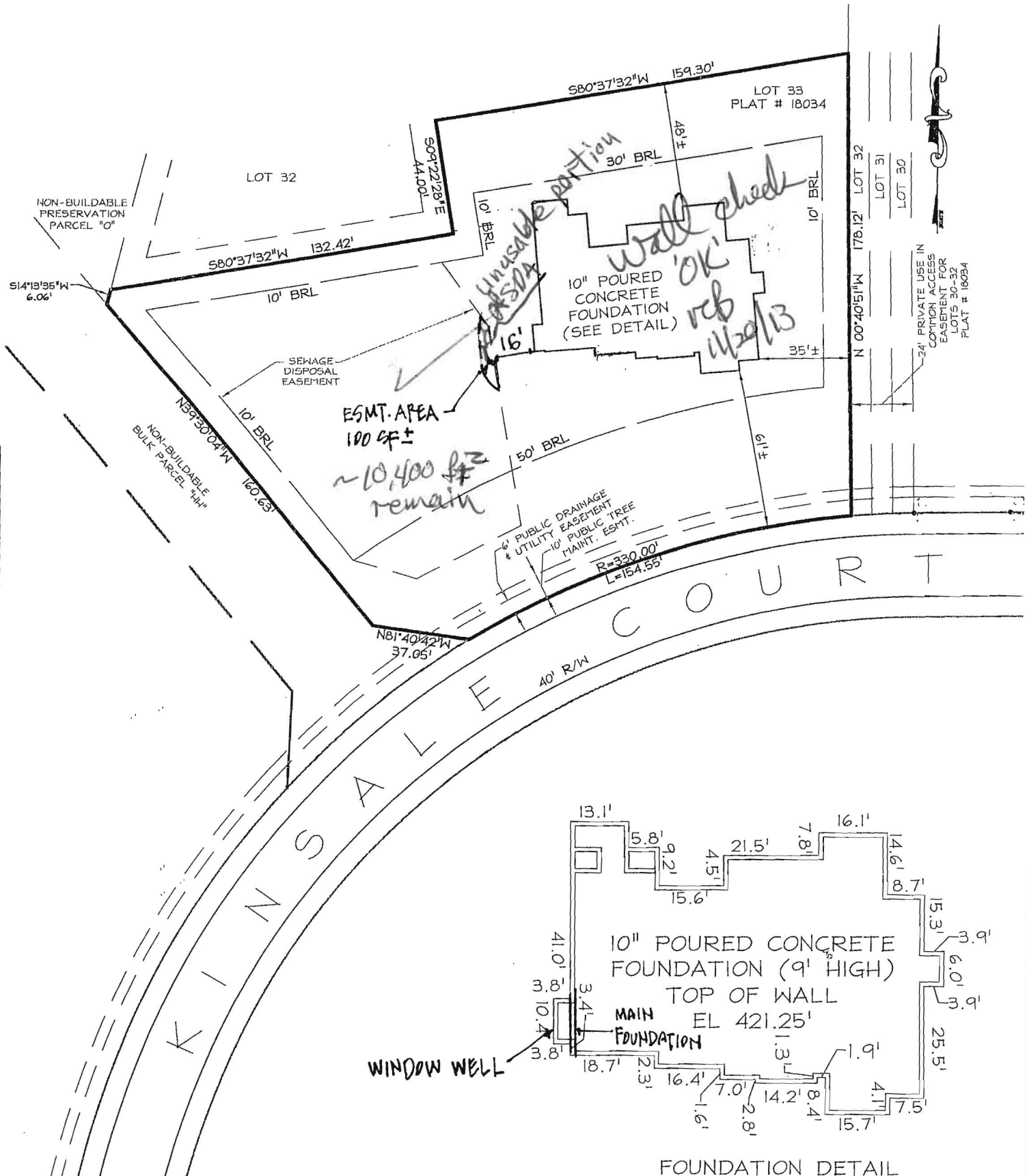
F:/07-011.1/Documents/ Davis Waiver Request 11-4-13

Historic Carriage House
7520 Main Street ♦ Suite 203 ♦ Sykesville, MD ♦ 21784
410-795-6391 ♦ 410-795-9540 FAX

PROPERTY KNOWN AS:
 11216 KINSALE COURT
 LOT 33, "RIVERWOOD, PHASE I"
 1ST DISTRICT
 HOWARD COUNTY, MARYLAND
 PLAT # 18034


FOUNDATION LOCATION DRAWING

THIS PLAT CAN NOT BE USED TO ESTABLISH
 PROPERTY LINES OR CORNERS.



PROFESSIONAL CERTIFICATION:

I hereby certify that these documents were prepared by me or under my responsible charge, and that I am a duly licensed professional land surveyor under the laws of the State of Maryland, License No. 5539, Expiration Date 7/28/2013.

<p>CERTIFICATION</p>	<p>SEAL</p>	<p>SCALE: 1" = 50'</p>	<p>DATE: 7/16/2013</p>
<p>This is to certify that I have surveyed the property known as: <u>#11216 KINSALE CT.</u> The information shown has been established by current acceptable survey procedures and from available record information. This drawing is to used for Title Transfer Financing, or Refinancing Only and IS NOT to be used for the Establishment of Property Lines, Location for Fences, Garages, Buildings, or other Existing or Future Improvements.</p>	 <p>Walter Park</p>	<p>LDE Inc. Engineers • Surveyors • Planners Historic Carriage House 7520 Main Street • Suite 203 Sykesville, Maryland • 21784 (410)795-6391 • (410)795-6392 • FAX(410)795-9540 www.Landsurveyormd.com</p>	
<p>DRAWING: MLS/BEI</p>		<p>JOB#: 07-011</p>	



MAYER BROS., INC.

Precast Concrete Products

6264 Race Rd. Elkridge, MD 21075

Letter of Satisfaction Hoot System Installation

Address of Property: 11216 Kinsale Ct
Columbia, md 21042

Date of Final Inspection: 7/11/14

Installer: J+A Construction

Hoot Technician/Inspector: Mike Sample

I hereby certify that the Hoot system installed at the property listed above has been installed according to proper Hoot installation practices. I have also verified the startup of the system and it is in proper working order.

Sincerely,

Name of Inspector
Mayer Bros., Inc.

PH: 410-796-1434

FX: 410-796-1438

WBE

NPCA Certified Plant

mayerbro@connext.net

www.mayerbrosprecast.com

Grease Interceptors, Grease Solutions, Aerobic Treatment Units, Septic Tanks, Holding Tanks, Storm Water Structures, Hydroceptors, Bench Barrier, Water Meter Vaults, Sectional Valve Vaults, Top Slabs, Curb Heads, Curb Bumpers, PermaEntry Basement Entries, Scapewal Window Walls, Custom Precast Products

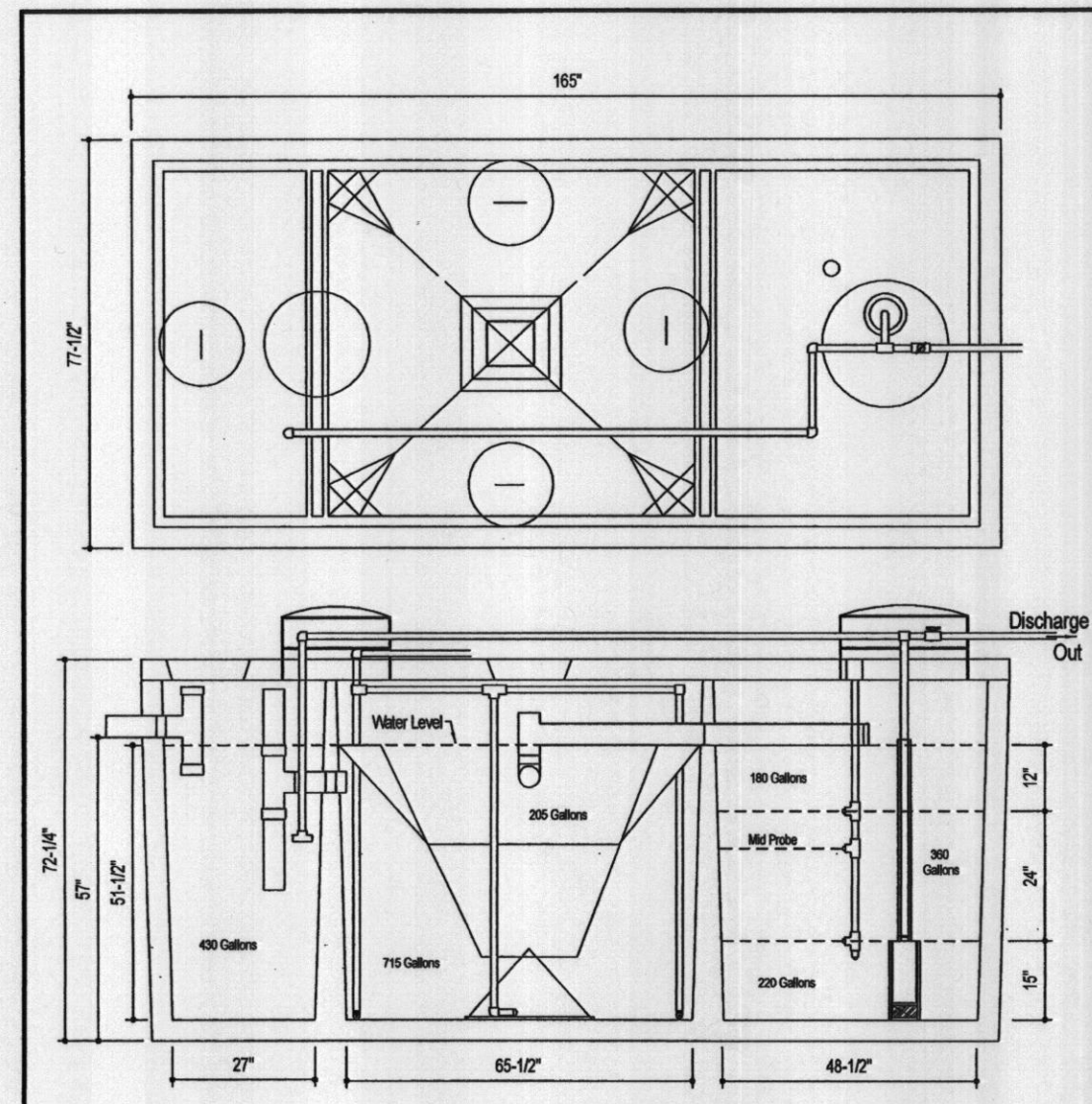
52-D

52-A

52-B

52-C

Lot # 33



DESIGN DATA & GENERAL NOTES
 (1) Concrete strength F'w=4,000 p.s.i., @ 28 days. Density = 150 pcf.
 (2) Cement - Portland Type III per ASTM C 150-03.
 (3) Adhesives & sealants per ASTM C 203-03 & C 644-02.
 (4) Reinforcing per ASTM A108, Min. 1/2" cover.

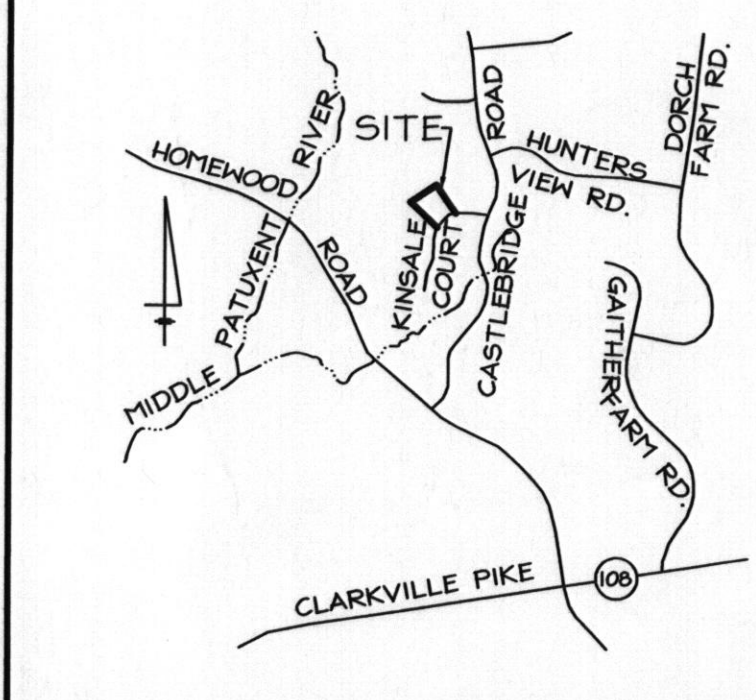
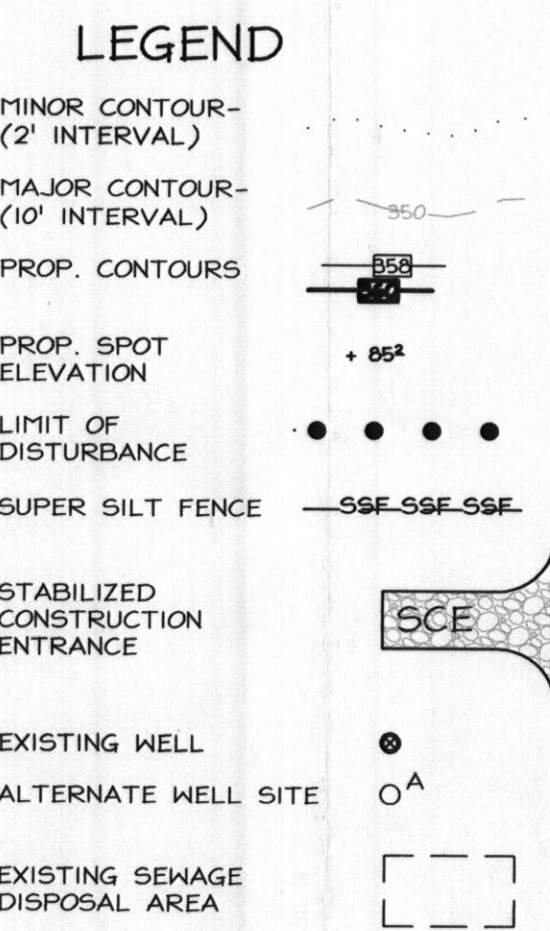
Mayer Brothers, Inc.
 4300 River Road
 Shiloh, Maryland 21159
 Tel: 410.795.4544
 Fax: 410.795.1543
 www.mayerbrothers.com

MBI

**600 GPD BNR SYSTEM
 H-600 BNR
 With 750 GALLON PUMP CHAMBER**

Dep. No. Hoot Form #1 No Scale March 13, 2009

- SEWAGE DISPOSAL SYSTEM DATA (5 BDRM)**
- INVERT @ FOUNDATION WALL: 416.00 (BASEMENT PUMP REQUIRES)
 - 600 GPD BNR SYSTEM W/ 750 GALLON PUMP CHAMBER
 EX. GRADE OVER TANK: 417.70
 PROPOSED GRADE OVER TANK: 417.70
 INVERT: 415.00
 - DISTRIBUTION BOX
 EX. # PROPOSED GRADE OVER TANK: 417.00
 INVERT: 415.00
 - TRENCH DESIGN (5 BDRM x 150 GPD/BDRM=750 GPD)
 750 GPD x 0.8 APP. RATE= 938 SF
 USE 3' WIDE TRENCH W/ 30" GRAVEL BELOW PIPE
 9' MIN. SPACING BETWEEN TRENCH EDGES
 938 SF x 3' WIDTH = 313 LF x 0.55= 172 LF MIN. TRENCH
 USE 3'-60" LONG TRENCHES= 180 LF

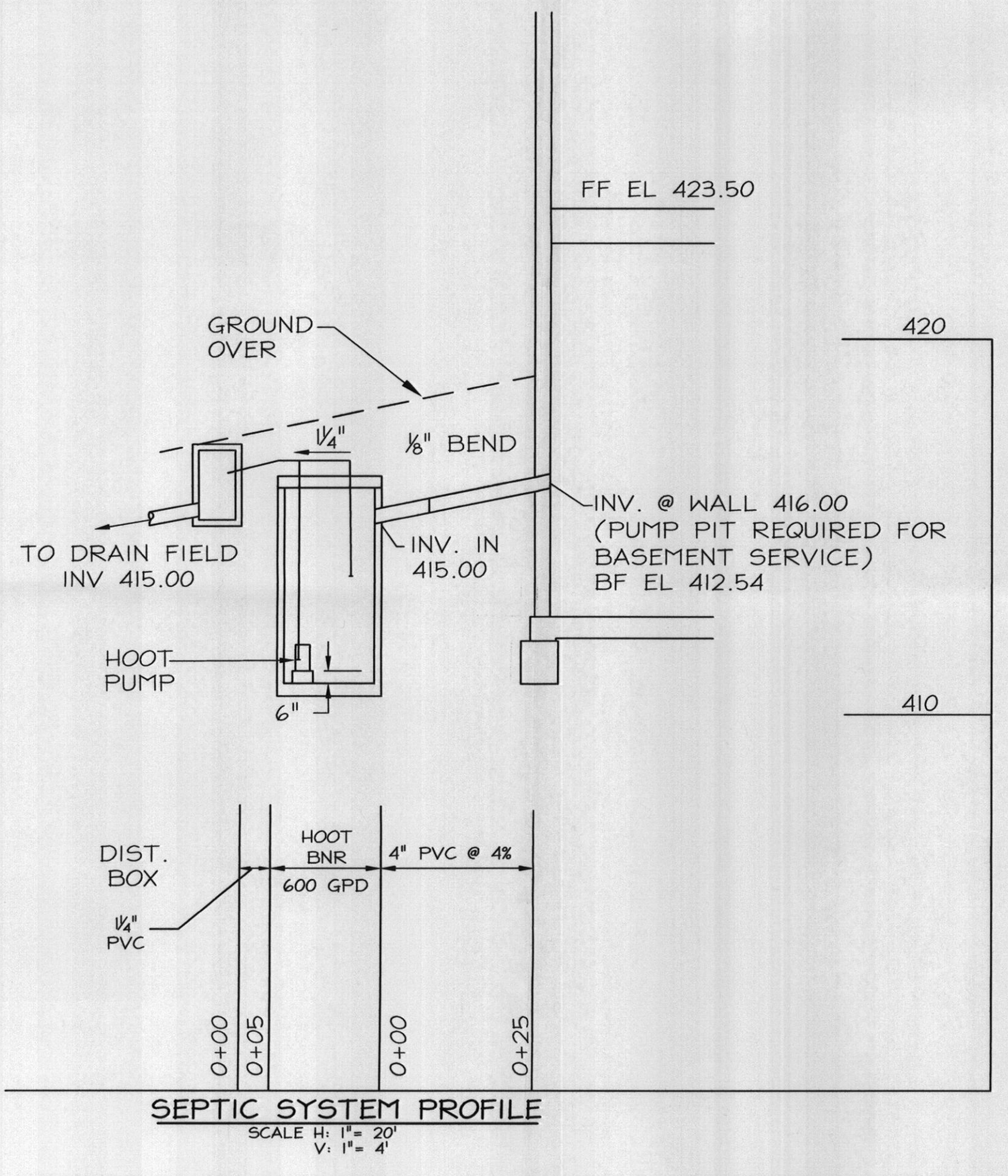
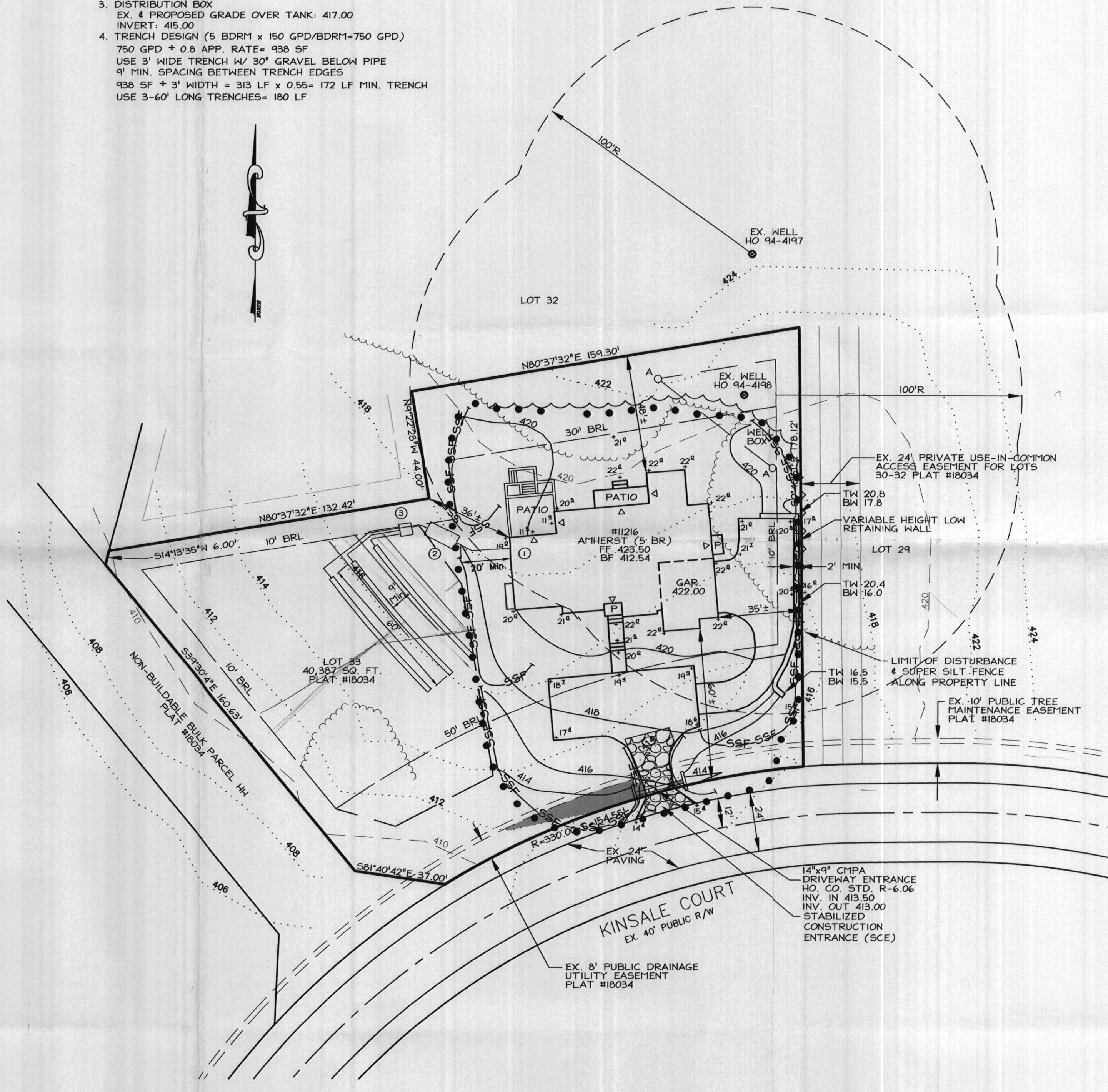


GENERAL NOTES:

- The subject property is zoned RC-DEO per the 2/2/04 Comprehensive Zoning Plan and per Comp-Lite Zoning Regulations dated 7/28/06.
- Plat Reference: Plat #18034
- The existing topography within the area of proposed work is taken from field run survey with maximum two foot contours intervals prepared by LDE, Inc. dated February 2013.
- See Architectural Plans for building dimensions and design details. Prior to stakeout for construction, it shall be the Owner/Builder's responsibility to provide LDE, Inc. with the most recent set of house plans.
- The Contractor or Developer shall notify the Department of Public Works / Bureau of Engineering / Construction Inspection Division at (410) 313-1881 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work being done.
- Total limit of disturbance: 24,500 sq. ft. / 0.56 Ac.±
- Stormwater Management for this Lot is provided by previously approved F04-082.
- Any damage to Public "Right-of-Ways" or paved public roads shall be repaired immediately at the contractor's expense in accordance with the Howard County Standards and Specifications.
- Deviations from these plans and specifications without prior written consent of the civil engineer (LDE, Inc.) may cause the work to be unacceptable.
- The dimensioned distances shall govern if scaled and dimensioned distances on this plan are found to be in disagreement.
- The lots shown hereon comply with the minimum lot area and ownership width as required by the Maryland Department of the Environment.
- These areas designate a private sewage easement of at least 10,000 square feet as required by the Maryland Department of the Environment for individual sewage disposal. (COMAR 26.04.03) Easements shall become null and void upon connection to a public sewage system. The County Health Officer shall have the authority to grant variances for encroachments into the private sewage easement. Recordation of a modified sewage easement shall not be necessary.
- Existing wells, septic systems, and sewage disposal areas within 100' of the property and those wells within 200' down gradient of existing or proposed septic systems or sewage disposal areas have been shown.
- Any changes to a private sewage area shall require a revised percolation certification plan.
- Upon building permit review the septic systems for all proposed structures and/or existing structure expansions shall be re-evaluated to determine sufficient system capacity.
- The development of this lot does not require an Environmental Concept Plan since Stormwater Management was previously approved under F 04-082.
- A standard Sediment Control Plan may be used for development of this lot since the disturbance is less than 30,000 square feet (24,500 proposed).

SEPTIC SYSTEM/BEST AVAILABLE TECHNOLOGY (BAT) NOTES

- Any change to the locations or depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised site plan may be required.
- The maximum depth of the BAT per the manufacturer's specification is 3 feet cover.
- The blower may not be located more than 10 feet from the tank based on the manufacturer's specifications.
- The BAT system shall be maintained and operated for the life of the system.
- The BAT shall be operated by and maintained by a certified service provider.
- Within one month of installation, a person installing the BAT system shall report to the Maryland Department of the Environment (MDE), in a manner acceptable to MDE, the address and date of completion of the BAT installation and the type of BAT installation.
- Electrical work for the BAT installation must be performed by a licensed electrician.
- An Agreement and Easement must be completed and signed by all applicable parties, and recorded in The Land Records of Howard County.
- The Health Department requires documentation for the start-up certification from the manufacturer prior to final approval of the installation.



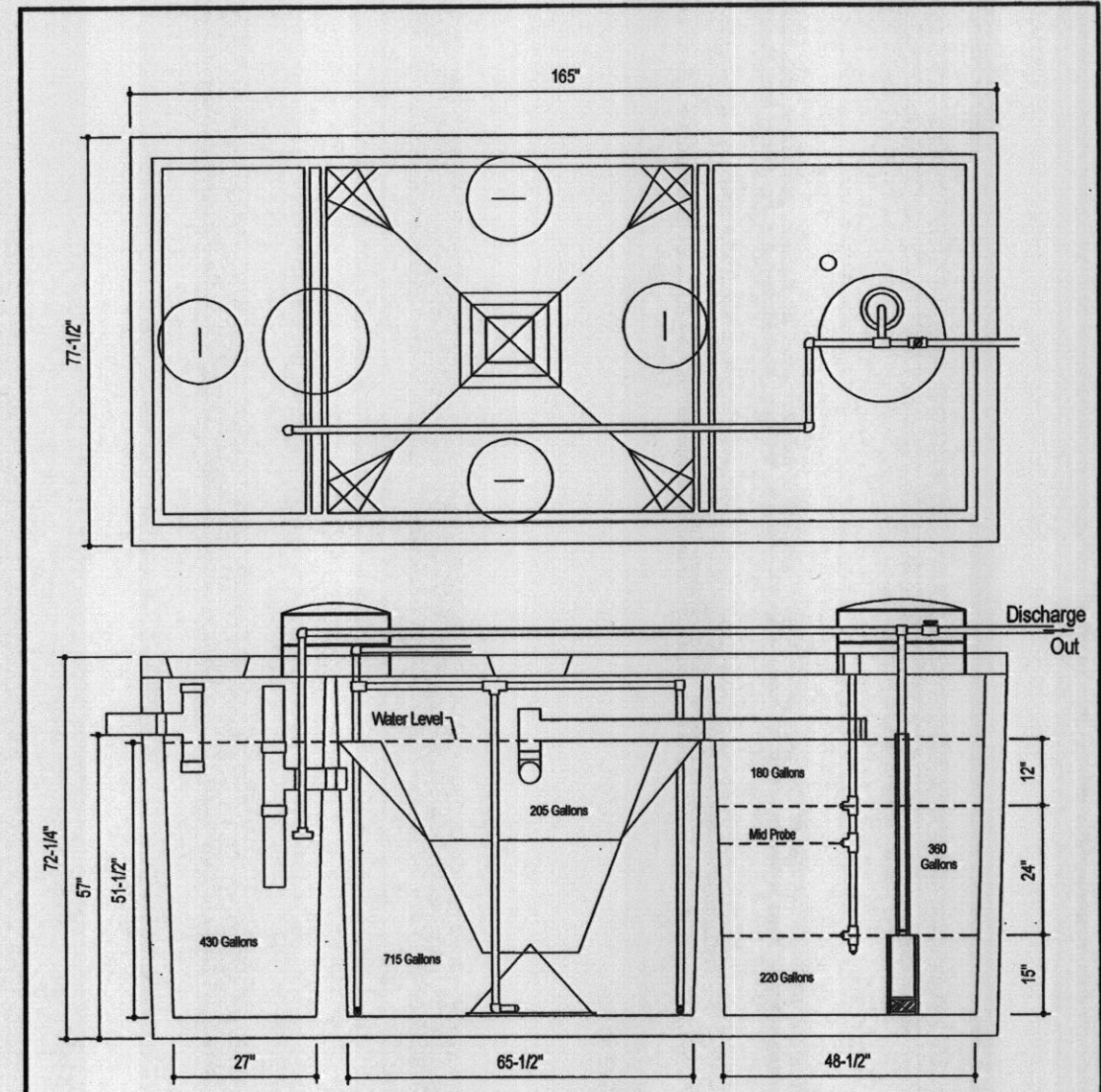
REVISIONS	
By	Date No. Description



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19184, EXPIRATION DATE: 6/30/13.
 BRUCE D. BURTON DATE 4/24/13

LDE Inc.
 Engineers • Surveyors • Planners
 Historic Carriage House • 7320 Main Street • Suite 203 • Sykesville, Maryland • 21784
 (410)795-6391 • (410)795-6392 • FAX(410)795-9540 • www.Landsurveyormd.com

DESIGNED	LDE	Site Plan for Bat Installation #11216 Kinsale Court RIVERWOOD PHASE I LOT 33 TAX ACCT #03-345394	SCALE	1" = 30'
DRAWN	LDE		DRAWING	1 of 1
CHECKED	BDB	TAX MAP 29, BLOCK 4, PARCEL 20 3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO.	07-011
DATE	4/2013	OWNER John & Nina McDonough 11022 Willow Bottom Dr. Columbia, MD 21044	BUILDER Keswick Homes 8500 Executive Park Ave. Suite 300 Fairfax, VA 22031 703-926-6751	FILE NO.



DESIGN DATA & GENERAL NOTES

(1) Construct strength 150 PSI 12" dia. 20' deep. Density = 150 pcf.
 (2) Construct - Paved with 18" per ASTM C 150-04.
 (3) Foundations & Structures per ASTM C 230M & C 640-02.
 (4) Reinforcing per ASTM A630, Min. 1-1/2" cov.

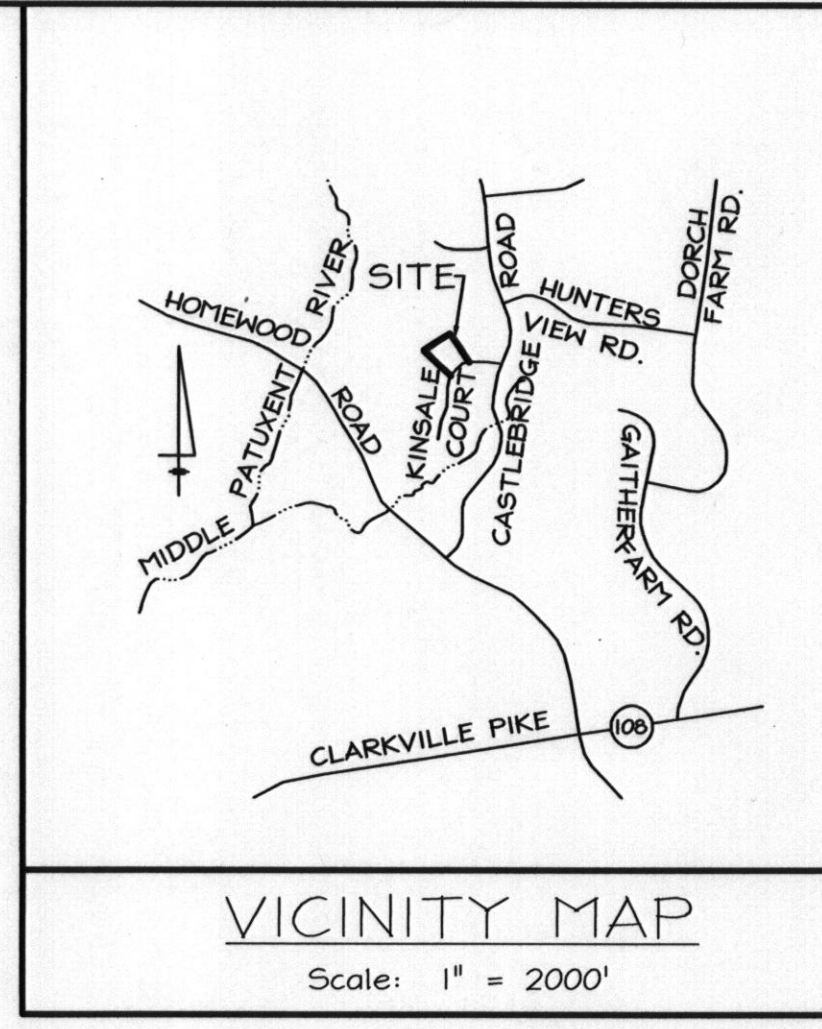
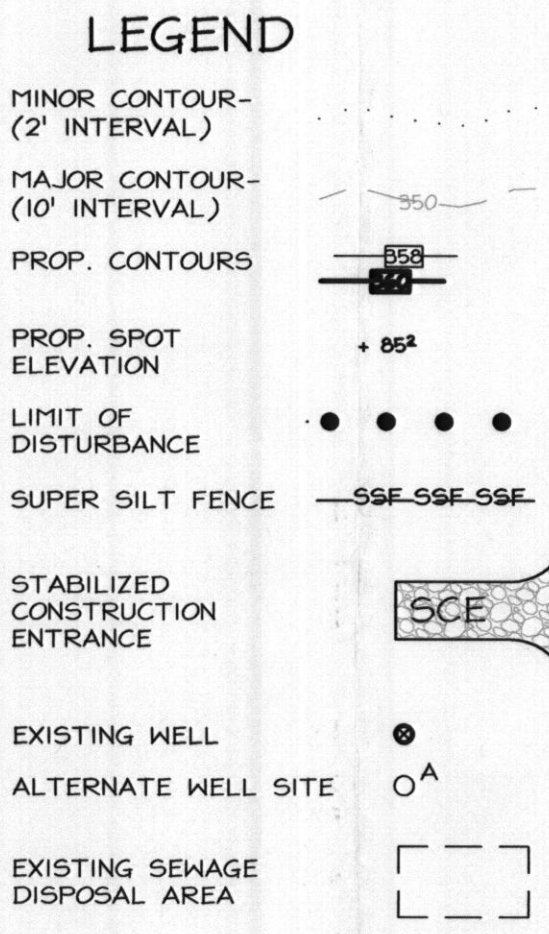
Mayer Brothers, Inc.
 4547 Rockwell
 Elkins, Maryland 21025
 Tel. 410.795.1424
 Fax. 410.795.1429
 www.mayerbrothers.com

**600 GPD BNR SYSTEM
 H-600 BNR
 with 750 GALLON PUMP CHAMBER**

Dep. No. Hood Form #1 No Scale March 13, 2009

SEWAGE DISPOSAL SYSTEM DATA (5 BDRM)

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 PROPOSED GRADE OVER TANK: 417.70
 INVERT: 415.00
- DISTRIBUTION BOX
 EX. PROPOSED GRADE OVER TANK: 417.00
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- TRENCH DESIGN (5 BDRM x 150 GPD/BDRM=750 GPD)
 750 GPD x 0.8 APP. RATE= 938 SF
 USE 3' WIDE TRENCH W/ 30" GRAVEL BELOW PIPE
 9' MIN. SPACING BETWEEN TRENCH EDGES
 938 SF x 3' WIDTH = 313 LF x 0.55= 172 LF MIN. TRENCH
 USE 3-60' LONG TRENCHES= 180 LF

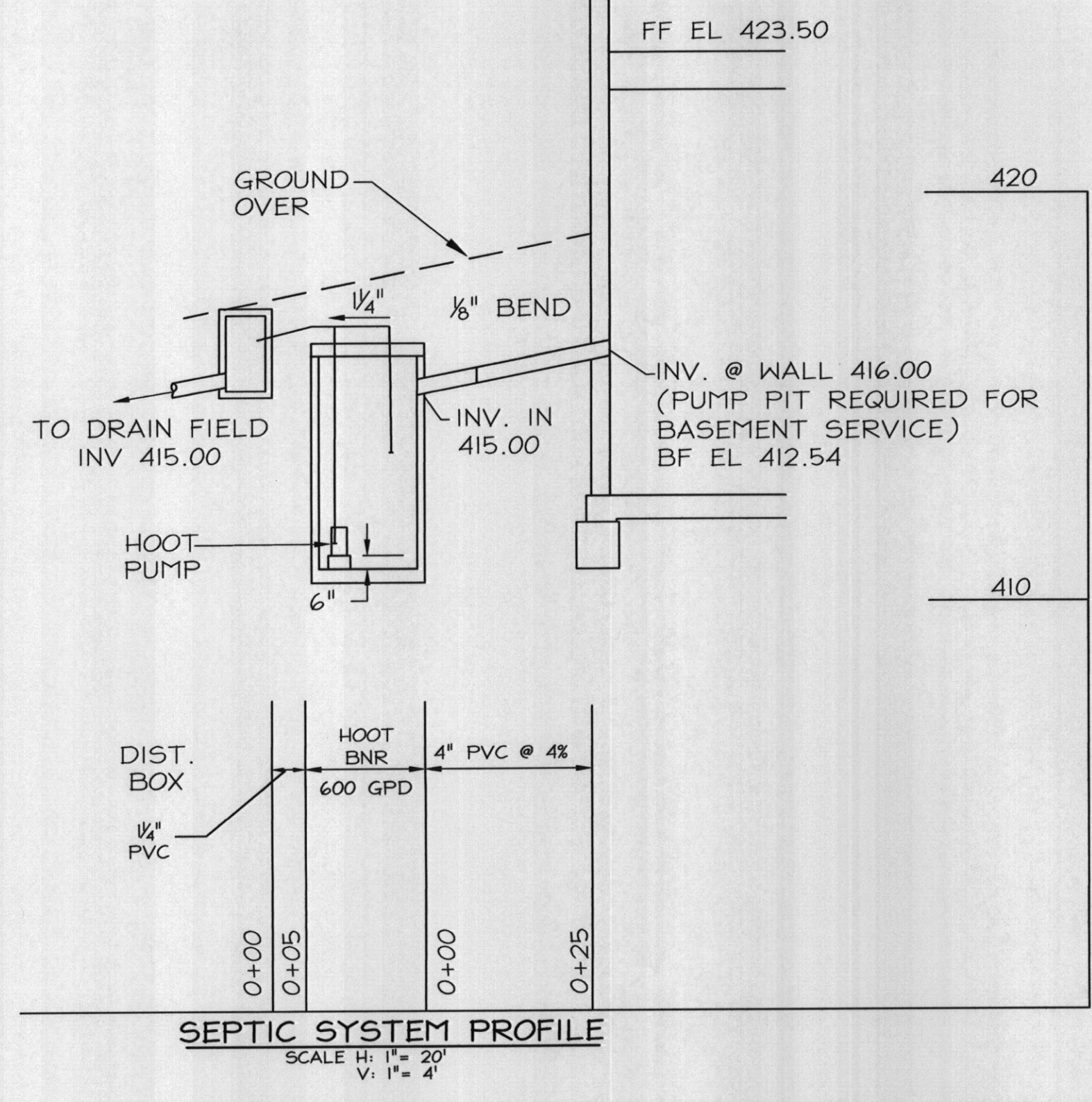
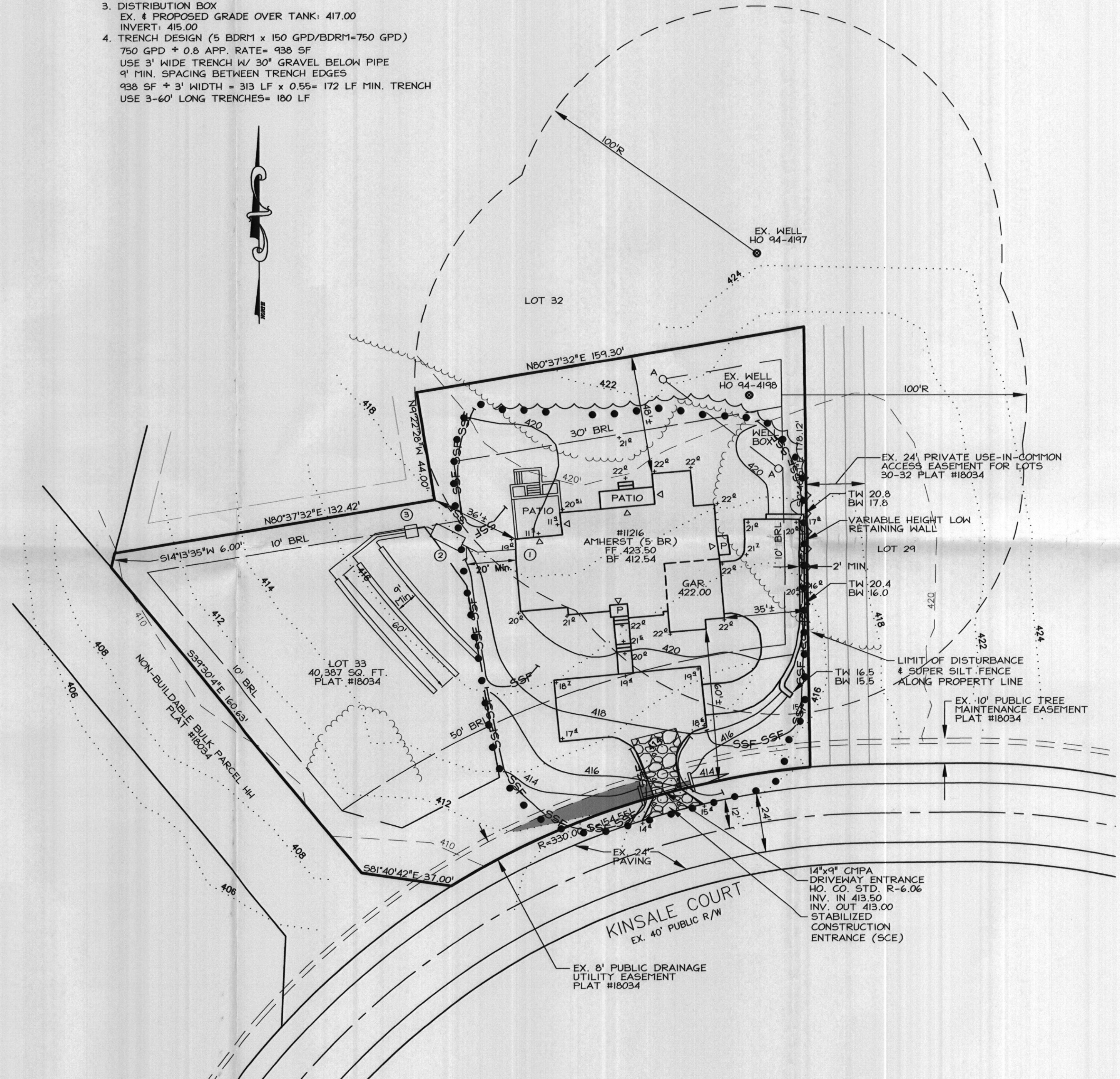


GENERAL NOTES:

- The subject property is zoned RC-DEO per the 2/2/04 Comprehensive Zoning Plan and per Comp-Lite Zoning Regulations dated 7/28/06.
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- The dimensioned distances shall govern if scaled and dimensioned distances on this plan are found to be in disagreement.
- The lots shown herein comply with the minimum lot area and ownership width as required by the Maryland Department of the Environment.
- These areas designate a private sewage easement of at least 10,000 square feet as required by the Maryland Department of the Environment for individual sewage disposal. (COMAR 26.04.03) Improvements of any nature in this area are restricted until public sewage is available. These easements shall become null and void upon connection to a public sewage system. The County Health Officer shall have the authority to grant variances for encroachments into the private sewage easement. Recordation of a modified sewage easement shall not be necessary.
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- Upon building permit review the septic systems for all proposed structures and/or existing structure expansions shall be re-evaluated to determine sufficient system capacity.
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- A standard Sediment Control Plan may be used for development of this lot since the disturbance is less than 30,000 square feet (24,500 proposed).

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 SIGNED: *Bruce D. Burton* DATE: 4/24/13

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 (410)795-6391 • (410)795-6392 • FAX(410)795-9540 • www.Landsurveyormd.com

DESIGNED	LDE	Site Plan for Bat Installation #11216 Kinsale Court RIVERWOOD PHASE I LOT 33 TAX ACCT #03-345394 3RD ELECTION DISTRICT BLOCK 4, PARCEL 20 HOWARD COUNTY, MARYLAND	SCALE	1" = 30'
DRAWN	LDE		DRAWING	1 of 1
CHECKED	BDB		JOB NO.	07-011
DATE	4/2013		FILE NO.	

OWNER: John & Nina McDonough, 11022 Willow Bottom Dr., Suite 300, Columbia, MD 21044
 BUILDER: Keswick Homes, 8500 Executive Park Ave., Suite 300, Fairfax, VA 22031, 703-926-6751

REVISIONS		
By	Date	Description